

# Business Paper

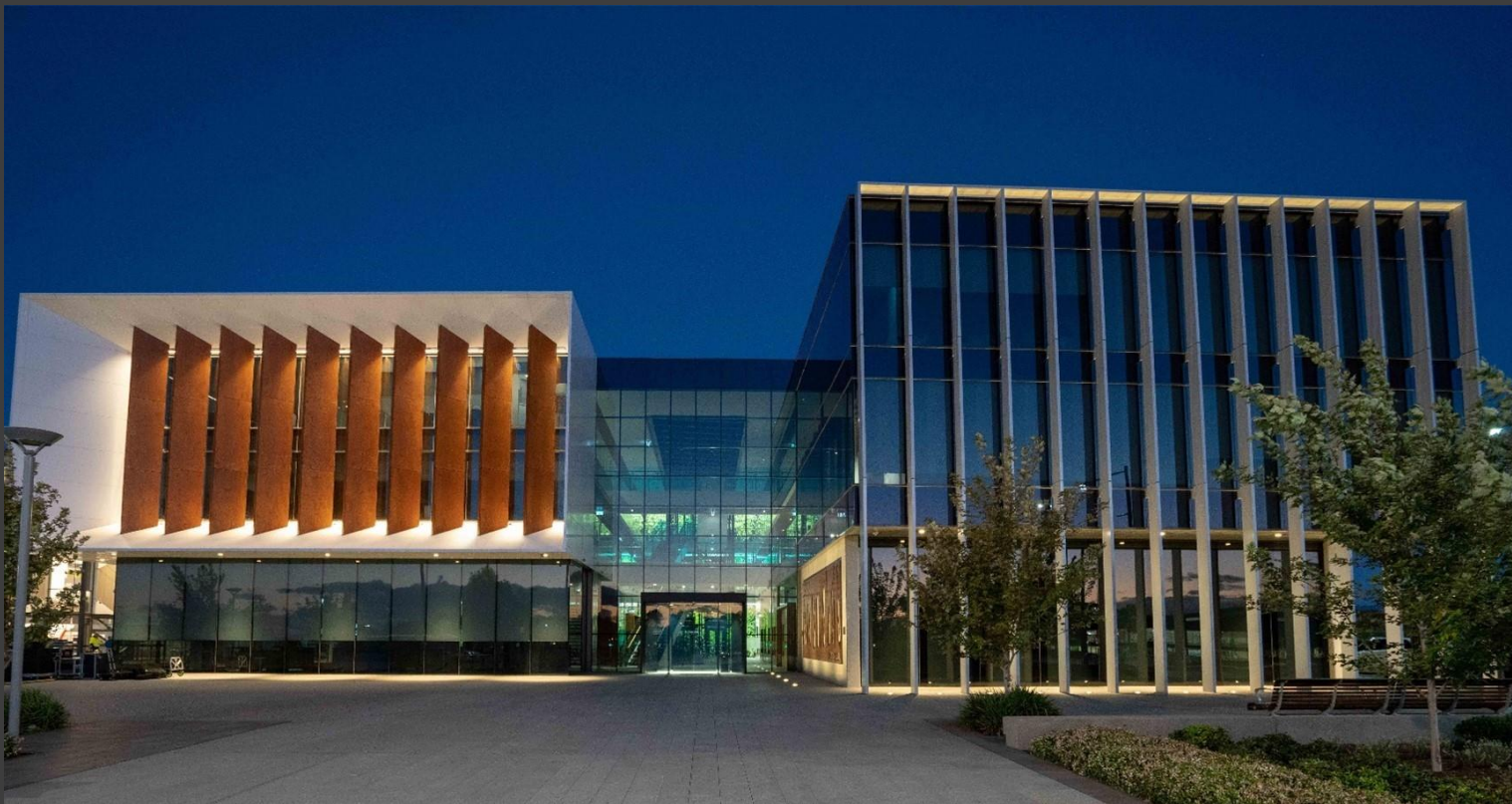
Camden Local Planning Panel

Camden Council

Administration Centre

70 Central Avenue, Oran Park

14 December 2023



camden  
council



## ORDER OF BUSINESS

Acknowledgement of Country .....	6
Recording of Local Planning Panel Meetings .....	7
Declaration of Interest.....	8
<b>CLPP01 DA/2023/153/1 - Construction Of A Four Storey Building And Use As Seniors Housing Comprising 36 Independent Living Units, Undercroft Car Parking, Landscaping And Associated Site Works - 90 WEROMBI ROAD, GRASMERE.....</b>	<b>9</b>
<b>Attachment 1:</b> Recommended Conditions: .....	45
<b>Attachment 2:</b> Housing SEPP Assessment Table: .....	68
<b>Attachment 3:</b> Camden LEP Assessment Table: .....	79
<b>Attachment 4:</b> Camden DCP Assessment Table: .....	82
<b>Attachment 5:</b> Apartment Design Guide Assessment Table: .....	92
<b>Attachment 6:</b> Seniors Housing Guideline Assessment Table: .....	99
<b>Attachment 7:</b> Seniors Living Policy 2004 Assessment Table: .....	101
<b>Attachment 10:</b> Clause 4.6 Written Request: .....	102
<b>Attachment 11:</b> Architectural Plans: .....	131
<b>CLPP02 DA/2023/430/1 - Demolition Of Existing Dwelling, Construction Of A Shed, Regularisation Of Completed Land Forming And Use Of Property As A Vehicle Sale And Hire Premises - 3 Exeter Street, Camden.....</b>	<b>195</b>
<b>Attachment 1:</b> Camden LEP Assessment Table: .....	211
<b>Attachment 2:</b> Camden DCP Assessment Table: .....	214
<b>Attachment 5:</b> Clause 4.6 Written Request: .....	221
<b>Attachment 6:</b> Architectural Plans: .....	241
<b>CLPP03 DA/2008/644/9 - Modification Of A Mixed Use Development - 2-14 John Street And 11 Elizabeth Street, Camden .....</b>	<b>249</b>
<b>Attachment 1:</b> Modified conditions: .....	275
<b>Attachment 2:</b> Existing conditions: .....	286
<b>Attachment 3:</b> SEPP 65 and Apartment Design Guide assessment table: .....	338
<b>Attachment 4:</b> Camden LEP assessment table: .....	350
<b>Attachment 5:</b> Camden DCP assessment table: .....	353
<b>Attachment 8:</b> Proposed plans: .....	365
<b>Attachment 9:</b> Approved plans for buildings 4 and 6: .....	386

**SUBJECT: ACKNOWLEDGEMENT OF COUNTRY**

---

I would like to acknowledge that this meeting is being held on the Traditional Lands and Waterways of the Dharawal people and also recognise surrounding Dharug, and Gundungurra people and pay our respect to Elders past, present, and those emerging.

**SUBJECT: RECORDING OF LOCAL PLANNING PANEL MEETINGS**

---

In accordance with Camden's Local Planning Panel Operational Procedures, this meeting is being audio recorded by Council staff for publication on Council's website.

No other recording by a video camera, still camera or any other electronic device capable of recording speech, moving images or still images is permitted without the prior approval of the panel.

**SUBJECT:       DECLARATION OF INTEREST**

---

This section provides an opportunity for Panel Members to disclose any interest that they may have relating to a Report contained in this Agenda.

**CLPP01**

**CLPP01**

**SUBJECT: DA/2023/153/1 - CONSTRUCTION OF A FOUR STOREY BUILDING AND USE AS SENIORS HOUSING COMPRISING 36 INDEPENDENT LIVING UNITS, UNDERCROFT CAR PARKING, LANDSCAPING AND ASSOCIATED SITE WORKS - 90 WEROMBI ROAD, GRASMERE**

**FROM:** Manager Statutory Planning

**EDMS #:** 23/595548

DA Number:	2023/153/1.
Development:	Construction of a four storey building and use as seniors housing comprising 36 independent living units, undercroft car parking, landscaping and associated site works.
Capital Investment Value:	\$28,696,000
Site Address(es):	90 Werombi Road, Grasmere.
Applicant:	Michael Brown.
Owner(s):	Carrington Centennial Care.
Number of Submissions:	25 objections
Development Standard Contravention(s):	Clause 4.3 Height of buildings
Classification:	Integrated Development.
Recommendation:	Approve with conditions.
Panel Referral Criteria:	Departure from a development standard that is greater than 10% and more than ten submissions received.
Report Prepared By:	Lachlan Hutton (Senior Town Planner).

**PURPOSE OF REPORT**

The purpose of this report is to seek the Camden Local Planning Panel’s (the Panel’s) determination of a development application (DA) for the construction of a four storey building and its use as seniors housing at 90 Werombi Road, Grasmere.

The Panel is to exercise Council’s consent authority functions for this DA as, pursuant to the Minister for Planning’s Section 9.1 Direction, the DA contravenes the height of building development standard by more than 10%. In addition, the DA received ten or more unique submissions (25 submissions by way of objection were received).

**SUMMARY OF RECOMMENDATION**

That the Panel determine DA/2023/153/1 for the construction of a four storey building and its use as seniors housing at 90 Werombi Road, Grasmere pursuant to Section 4.16(1)(a) of the *Environmental Planning and Assessment Act 1979* by granting consent subject to the conditions attached to this report.

## EXECUTIVE SUMMARY

Council is in receipt of a DA for the construction of a four storey building and its use as seniors housing consisting of 36 independent living units, undercroft car parking, landscaping and associated site works at 90 Werombi Road, Grasmere. The capital investment value (CIV) for the proposed development is \$28,696,000.

The DA has been assessed against the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2021*, relevant environmental planning instruments, development control plans and policies. With the exception of a proposed height departure (outlined below), the development is generally compliant with all other relevant planning controls.

The proposal seeks to contravene the height of buildings development standard prescribed under clause 4.3 of Camden Local Environmental Plan 2010 (namely 9.5m) as the proposed development has a maximum height of 16.2m. The applicant has submitted a Clause 4.6 written request seeking to justify this contravention. The contravention is assessed in detail in this report and is supported by Council staff.

The DA was publicly exhibited for a period of 14 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 10 April to 24 April 2023 and 25 submissions were received objecting to the proposed development. The submissions raised the following key issues:

- The proposed development compromises existing residential amenity;
- The proposal impacts the existing heritage item;
- The proposal generates traffic impacts;
- Insufficient car parking is provided;
- Tree removal; and
- Lack of community participation.

These issues are addressed in greater detail within the main body of this report.

Following initial community consultation amendments were made to the proposal, some of which were informed by the submissions, including:

- A reduction from 42 units to 36 units.
- Increasing the north-eastern setback from 8.863m to 15.23m.
- Addition of five on-street (private road) parking spaces.
- Retention of existing service path location, removal of a retaining wall and retention of existing natural ground levels where interfacing with the existing detached Independent Living Units (ILUs) known as Unit 75 and 76.
- Revised landscaped buffer to the north-east of the existing service path to include an additional 20 mature trees.

Based on the assessment, it is recommended that the DA be approved subject to the conditions attached to this report.



**KEY PLANNING CONTROL VARIATIONS**

Control	Proposed	Variation
Camden LEP 2010 - Clause 4.3 Height of buildings – 9.5m	16.2m.	6.7m (70.52%).

**AERIAL PHOTO**



Figure 1: The development site (shown by black circle).

**THE SITE**

The development site is located within an existing seniors living village operating as Carrington Care. The site is legally described as Lot 10 in Deposited Plan 845472 and commonly known as 90 Werombi Road, Grasmere.

Carrington Care is a not-for-profit organisation which provides various degrees of care ranging from independent living units to residential age care facilities. Various ancillary services exist including a golf course, lawn bowls, restaurants, swimming pool, medical centre and an internal bus service which facilitate the ability to age in place.

The site has a public road frontage to Werombi Road (west), where two entry and exits are provided connecting into the broader internal private road network. The site is bound by existing large lots to the north and south, and the Nepean River meanders the eastern boundary of the site. Heritage structures/buildings exist across the site which are identified collectively as local heritage item '1118 – Carrington Hospital' in the Camden Local Environmental Plan 2010. These structures/buildings are Carrington Hospital, Grasmere Cottage, Gardner's Cottage and the Masonic Cottage which exist approximately 230m to the west and 170m to the north of the proposed development.

CLPP01

The immediate context of the proposed development is characterised by a variety of single storey, detached independent living units to the east, south and west, some of which are unoccupied and decommissioned. To the immediate north of the development site is the Mary Mackillop Facility which is an assisted living facility that also contains a dementia ward.

The development site is bound by two private internal roads, Carrington Circuit to the west and Mackillop Circuit to the south. The development site currently contains four unoccupied and decommissioned single storey detached independent living units that are proposed to be demolished (refer figure 2). The site experiences a fall of 4m, sloping towards the south-west (refer figure 3). The site is identified as being affected by flooding and bushfire. There are no easements, restrictions or covenants that impact the proposed development.



Figure 2: Facing east from existing Mary Mackillop car park, observing the four ILUs proposed to be demolished.



Figure 3: Facing north-west from Mackillop Circuit.

**ZONING PLAN**

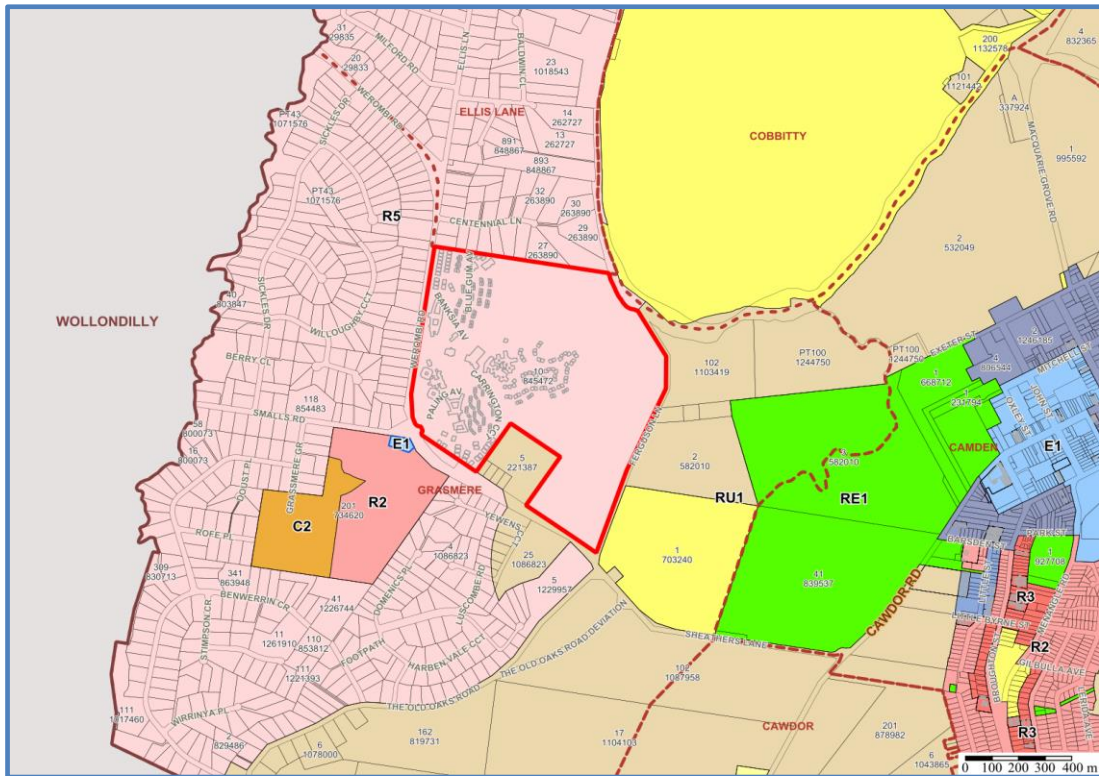


Figure 4: Zoning plan of the site (R5 Large Lot Residential).

**HEIGHT OF BUILDING PLAN**

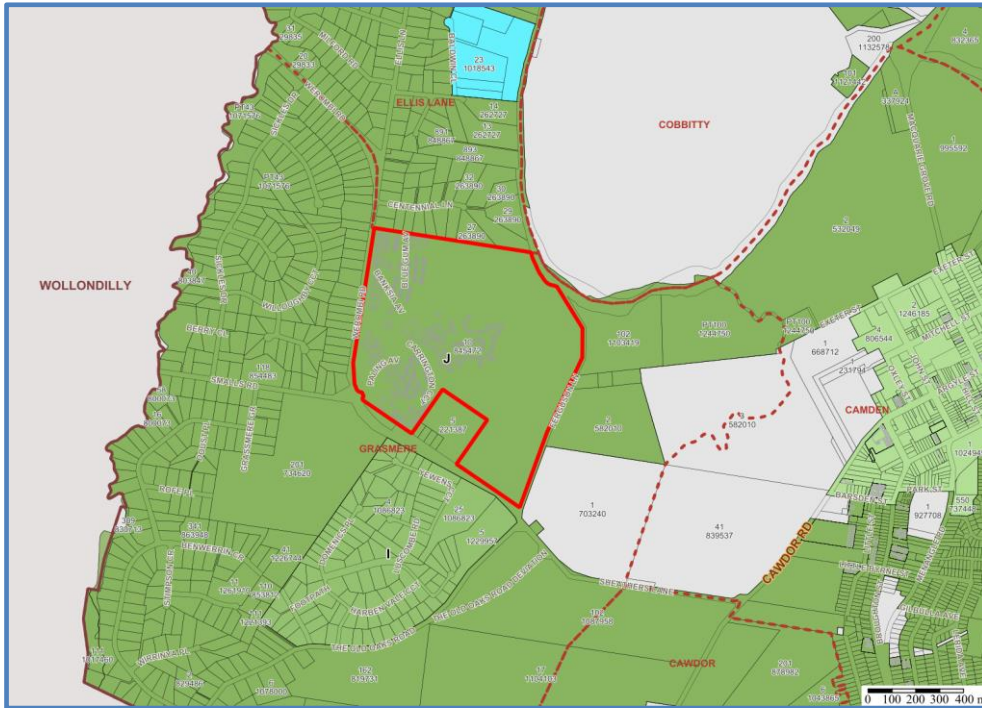


Figure 5: Height of building plan of the site (J = 9.5m).

**HERITAGE ITEM PLAN**

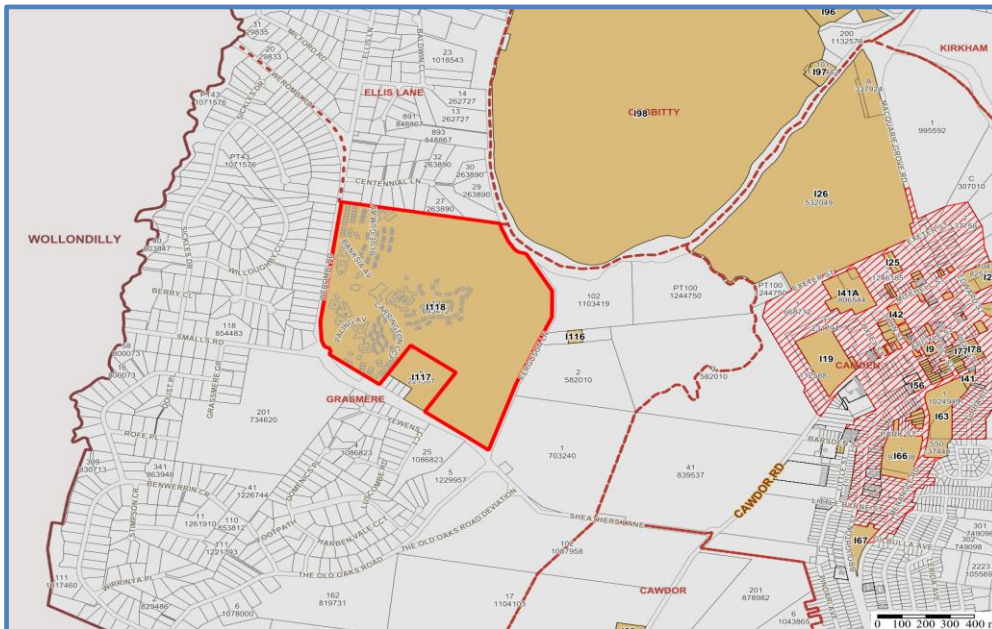


Figure 6: Heritage plan of the site (Local Item I118 – Carrington Hospital).

**AREA MASTER PLAN**



Figure 7: Existing masterplan of the site (units 59 – 62 to be demolished). Note: Masterplan is not orientated North.

**HISTORY**

The relevant development history of the site is summarised in the following table:

Date	Development
21/12/2012 – Approved by Joint Regional Planning Panel	DA/2012/642/1 – Demolition of the existing Pailing Court building at Carrington Care to be replaced with a new 126 bed aged care facility to include, roads, car parking, tree removal, landscaping, and service infrastructure.
27/9/2013 – Approved.	DA/2012/1185/1 – 19 Seniors Independent Living units, removal of trees, minor earthworks, landscaping, driveways, associated parking and infrastructure
20/08/2019 – Approved.	DA/2018/620/1 – Seniors Housing - 24 Independent Living Units (Kent Terraces)
13/12/2018 – Approved.	DA/2017/1790/1 (as modified) - Construction of Seniors Housing development containing 41 independent living units, site works, drainage, access driveway, infrastructure and landscaping.

**THE PROPOSAL**

DA/2023/153/1 seeks approval for the construction of a four storey building and its use as seniors housing consisting of 36 independent living units, undercroft car parking, landscaping and associated site works.

Specifically, the development involves:

- Construction of a four storey building consisting of:
  - 10 x 1-bedroom units.
  - 11 x 2-bedroom units.
  - 5 x 2-bedroom units with study room.
  - 10 x 3-bedroom units.
  - Ancillary kitchen, library, health consulting room, indoor and outdoor dining areas.
- 21 undercroft parking spaces and 10 on-street (private road) car parking spaces.
- Embellishment of communal outdoor space.
- Modifications to existing shared car park immediately south of the Mary Mackillop facility.
- Tree removal, earthworks, drainage, site landscaping and associated site works.

The capital investment value is \$28,696,000.



Figure 8: The proposed development.



Figure 9: The proposed development as viewed from Mary Mackillop car park (facing east / viewed as figure 2).



Figure 10: The proposed development as viewed from Mackillop Circuit (facing south-west).

**ASSESSMENT**

***Environmental Planning and Assessment Act 1979 - Section 4.15(1)***

In determining a DA, the consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the DA:

**(a)(i) the provisions of any environmental planning instrument**

The environmental planning instruments that apply to the development are:

- State Environmental Planning Policy (Biodiversity and Conservation) 2021.
- State Environmental Planning Policy (Resilience and Hazards) 2021 (Chapter 4).
- State Environmental Planning Policy (Housing) 2021 (Part 5).
- State Environmental Planning Policy No. 65 (Design Quality of Residential Apartment Development).
- Camden Local Environmental Plan 2010.

State Environmental Planning Policy (Biodiversity and Conservation) 2021

The Biodiversity and Conservation SEPP aims to protect the environment of the Hawkesbury-Nepean River system by ensuring impacts of future land uses are considered in a regional context. Council staff have considered the general planning considerations outlined by the Biodiversity and Conservation SEPP and are satisfied there will be no detrimental impact on the Hawkesbury-Nepean River system as a result of the development. These considerations are demonstrated throughout this report and its accompanying attachments, including recommended conditions to manage erosion, sediment and water pollution control.

State Environmental Planning Policy (Resilience and Hazards) 2021 (Chapter 4)

The Resilience and Hazards SEPP aims to provide a State-wide approach to the remediation of contaminated land. The DA was accompanied by a stage two preliminary site contamination investigation. The investigation concludes that the likelihood of gross ground chemical contamination on the site is low and that the site is suitable for the proposed development. Council's Specialist Support Environmental Health Officer has reviewed the stage 2 site contamination investigation and concurs with the assessment. As such, the consenting authority can be satisfied the land is suitable for the proposed development.

State Environmental Planning Policy (Housing) 2021 (Part 5)

The Housing SEPP aims to encourage development which meets the needs of those who are vulnerable, recognising those needs are always shifting. The proposed development has been considered against the relevant provisions contained within part 5 – Housing for seniors and people with a disability. The proposed development has been designed with the intended outcome of providing a form of transitional housing for seniors as they progress from independent living to requiring aged care. The proposed development bridges the gap in seniors housing in that it enables one to age in place.

State Environmental Planning Policy 65 (Design Quality of Residential Apartment Development)

SEPP 65 aims to improve the design quality of residential apartment development and provides an assessment framework, the Apartment Design Guide for assessing 'good design'.



The SEPP requires consideration of any development application for residential accommodation meeting the application criteria of the SEPP against the nine design quality principles, including the advice obtained from a design review panel and an assessment against the Apartment Design Guide (ADG).

A copy of the assessment of the proposed development against the design criteria and objectives of the ADG is provided as an attachment to this report. That assessment reveals that the development is largely consistent with the ADG and the design quality principles.

The proposed development has been assessed against the SEPP's design quality principles:

### **Principle 1: Context and Character**

The proposed development responds to its broader and immediate context. Through early planning and site analysis, the proposed development responds to both the natural and built environment. The proposed development will retain elements that contribute to the existing neighbourhood character, that being tree lined private roads, larger setbacks and communal outdoor areas. The development is taken to respond to the broader context occurring across the site, that being an area which is renewing older ILUs in the form of new modern residential flat buildings, villas and townhouses. As such, the proposed development is considered to employ good design which is contributory to the broader site context, both current and future.

### **Principle 2: Built Form and Scale**

The site is undergoing renewal whereby the existing character (that predominately consists of single storey detached ILUs) will be transitioned to new modern residential flat buildings, villas and townhouses. This is evident by existing developments on site, such as the Riverview Apartments, the Paling Court residential age care facility, and the Kent Terraces. In recognition of this, the proposed scale, bulk and height of the proposed development is taken to be consistent with the desired future character of the internal roads and surrounding buildings. More specifically, through measures described by principle 1, the proposed development will utilise the existing topography to enhance the views and vistas to units, particularly those facing south, which have views to the east across the floodplain toward Camden.

### **Principle 3: Density**

The density of the proposed development has appropriately responded to the site and its context. Overlooking and overshadowing from the proposed development to nearby ILUs has been mitigated through setbacks, privacy screens, planter bays and compensatory planting. The building creates visual interest, following the shape and topography of the site. The building presents as four storeys on the southern elevation, tapering down to three storeys to the north as it steps following the slope of the land. The proposed density is considered acceptable and is consistent with current and future densities envisaged for the site. The proposed density ensures high levels of amenity for exiting and future residents.

### **Principle 4: Sustainability**

The architectural plans provided demonstrate that the proposed development will have access to natural cross ventilation and sunlight, which is consistent with ADG objectives.

In addition, the proposed development adopts lighter colours and materials with a lower solar absorbance. The proposed development has given consideration to utilising design to contribute to sustainable environmental, social and economic outcomes. In addition, a photovoltaic system will be incorporated to the roof of the proposed development, with the development subject to BASIX and satisfying those requirements.

#### **Principle 5: Landscape**

Landscaping has been incorporated within the apartment where practically possible. The planting scheme is carried through outside of the building footprint. The significant embellishment of the area north of the proposed development will provide areas for residents to meet, relax and enjoy a natural setting. This area contains benches, small useable open spaces and a pedestrian path which meanders through the site. The design, through the incorporation of landscaped areas, creates a development that affords benefits arising from sustainable practices and approaches.

#### **Principle 6: Amenity**

Variations in room dimensions and layouts provides a development that offers variations to the types of amenity provided. Broadly the development will cater for the day-to-day needs of each resident but acknowledges the need for differences arising from individual preferences (such as the number of bedrooms, orientation and outlook). Variations in those elements are well-balanced across the proposed development. The layout and design of the proposed units are generally compliant with the ADG and more relevantly the draft Seniors Housing Guidelines. As such, future residents will be afforded with a high level of amenity.

#### **Principle 7: Safety**

The proposed development is located within an existing retirement village (Carrington Care) and is naturally afforded a level of safety by the existing systems in-place on site. Notwithstanding, the proposed development clearly delineates private and public spaces. Attention is given to public spaces whereby casual surveillance is provided by overlooking balconies from all elevations. Moving beyond the development, pathways proposed are logical and do not lead to concealed areas or potentially dangerous locations. The development has optimised safety and security through its design.

#### **Principle 8: Housing Diversity and Social Interaction**

The proposed development is specifically designed for those aged over 65 years that require a form of assisted living, however a diversity of unit mix is provided, with one, two and three bedroom units, including two bedroom units with a study provided within the development.

#### **Principle 9: Aesthetics**

The design adopts varying projecting and recessing elements which vary the appearance of facades allowing diversity and a sense of individuality to be provided to the development. The design sets a desirable precedent for the intended renewal anticipated to occur across the site.

#### **State Environmental Planning (Building and Sustainability Index: BASIX) 2004.**

The BASIX SEPP seeks to encourage sustainable residential development. A BASIX Certificate has been provided for the subject DA, noting that all proposed units within the development site will comply with the relevant targets under this policy. A standard

condition is included in the recommended conditions to ensure ongoing compliance with this policy.

#### Camden Local Environmental Plan 2010 (Camden LEP)

The Camden LEP aims to make local environmental planning provisions for land in Camden in accordance with the relevant standard environmental planning instrument under Section 3.20 of the *Environmental Planning and Assessment Act, 1979*.

#### *Site Zoning*

The site is zoned R5 Large Lot Residential pursuant to Clause 2.2 of the Camden LEP.

#### *Land Use/Development Definitions*

The development is characterised as 'seniors housing', 'demolition', 'earthworks', and 'drainage' by the Camden LEP.

#### *Permissibility*

'Seniors housing' (being a form of residential accommodation) is a nominate prohibited use within the R5 Large Lot Residential zone. However, pursuant to clause 2.5, Schedule 1(8) of the CLEP 2010, 'seniors housing' is identified as an additional permitted use for the site.

#### *Planning Controls*

An assessment table in which the development is considered against the Camden LEP's planning controls is provided as an attachment to this report.

#### *Proposed Contravention – Clause 4.3 Height of Buildings.*

The applicant proposes a contravention to the height of buildings development standard that applies to the site.

Pursuant to clause 4.6(3) of the Camden LEP (CLEP 2010), the applicant has submitted a written request that seeks to justify the contravention of the development standard.

The applicant's written request provides the following justification for the contravention:

- *The proposed height variation does not generate any unacceptable environmental impacts in respect of overshadowing and will not impact on any significant view lines and vistas from the public domain or from adjoining heritage buildings. In this regard, Extent has undertaken a statement of heritage impact at Appendix M and summarised in Section 2.1. It would also be noted that levels across the development site are variable adding to the complexity of designing a development to meet these controls, with the ground level (main entrance) at a higher elevation due to the existing retaining walls. Some parts of the retaining walls are higher than other parts adding to the complexity of the site constraints.*
- *There are site specific environmental grounds which justify the breach, in particular the requirement to have regard to the existing ground levels and the existing timber retaining walls.*

- *Notwithstanding the proposed height variation, the proposed development remains consistent with the objectives of the height standard and the R5 Large Lot Residential zone (refer to Figure 3 for extract from the zone map under CLEP 2010).*
- *The proposed height variation will not be perceivable from the public domain and as such the proposed development will have an appropriate impact, in terms of its scale, form and massing and will not have a significant impact on existing dwellings to the south, which have been “earmarked” for redevelopment on the staging plan at DA-012 of Appendix A.*
- *The proposed development is in the public interest. The proposed development and variation to the height control will enable the orderly and efficient use of the land for senior’s housing replacing older housing stock with new modern housing to meet the changing landscape in such housing and the demand by persons moving into lifestyle villages such as Carrington, and therefore is in accordance with the objects of the Act. Therefore, the DA may be approved with the variation as proposed in accordance with the flexibility allowed under clauses 4.6 and 5.6 of the CLEP 2010.*

A copy of the applicant’s Clause 4.6 written request is provided as an attachment to this report.

Pursuant to clause 4.6(3) of the Camden LEP, Council staff are satisfied that:

- The applicant’s written request has adequately addressed the matters required to be demonstrated by clause 4.6(3) of CLEP 2010; and
- The development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zones in which the development is proposed to be carried out.

The development standard contravention is supported for the following reasons:

- The development is consistent with the objectives of the clause 4.3 (height of buildings), as outlined below:
  - a) To ensure that buildings are compatible with the height, bulk and scale of the existing and desired future character of the locality,

The area encompassing the site is characterised by single storey detached independent living units, native vegetation and outlooks across the floodplain toward Camden. The proposed development varies in height from 12.5m to 16.2m in response to the existing natural topography (see figure 11). The proposed development has incorporated those elements which contribute to the immediate existing character within its design, which assists in allowing the proposed development to comfortably sit in its proposed location.

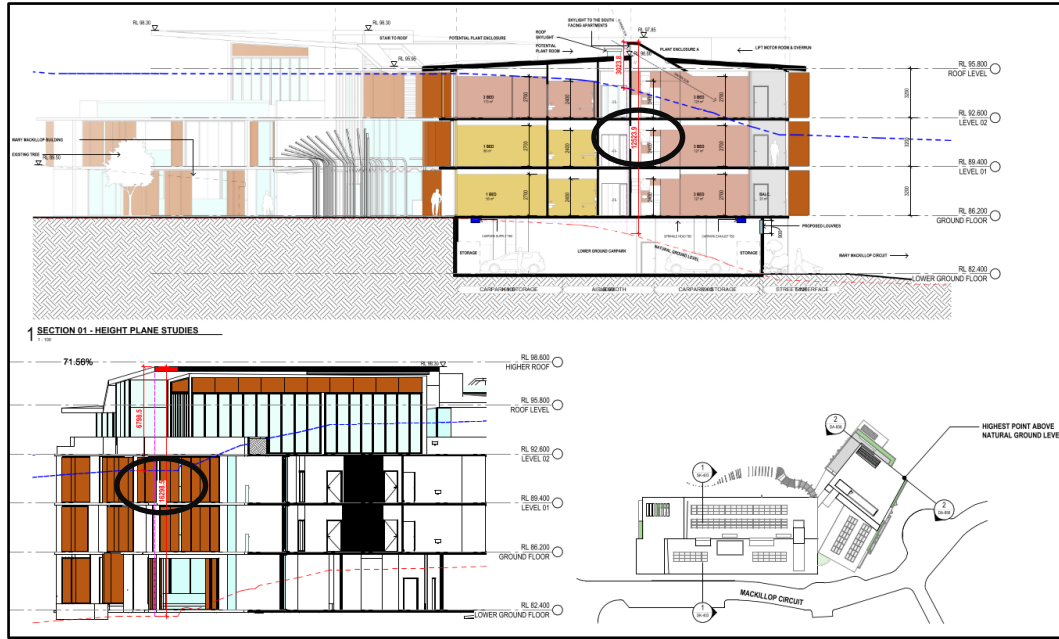


Figure 11: Height contravention shown in black outline 12.5m (top right) to 16.2m (bottom left).

The existing residential density and dwelling typology at Carrington Care is currently undergoing change whereby older decommissioned units are being replaced by new higher and denser forms of Seniors Living. This is evident elsewhere on the site, including:

- The Woodlands Assisted Living Apartment – 41 units and 10.5m in height (see figure 12);
- Paling Court – residential aged care facility - 16.5m in height (see figure 13 and 14).

CLPP01



Figure 12: Woodlands Assisted Living Apartment.



Figure 13: Paling Court (left) and detached ILUs (right).



Figure 14: Paling Court (left) and detached ILUs (right).

Having regard to the existing character observed broadly across the site, the height, bulk and scale of the proposed development is considered to be compatible with the existing and desired future character of the site.

- a) To minimise the visual impact, disruption of views, loss of privacy and loss of solar access to existing development,

Within the immediate context, the proposed development is partly situated 3.5 – 4.0m higher than the detached ILUs located to the north-east and south. These are considered to be the most potentially impacted by the proposed development (refer figure 15 and 16). There will be no visual impact or disruption of views for those located north-east and south of the proposed development due to existing level differences, variations in building height and setbacks. Additional measures are incorporated to reduce concerns related to privacy and overshadowing.

CLPP01



Figure 15: Existing views from detached ILUs immediate south along Mackillop Circuit.



Figure 16: Looking south further along Mackillop Circuit observing existing views.





Figure 17: Observing the prominent view line from the southern ILUs.

The proposed development has introduced a combination of measures to reduce overlooking and loss of solar access, particularly to those most potentially affected by the proposed height contravention (being the north-east and south of the proposed development). Overlooking has been minimised to those located north-east by incorporating a 15.23m building setback together with retractable privacy screens to the northern, north-eastern (and south-eastern and southern facing) balconies.

Overlooking from the upper level outdoor dining area has been managed by introducing a raised (1.2m–1.5m) landscaped planter bay around its entire perimeter, which will obscure any direct sightlines to and from nearby ILUs. This is in addition to significant landscaping to be planted along the interface with those units located to the north-east.

Furthermore, solar access diagrams have been produced which demonstrate that the proposed height contravention will not result in a significant loss of solar access in mid-winter.

Accordingly, the proposed contravention is not considered to result in a detrimental impact on views, privacy and solar access to nearby development.

- a) To minimise the adverse impact of development on heritage conservation areas and heritage items.

Heritage structures/buildings exist across the site which are collectively identified as local heritage item '1118 – Carrington Hospital' in the Camden Local Environmental Plan 2010. These structures/buildings are Carrington Hospital, Grasmere Cottage, Gardner's Cottage and Masonic Cottage which exist approximately 230m to the west and 170m to the north of the proposed development (see figure 18):

CLPP01



Figure 18: The proposed development in relation to local items of heritage significance.

The proposed development is considered to be outside of the immediate curtilage of these heritage listed buildings/structures.

Of those buildings/structures listed as Item I118, the proposed development will be most visible from Carrington Hospital. Carrington Hospital is situated approximately 7m higher than the proposed development and has an outlook to the spire of St Johns Church. The level difference, together with the distance of separation and existing mature landscaping, significantly obscures the proposed development and retains the existing sightline to St Johns Church (see figure 19 and 20 below). The proposed height contravention does not result in any adverse impacts to the existing heritage items. The perception of the contravention is minimised through the buildings distance, design and siting.



Figure 19: Looking east (existing) from Carrington Hospital viewing spire of St Johns Church.



Figure 20: Looking east (proposed) from Carrington Hospital viewing spire of St Johns Church.

- The development is consistent with the objectives of zone of the R5 Large Lot Residential Zone, as outlined below:

- a) To provide residential housing in a rural setting while preserving, and minimising impacts on, environmentally sensitive locations and scenic quality.

The proposed contravention will assist in providing more housing for seniors on the site which currently supports a variety of seniors housing. Acknowledging the level difference observed, the proposed development has been sited so as to reduce unnecessary earthworks to retain the existing topography and landscaping that is contributory to the sites existing character.

- b) To ensure that large residential lots do not hinder the proper and orderly development of urban areas in the future.

The proposed works are contained centrally within an existing seniors living village, with no subdivision proposed. By supporting the proposed contravention, proper and orderly development is not constrained, as the site is anticipated to remain operative as a seniors living village into the foreseeable future.

- c) To ensure that development in the area does not unreasonably increase the demand for public services or public facilities.

The proposed development does not heavily or unreasonably rely on public services or facilities. Carrington Care provide services that aim to meet the day-to-day needs of those residing within the seniors living village. This includes, but is not limited to, a medical centre, waste collection services, restaurants and an internal bus service which has the capacity to travel beyond the site. The proposed contravention will not significantly increase demand for public services or facilities that would otherwise be demanded in absence of the proposed contravention.

- d) To minimise conflict between land uses within this zone and land uses within adjoining zones.

The entire lot currently operates as a seniors living village. Located centrally within the site, the proposed development is located approximately 140m south from the nearest adjoining zone being RU1 Primary Production. Given the proposed development is located centrally within the existing seniors living development, the proposed development will not cause a conflict between the adjoining zone.

Consequently, it is recommended that the Panel support the proposed contravention to the height of buildings development standard prescribed under Camden LEP 2010.

***(a)(ii) the provisions of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)***

Draft Environment State Environmental Planning Policy (Draft Environment SEPP).

The development is consistent with the Draft Environment SEPP in that there will be no detrimental impacts upon the Hawkesbury-Nepean River system as a result of it.

Draft Remediation of Land State Environmental Planning Policy (Draft Remediation of Land SEPP).

The development is consistent with the Draft Remediation of Land SEPP in that it is consistent with the Resilience and Hazards SEPP.

**(a)(iii) the provisions of any development control plan**

Camden Development Control Plan 2019 (Camden DCP)

An assessment table in which the development is considered against the Camden DCP is provided as an attachment to this report. The proposal is generally consistent with all relevant matters contained in the Camden DCP.

**(a)(iia) the provisions of any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4**

No relevant planning agreement or draft planning agreement exists or has been proposed as part of this DA.

**(a)(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph)**

The *Environmental Planning and Assessment Regulation, 2021* prescribes several matters that are addressed in the conditions attached to this report.

**(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality**

*Likely impacts – Units 75 and 76.*

Council staff initially expressed concern with the suitability of the originally proposed development in relation to existing ILUs known as Units 75 and 76 (see figure 21 and 22). These concerns were also raised in public submissions received during the notification period.



Figure 21: Detached ILUs 75 / 76 are considered to be the most potentially impacted by the proposed development. Black outline depicting location of planting sown by figure 24.



Figure 22: Viewing interface as shown by figures 22 and 23 below.

Through the submission of amended plans, the proposed development has undergone significant changes to address the visual bulk (and associated) impacts raised with the originally proposed development (as they relate to Units 75 and 76). Specifically these changes included:

- Increasing the north-eastern setback from 8.863m to 15.23m (see figure 23 and 24).
- Retention of the existing service path location, removal of a retaining wall and retention of existing natural ground levels where interfacing with detached ILU's 75 and 76 (see figure 23 and 24).
- Revised landscaped buffer to the north-east of the existing service path to include an additional 20 mature trees (see figure 25).

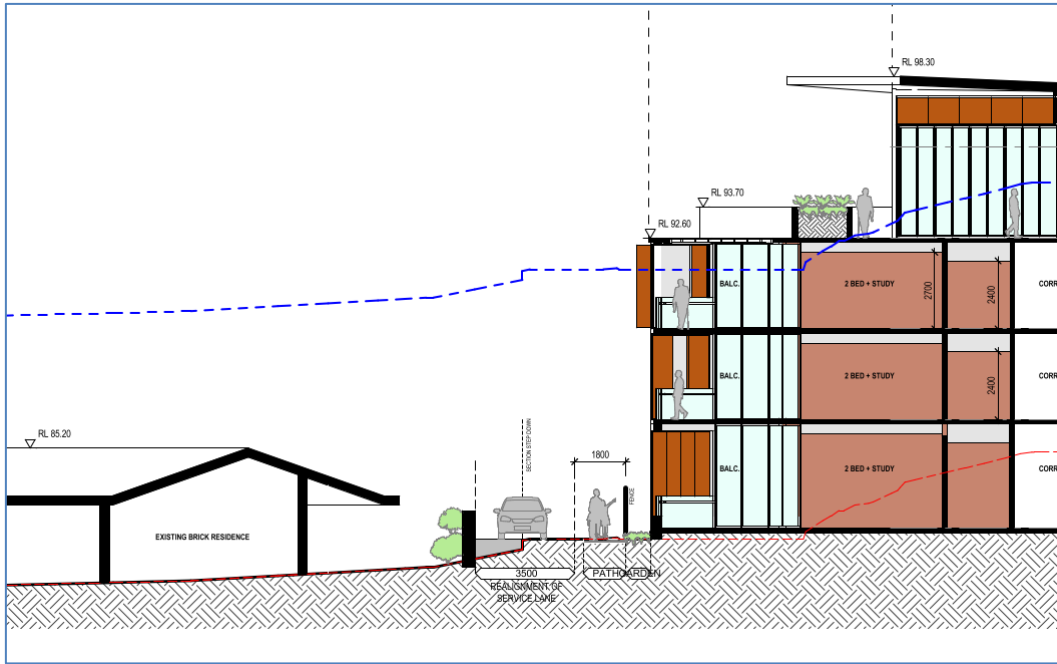


Figure 23: Interface with ILUs 75 / 76 as originally proposed.

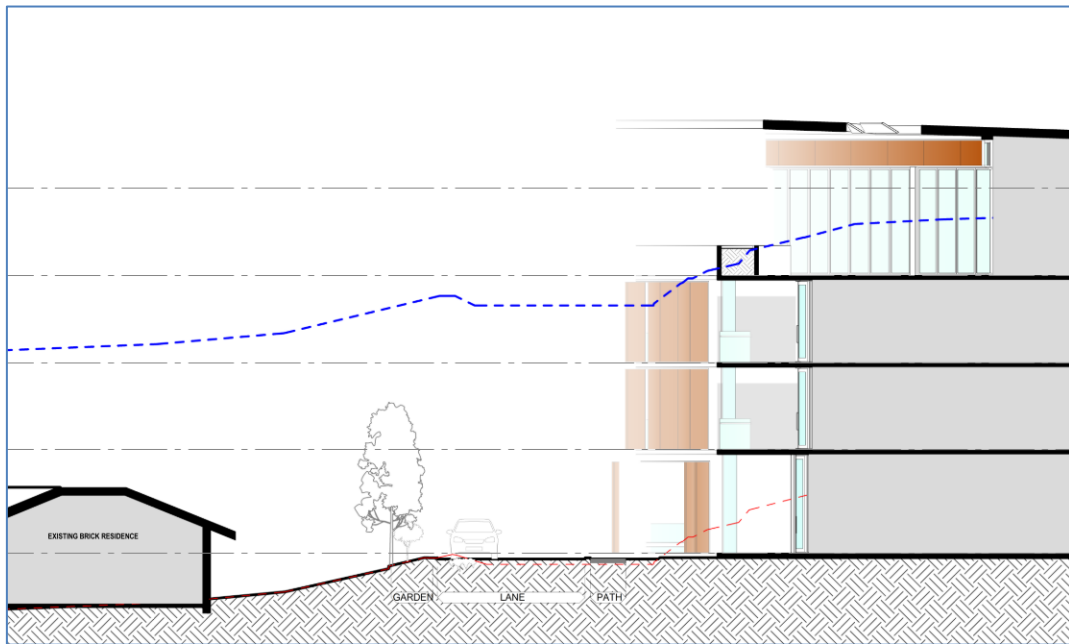


Figure 24: Interface with ILUs 75 / 76 as currently proposed.

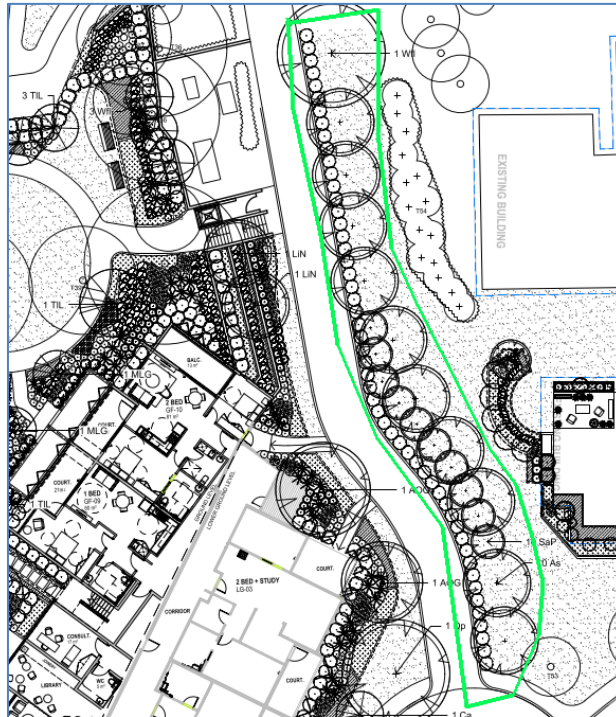


Figure 25: Significant landscape buffer proposed shown in green outline.

The changes detailed above are considered to significantly reduce the height, bulk and scale of the development as it presents to Units 75 and 76.

As demonstrated by the assessment in this report, the development is unlikely to have any unreasonable adverse impacts upon the natural and built environments, nor will it generate adverse social and economic impacts within the locality.

**(c) the suitability of the site for the development**

As demonstrated by the detailed assessment, the site is considered suitable for the development.

**(d) any submissions made in accordance with this Act or the regulations**

The DA was publicly exhibited for a period of 14 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 10 April to 24 April 2023 and 25 submissions were received objecting to the proposed development.

The key issues raised in the submissions are considered below.

1. *On the roof of the proposed structure, at the north-east end, there is an open area which is specifically designated as an ‘outdoor eating area’, alongside which are designated lounge and dining areas. Residents patronising those facilities have a clear, uninterrupted outlook across the existing residences*

Officer Comment:

The roof area incorporates a raised (1.2m–1.5m) high planter bay around the entire perimeter. The raised planter bay will obscure direct sightlines to and from those units located to the north-east.



- Balconies facing east from bedrooms will have a clear and uninterrupted outlook over those Ross Avenue residences.*

Officer Comment:

Balconies facing east and north-east are setback at least 15.23m from the nearest ILU (unit 75) and incorporate retractable privacy screens. In addition, significant landscaping is proposed within the 15.23m setback. In combination, these measures are considered to mitigate overlooking concerns from units facing east and north-east toward Ross Avenue.

- Woodlands, as proposed, would significantly encroach on the privacy of Units 75 & 76, 77 & 78. The building, as proposed, appears to be less than 4 metres from Units 75 & 77, and would block their sun and light from the northwest. Effectively winter sun (heat and light) will be significantly reduced. It will also block sun from Units 63 to 73 facing the building, and from Unit 74 to the northwest - again affecting winter sun (heat and light).*

Officer Comment:

Council staff raised concerns regarding the proximity of the proposed development in relation to unit 75, 76, 77 and 78. The setback as originally proposed was 8.863m to the nearest ILU (unit 75) and this has now been increased to 15.23m as part of the amended proposal. Solar access diagrams indicate that units 75, 76, 77 and 78 will retain existing solar access between 9am–3pm in mid-winter. Whilst it is recognised that some overshadowing will occur to those units located south of the proposed development (units 63 to 74), the submitted solar access diagrams demonstrate that solar access to these units is retained between 9am-12pm before becoming partly overshadowed from 12pm onwards at mid-winter.

- SEPP requires design that will not adversely impact amount of daylight on neighbouring buildings. Shadow diagrams indicated impacts to single storey homes.*

Officer Comment:

As discussed in the assessment against clause 99 and 101 of Part 5 of the Housing SEPP, the proposed development has reduced the extent of overshadowing by providing a greater than required setback to the southern and north-eastern detached independent living units (ILUs).

- The visual and acoustic privacy of the residents of nearby single storey homes must be adversely affected. Landscaping cannot possibly protect their visual privacy or necessarily sufficiently mitigate their acoustic privacy.*

Officer Comment:

In conjunction with landscaped screening, the proposed development incorporates varying setbacks, privacy screens and raised planter beds to ensure overlooking is minimised to nearby ILUs. The proposed development is not considered to generate an unacceptable amount of noise, being residential in nature. Council's Environmental Health Officer has reviewed the proposal and has raised no concerns in regard to potential noise impacts.

6. *The outdoor seating areas could result in unacceptable acoustic impacts on existing residents. In particular, the rooftop dining area could generate a lot of noise. The function of this area is not entirely clear. Is this a residents' dining area providing all meals to all residents, or a restaurant? Will it operate at night, and will alcohol be served? Will there be music or amplified sound?*

Officer Comment:

The upper outdoor dining area is intended to serve those who reside within the proposed development. It is anticipated the proposed outdoor dining area can be utilised at any point in time noting this area is considered a form of communal outdoor space. Excessive or amplified noise is considered unlikely and those residing in the building would be impacted to the greatest degree. Accordingly this issue (should it arise) can be dealt with by Carrington Care and/or the residents of the building.

7. *I am concerned for the impact of the outdoor amenity ( amount of / access to green space) currently afforded residents of Mary MacKillop Nursing Home (Erica Wing) - during construction and post construction. Patients with memory loss in early stages can be significantly affected by removal of familiar green space and their ability to access it. Accessibility of landscaped garden around the new building (proposed on completion) is problematic for Nursing Home residents, due to accessibility. There is a construction period of up to 2 years during which the residents in Erica Wing will apparently be unable to access their outdoor terrace at all.*

Officer Comment:

The fenced outdoor garden to the south-west of the Mary Mackillop facility is shown outside the area of proposed works and is to be retained. The area immediately south of the Mary Mackillop facility will be embellished to a level higher than currently exists. Access to existing units within the Mary Mackillop facility will be maintained as shown in the construction staging plan submitted with the DA.

8. *I understand that during construction MacKillop Circuit, from numbers 63 to 72, will be closed to pedestrian and vehicular traffic - apart from construction traffic. This end of MacKillop Circuit provides level access for 66 units to the top end of Carrington i.e. the Recreation Centre, the Administration Centre, Pharmacy and Medical services. It is in constant use by residents walking, riding motorised scooters and driving. Without that access residents must travel down MacKillop Circuit, and up / down a steep hill, which presents a significant mobility issue and safety risk. It is unacceptable to expect residents of 66 independent living units to change their safe access for such a significant period of time, particularly those who no longer drive.*

Officer Comment:

Council staff requested the applicant prepare a construction staging plan. The staging plan demonstrates that access will be maintained throughout the duration of the development, through the construction of half-roads. The constructed half-roads will enable access to Carrington Circuit and Mackillop Circuit to be temporarily retained during the construction phase of the proposed development. This arrangement will benefit units 63 to 73 and those seeking to generally retain their existing path of travel within the site.

9. *The character of the proposed building is not in keeping with the character of the Mary MacKillop Nursing Home and the independent living units along MacKillop Circuit. The design is not empathetic to the surrounding residents' homes and is out of proportion in the immediate neighbourhood. The building, as proposed, is 3 stories high from MacKillop Circuit, and will "loom" over the homes of the independent living units it overlooks.*

Officer Comment:

The proposed development retains elements that contribute to the existing neighbourhood character, that being tree lined private roads, larger setbacks and communal outdoor areas. The residential density and dwelling typology at Carrington Care is undergoing change whereby older decommissioned units are being replaced by new higher and denser forms of Seniors Living. As such, the proposed development is taken to employ good design which is contributory to the broader site context, both current and future.

10. *Wellbeing of Residents of the Mary Mackillop Residential Aged Care facility which adjoins Woodland. Many of those Residents have conditions which could be adversely affected by the building operations, especially any demolition and excavation in their immediate vicinity, and over an extended period.*

Officer Comment:

Council staff requested the applicant prepare a construction staging plan. The staging plan demonstrates the order of proposed works whereby particular attention is given to maintaining the day-to-day operations of the Mary Mackillop facility and those detached ILUs located to the south of the proposed development. Conditions of consent are recommended to ensure the proposed staging occurs as approved.

11. *The impact of the demolition of current buildings and the earthworks will create an enormous amount of dust that we, residents in the surrounding villas will cop the brunt of! Not to mention the noise of the large equipment and machinery needed for the development.*

Officer Comment:

The application was reviewed by Council's Environmental Health Officer with recommended conditions requiring the preparation of a construction management plan prior to works commencing. The plan will detail how dust, soil, sediment and traffic will be managed and mitigated in accordance with Council's Engineering Design Specification.

12. *I understand that the laneway currently providing access to the laundry at Mary McKillop Nursing Home is to be closed as part of the "Woodlands" development. At the time of writing, no information has been provided about alternative vehicular access to the laundry and potential impact on residents.*

Officer Comment:

The works occurring over the existing service lane running north/south from Mackillop Circuit will be carried out under its own stage (stage 6) which is the final stage of the proposed development. At such time that these works are carried out alternative access

to the Mary Mackillop facility will be provided via the main entry / exit from Carrington Circuit.

13. *There are no walking footpaths for residents, who must walk on the roads with all the traffic - which it appears is only going to get much worse.*

Officer Comment:

The development will introduce a new pedestrian pathway along the northern side of Mary Mackillop Circuit together with a marked pedestrian crossing where intersecting with Carrington Circuit. The proposed development will increase pedestrian connectivity within the immediate surrounds of the proposed development.

14. *Both the SEPP and the LEP restrict the building height to 9.5m. At 15.62m and four storeys the height exceedance is extreme. Arguably it requires consideration under a planning proposal, not a DA 4.6 variation request.*

Officer Comment:

The proposed development is consistent with the existing Seniors Housing typologies and established height of buildings which range from 10.5m (Riverview Assisted Living Apartment) to 16.5m (Paling Court). In consideration of the development's context, location and the amendments which have occurred in response to localised concerns, the height contravention is considered supportable.

15. *If approved this construction would set a new precedent, which would inevitably lead to further four storey apartment proposals in the other areas targeted for redevelopment.*

Officer Comment:

Similar height of building precedents are already observed across the lot, including Paling Court at 16.5m and the Riverview apartments at 10.95m in height. The proposed development is consistent with the established heights observed across the site. It is not considered to set a new or undesirable precedent.

16. *We note that the proposal is planned for well inside the heritage curtilage of the site. Exceptions have been made for multi storey contemporary aged care facilities in this area in the past, but this facility is for independent living apartments, which, while they may support transition to assisted living, are not aged care.*

Officer Comment:

Riverview apartments, which consists of 41 independent living units in the form of a residential flat building (approved under DA/2017/1790/1) already exists on the site. Notwithstanding, the development is a form of Seniors Housing and has been assessed against the relevant environmental planning instruments, development control plans and guidelines.

17. *The design, height, and scale of the proposed building would not complement the nearby heritage buildings and surrounding areas, and it would have a detrimental impact on the area's heritage. It would be visually prominent, particularly when viewed from locations downhill which include parts of Camden township and surrounding rural areas.*

Officer Comment:

Of the existing items onsite, the proposed development will be most visible from Carrington Hospital. The proposed development is approximately 7m lower than the Carrington Hospital and is over 230m from it. The applicant has submitted a Heritage Impact Assessment and Visual Impact Assessment. Council staff are satisfied that the proposed development will have a negligible heritage impact and will be visually obscured when viewed from Carrington Hospital.

- 18. The proposed building would be in a direct line between the historic Carrington Main Hospital building and the township of Camden, and it would be clearly visible, through, between, and above, the surrounding plantings.*

Officer Comment:

The submitted visual impact assessment has demonstrated the sightline between Carrington Hospital and the spire of St Johns Church will not be obstructed. The visual impact assessment also demonstrates that the general view lines to and from the Camden Town Centre are maintained.

- 19. The height of this new building would rival that of the roof line of the Main Hospital Building which is the centrepiece of the site's heritage, and the size of this new proposal impacts the sense of place of this historic building.*

Officer Comment:

The proposed development is located approximately 230m from Carrington Hospital and set from an existing natural ground level 7m lower than Carrington Hospital. Together with existing and proposed trees, shrubs and groundcovers between the two structures, the proposed development is not considered to "rival" Carrington Hospital.

- 20. There is an unacceptable shortfall in parking for the 42 units. Only 21 resident spaces are provided, and 5 visitor spaces, even given the most optimistic calculation there should be at least 30. Given the nature of most units as independent living, and the number of bedrooms per unit, it would be expected that many residents would still own and drive at least one car per unit. There is also likely to be more than 5 visitors on many occasions given the number of people residing there. There seem to be no spaces allocate for staff. It also appears 13 street parking spaces are being removed from Mary Mackillop Circuit to accommodate the development. This would cause an unacceptable parking loss for current residents and visitors to the surrounding area. There would be an inevitable increase in traffic, especially on the narrow internal roads, which are a shared area with elderly pedestrians.*

Officer Comment:

Carrington Care is a registered not-for-profit organisation which is defined as a type of social housing provider. The proposed development generates a demand for 8 spaces as required by clause 108 of the Housing SEPP. The proposed development provides a total of 21 spaces (with an additional 10 spaces provided on Mackillop Circuit). Council staff acknowledge the existing services, utilities and operations within Carrington Care which further reduce reliance and demand for a private vehicle, also noting that this facility is to provide for assisted living. The applicant has introduced an additional 10

parking spaces to the southern side of Mary Mackillop Circuit which can be utilised by those wishing to visit residents within the complex.

The proposed development will also reconstruct the existing parking area contained to the front (south) of the Mary Mackillop building, increasing the amount of spaces from 28 to 29 with additional landscaping being provided between spaces.

*21. A car park within the Woodland premises will increase the traffic movement in the area, and so create an added risk to me, on my mobility scooter when using Mackillop Circuit. I have no alternative, as do other such users, as there are no footpaths, and we are required to use the roadway, along with all other traffic. Too dangerous for us all.*

Officer Comment:

The applicant has taken into account traffic generation which, for this type of development, is relatively low resulting in ten additional vehicle trips per hour during peak AM and PM periods.

*22. Evacuation of a four-story building if there is a fire is problematic when the residents are not necessarily able-bodied. Lifts cannot be used. It is not clear how fire safety is guaranteed. This is probably a factor in the SEPP limiting the height of buildings.*

Officer Comment:

The development application was accompanied by a preliminary BCA report and access compliance report. The accompanying documents were reviewed by Councils Building Certification team who support the proposed development subject to recommended conditions.

*23. The recent Camden floods demonstrated that roads are cut and that by road Carrington is isolated. Residents needing, for example, urgent medical care during those times would need to be airlifted.*

Officer Comment:

The existing operations and services provided by Carrington Care facilitate sheltering in place (if required).

*24. Executive Summary makes no reference at all to the trees on the actual site of the proposed Woodland building. That site largely encompasses the 4 buildings numbered from 59 to 62 on the enclosed sketch plan. That particular site has at least 20 trees which clearly are to be removed to make way for the Woodland structure, together with extensive shrubbery on the banks facing Mackillop Circuit and a laneway.*

Officer Comment:

Council staff requested that discrepancies observed between the plans and documents be reviewed. The applicant has since revised the arborist report which now includes an additional 11 trees for removal. Together with the amended arborist report, the applicant has revised the landscaping plan and in accommodating the additional tree removal proposes a larger amount of replanting. Council's Urban Tree and Landscaping Officer

have reviewed the amended proposal and supports the development subject to recommended conditions.

*25. Proposed Woodland site now has some quite large mature trees, and their replacement is highly unlikely to be a 'suitable planting to match', such as applies in the case of those in the existing car parking area. Indeed, that same feature of size and maturity applies to some trees in that car park.*

Officer Comment:

The planting schedule shows a variety of suitable planting which have been reviewed to the satisfaction of Council's Urban Tree and Landscaping Officer.

*26. Adjoining lot of my Unit No. 75. In the latter case, it seems that at least 3, and possibly 5, trees are destined for removal to accommodate the curve in the laneway. Are those 3 aspects referred to in the DA.*

Officer Comment:

Following concerns raised by Council staff the applicant has revised the proposal to incorporate a greater setback (increased from 8.863m to 15.23m) between the eastern and north-eastern elevation of the development and units 75 / 77. The increased separation between the development and units 75 / 77 has enabled the existing service path to retain its existing alignment. It is noted that some existing vegetation along this interface will be removed as a result of the proposed development. Compensatory planting for an additional 20 trees (Pinnacle Lilly Pilly and Lilly Pilly) will be replanted along the eastern side of the service path.

*27. As advised by Camden Council on 21 April 2023:*

- In meetings between Council and Carrington management, Carrington was tasked with doing due diligence in letting its residents know and seeking their views.*
- The only participation opportunity provided by Council itself was a notice on the perimeter fence, to be visible to neighbours and passers-by and not necessarily for the benefit of Carrington residents. The notification map shows that affected residents within the Carrington campus were not notified, only the surrounding property owners.*

Officer Comment:

Prior to lodgement of the development application the applicant submitted a Pre-DA Application with Council. As part of pre-da advice provided to the applicant, Council staff encouraged the applicant to informally notify / engage those within the Carrington Care Estate. The development application has been notified in accordance with the Camden Community Participation Plan.

*28. The Camden Community Participation Plan commits to tailoring its approach to account for diverse communities and providing alternative means for people with additional needs to provide feedback. As well as Council's responsibilities, the proponent of a major development should actively seek views that are representative of the affected community before lodging a DA (EP&A Act 2.23 (2f)).*

Officer Comment:

The application was notified for a period 14 days together with a larger notification sign displayed fronting Werombi Road. The development application has been notified in accordance with the Camden Community Participation Plan.

29. *The notice on the fence - yes I saw that early am of 13 April, UPSIDE DOWN! By late morning, that had been rectified, but no one admitting fault.*

Officer Comment:

Council staff had received a complaint on April 13 advising the notification sign had not been displayed correctly at the front of the property. Council staff rectified the sign on the day the complaint was received.

30. *Carrington is clearly in breach of its own rules as outlined in my Contract, and which obliges them "not to interfere with my reasonable peace, comfort or privacy." This is blatant hypocrisy on their part, and so I strongly object to this development.*

Officer Comment:

The development application has been considered against the relevant environmental planning instruments, guidelines and development control plans. Owners consent for lot 10 from DP 845472 has been provided in accordance with the *Environmental Planning and Assessment Act, 1979*. Private contracts between residents and Carrington Care are not matters for planning consideration.

31. *There is a need to curate the development. This development stage costs over \$20m, and there are four more stages, which gives a development value of over \$100m. The size of this project, the need for complementing infrastructure and the apparent lack of access during natural disasters means this project is not amenable to the development consent process. ask you to reject the application and invite the applicant to submit a planning proposal including all the stages. Ideally, something that creatively addresses the issues around supporting a modern seniors living facility.*

Officer Comment:

The development application was accompanied by a cost estimate report and capital investment value. The development has a capital investment value of \$28,696,00. Detailed assessment of the application has demonstrated that the site is capable of supporting the proposed development.

EXTERNAL REFERRALS

External Referral	Response
Rural Fire Service.	General Terms of Approval attached.
Sydney Water.	Sydney Water have advised that wastewater servicing is being provided for via a private on-site wastewater management system.
Endeavour Energy.	Comment provided in support of the proposed development. Advice attached.



## FINANCIAL IMPLICATIONS

This matter has no direct financial implications for Council.

## CONCLUSION

The DA has been assessed in accordance with Section 4.15(1) of the *Environmental Planning and Assessment Act, 1979* and all relevant instruments, plans and policies. The DA is recommended for approval subject to the conditions attached to this report.

## RECOMMENDED

That the Panel:

- i) **support the applicant's written request lodged pursuant to Clause 4.6(3) of Camden Local Environmental Plan 2010 to the contravention of the height of buildings development standard in clause 4.3 of Camden Local Environmental Plan 2010, and**
- ii) **approve DA/2023/153/1 for the construction of a four storey building and use as seniors housing comprising 36 independent living units, undercroft car parking, landscaping and associated site works at 90 Werombi Road, Grasmere subject to the conditions attached to this report for the following reasons:**
  1. **The Panel has considered the written request to contravene Camden Local Environmental Plan 2010 in relation to the height of buildings development standard. The Panel considers that the written request from the applicant adequately demonstrates that compliance with the development standard in Clause 4.3 of Camden Local Environmental Plan 2010 is unreasonable and unnecessary in the circumstances of the case, and that there are sufficient environmental planning grounds to justify contravening the development standard. The Panel is also satisfied that the development will be in the public interest because it is consistent with the objectives of the development standard in Clause 4.3 of Camden Local Environmental Plan 2010 and the objectives for development within the R5 Large Lot Residential zone.**
  2. **The development is consistent with the objectives and controls of the applicable environmental planning instruments, being State Environmental Planning Policy (Biodiversity and Conservation) 2021, State Environmental Planning Policy (Resilience and Hazards) 2021, State Environmental Planning Policy (Housing) 2021, State Environmental Planning Policy 65 (Design Quality of Residential Apartment Development), State Environmental Planning (Building and Sustainability Index: BASIX) 2004 and Camden Local Environmental Plan 2010.**
  3. **The development is consistent with the objectives of Camden Development Control Plan 2019.**
  4. **The development is considered to be of an appropriate scale and form for the site and the character of the locality.**

CLPP01

5. Subject to the recommended conditions, the development is unlikely to have any unreasonable adverse impacts on the natural or built environments.
6. For the above reasons, the development is a suitable use of the site and its approval is in the public interest.

#### ATTACHMENTS

1. Recommended Conditions
2. Housing SEPP Assessment Table
3. Camden LEP Assessment Table
4. Camden DCP Assessment Table
5. Apartment Design Guide Assessment Table
6. Seniors Housing Guideline Assessment Table
7. Seniors Living Policy 2004 Assessment Table
8. Submissions - *Supporting Document*
9. Public Exhibition and Submission Map - *Supporting Document*
10. Clause 4.6 Written Request
11. Architectural Plans

## RECOMMENDED CONDITIONS

### 1.0 - General Conditions of Consent

The following conditions of consent are general conditions applying to the development.

- (1) **General Terms of Approval/Requirements** - The general terms of approval/requirements from state authorities shall be complied with prior to, during, and at the completion of the development.

The general terms of approval/requirements are:

1. Rural Fire Service, Ref DA20230404001408-Original-1, dated 16/05/2023.
  2. Endeavour Energy, Ref CNR-53726, dated 25/04/2023.
  3. Aeria Management Group (Camden Airport), dated 12/04/2023 specifically:
    - i) If any crane activity is to be utilised for building, must be considered via a separate assessment process.
- (2) **Approved Plans and Documents** - Development shall be carried out in accordance with the following plans and documents, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
Drawing No. DA-030, Rev 3.	Site Plan.	Jackson Teece	18/10/2023.
Drawing No. DA-090, Rev 3.	Demolition Plan.		
Drawing No. DA-190, Rev 4.	Floor Plan – Lower Ground.		
Drawing No. DA-110, Rev 5.	Floor Plan – Ground Level.		
Drawing No. DA-111, Rev 3.	Floor Plan – Level 01.		
Drawing No. DA-112, Rev 4.	Floor Plan – Level 02.		
Drawing No. DA-113, Rev 3.	Floor Plan – Roof Plan.		
Drawing No. DA-150, Rev 2.	Plans – Apartment Types_01.		
Drawing No. DA-151, Rev 1.	Plans – Apartment Types_02.		
Drawing No. DA-152, Rev 1.	Plans – Apartment Types_03.		
Drawing No. DA-201, Rev 3.	Elevations.		
Drawing No. DA-202, Rev 3.	Elevations.		
Drawing No. DA-	Elevations.		

203, Rev 3.					
Drawing No. DA-300, Rev 4.	Section.				
Drawing No. DA-301, Rev 3.	Section.				
Drawing No. DA-302, Rev 3.	Section.				
Drawing No. DA-303, Rev 3.	Section.				
Drawing No. DA-304, Rev 3.	Section.				
Drawing No. DA-400, Rev 3.	Balcony Screen Concept.				
Drawing No. DA-401, Rev 3.	Entry Arbor Concept Design.				
Drawing No. DA-856, Rev 3.	Section Building Height Studies.				
Drawing No. C-1010, Issue C.	General Arrangement Plan.	Sky Engineering and Project Management.	23/10/2023.		
Drawing No. C-1100, Issue B.	Earthworks Cut and Fill Plan.				
Drawing No. C-1200, Issue C.	Roadworks and Drainage Plan Ground.				
Drawing No. C-1201, Issue C.	Basement Drainage Plan Ground.				
Drawing No. C-1220, Issue C.	Roadworks Typical Sections.				
Drawing No. C-1310, Issue C.	Stormwater Drainage Catchment Quality Plan Water Quantity.				
Drawing No. C-1311, Issue C.	Stormwater Drainage Catchment Water Quality.				
Drawing No. C-1330, Issue C.	OSD Tank Plan and Section Sheet 1.				
Drawing No. C-1331, Issue C.	OSD Tank Plan and Section Sheet 2.				
Drawing No. C-1350, Issue C.	Stormwater Drainage Details.				
Drawing No. C-1400, Issue A.	Roadworks Staging Plan.				
Drawing No. C-1800, Issue C.	Erosion and Sediment Control Plan				
Drawing No. C-1810, Issue C.	Erosion and Sediment Control Details				
Drawing No. 001, Issue D.	Tree management plan.			Site Image.	17/10/2023.
Drawing No. C100, Issue L.	Colour Landscape Plan – Grown and Lower Ground.				
Drawing No. C110, Issue K.	Colour Landscape Plan – Composite.				
Drawing No. C101, Issue K.	Landscape General Arrangement – Ground and Lower Ground.				
Drawing No. C101, Issue K.	Landscape General Arrangement – Ground and Lower Ground.				
Drawing No. C101, Issue K.	Landscape General Arrangement – Ground and Lower Ground.				

C102, Issue J.	Arrangement – Level 2.		
Drawing No. C201, Issue K.	Planting Plan – Ground and Lower Ground.		
Drawing No. C202, Issue I.	Planting Plan – Level 2.		
Drawing No. C500, Issue J.	Landscape Specification Notes and Plant Schedule.		
Drawing No. C501, Issue I.	Landscape Details.		

Document Title	Prepared by	Date
BASIX Certificate, No. 1354312M_06.	JHA Consulting Engineers (NSW) Pty Ltd.	25/01/2023.
Geotechnical and Contamination / Waste Classification Assessment Woodland Assisted Living – Carrington Centennial Care Werombi Road, Grasmere NSW, Ref JC12114A-r6.	GeoEnviro Consultancy Pty Ltd.	07/2022.
Waste Management Plan, ref 2021/0230.	Michael Brown Planning Strategies.	03/2023.

- (3) **BASIX Certificate** - The applicant shall undertake the development strictly in accordance with the commitments listed in the approved BASIX certificate(s) for the development to which this development consent applies.
- (4) **National Construction Code - Building Code of Australia (BCA)** - All building work shall be carried out in accordance with the BCA as in force on the relevant date. In this condition the relevant date has the same meaning as in section 19 of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*.
- (5) **Home Building Act** - Pursuant to Section 4.17(11) of the *EP&A Act 1979*, residential building work within the meaning of the *Home Building Act 1989* shall not be carried out unless the principal certifier for the development to which the work relates has given Council written notice of the following:
- a) for work that requires a principal contractor to be appointed:
    - i. the name and licence number of the principal contractor, and
    - ii. the name of the insurer of the work under Part 6 of the *Home Building Act 1989*,
  - b) for work to be carried out by an owner-builder:
    - i. the name of the owner-builder, and
    - ii. if the owner-builder is required to hold an owner-builder permit under the *Home Building Act 1989*, the number of the owner-builder permit.

If the above information is no longer correct, further work must not be carried out unless the principal certifier has given Council written notice of the updated information.

- (6) **Home Building Act - Insurance** - Building work that involves residential building work within the meaning of the *Home Building Act 1989* shall not commence until such time as a contract of insurance is in force in accordance with Part 6 of that Act.

This requirement does not apply:

- a) to the extent to which an exemption is in force under the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*, or
  - b) to the erection of a temporary structure, other than a temporary structure to which subsection (3) of Section 69 of the *Environmental Planning and Assessment Regulation 2021* applies.
- (7) **Shoring and Adequacy of Adjoining Property** - If the approved development involves excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, including a structure or work in a road rail corridor, the person having the benefit of the development consent must, at the person's own expense:
- a) protect and support the building, structure or work on adjoining land from possible damage from the excavation, and
  - b) if necessary, underpin the building, structure or work on adjoining land to prevent damage from the excavation.

This condition does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land gives written consent to the condition not applying.

A copy of the written consent must be provided to the principal certifier prior to the excavation commencing.

- (8) **Engineering Specifications** - The entire development shall be designed and constructed in accordance with Council's Engineering Specifications.
- (9) **Protect Existing Vegetation and Natural Landscape Features** - Approval must be sought from Council prior to the removal, pruning, impact upon or any disturbance of the existing vegetation and natural landscape features, other than any existing vegetation and/or natural landscape feature authorised for removal, pruning, impact upon or disturbance by this development consent.

The following procedures shall be strictly observed:

- a) no additional works or access/parking routes, transecting the protected vegetation shall be undertaken without Council approval; and
- b) pedestrian and vehicular access within and through the protected vegetation shall be restricted to Council approved access routes.

The protection of existing trees and other landscape features, other than any existing trees and natural landscape features authorised for removal, pruning, impact upon or disturbance by this Consent, must be carried out as specified in the Australian Standard AS 4970-2009 Protection of Trees on Development Sites.

All initial procedures for the protection of existing trees and landscape features, as detailed in AS 4970-2009, must be installed prior to the commencement of any earthworks, demolition, excavation or construction works on the Development site.

The works and procedures involved with the protection of existing trees and other landscape features, are to be carried out by suitable qualified and experienced persons or organisations. This work should only be carried out by a fully insured and qualified Arborist.

Suitable qualifications for an Arborist are to be a minimum standard of Australian Qualification Framework (AQF) Level 3 in Arboriculture for the actual carrying out of tree works and AQF Level 5 in Arboriculture for Hazard, Tree Health and Risk Assessments and Reports.

- (10) **Outdoor Lighting** – The approved development must include lighting in all areas that complies with AS 1158 and AS 4282.
- (11) **Reflectivity** - The reflectivity of glass index for all glass used externally shall not exceed 20%.
- (12) **Roof Mounted Equipment** - All roof mounted equipment such as air conditioning units, etc., required to be installed shall be integrated into the overall design of the building and not appear visually prominent or dominant from any public view.
- (13) **Noxious Weeds Management** - Weed dispersion must be minimised and weed infestations must be managed during all stages of the development. Any noxious or environmentally invasive weed infestations that occur during or after works must be fully and continuously suppressed and destroyed by appropriate means. New infestations must be reported to Council.

Pursuant to the *Biosecurity Act 2015* and the *Biosecurity Regulation 2017*, the applicant must at all times ensure that any machinery, vehicles or other equipment entering or leaving the site are clean and free from any noxious weed material to prevent the spread of all weeds to or from the property.

Earth moved containing noxious weed material must be disposed of at an approved waste management facility and be transported in compliance with the *Biosecurity Act 2015* and the *Biosecurity Regulation 2017*.

- (14) **Infrastructure in Road and Footpath Areas** – Infrastructure must not be removed and/or reconstructed without prior written approval from Council. Any costs incurred due to the relocation, restoration or reconstruction of pram ramps, footpath, light poles, kerb inlet pits, service provider pits, street trees or other infrastructure in the street footpath area for the proposed development shall be borne by the applicant, and not Council.

**Note.** The issue of this development consent does not imply concurrence or approval of any required public infrastructure work associated with the development.

- (15) **Tree Removal** – The trees shown in the amended Arboriculture Impact Assessment & Tree Protection Plan Version 3 by Horticulture Management Services Section 7.1 are approved for removal:

- T5, T6, T13, T18, T19, T20, T21, T22, T23, T24, T29, T30, T32, T33, T47, T51, T52, T53, T55, T56, T57, T58, T59, T60, T61, T62

This work should only be carried out by a fully insured and qualified Arborist. Suitable qualifications for an Arborist are to be a minimum standard of Australian Qualification Framework (AQF) Level 3 in Arboriculture for the actual carrying out of tree works and AQF Level 5 in Arboriculture for Hazard, Tree Health and Risk Assessments and Reports.

Where possible all green waste generated from the approved tree work is to be recycled into mulch or composted at a designated facility. All reasonable measures must be taken to protect the remaining vegetation on the site from damage during the approved tree works.

The issuing of this Consent is conditioned upon the planting and maintenance of suitable replacement trees as a means to achieve a "No Nett Loss" approach to vegetation management. The plantings are to be installed on the subject property within six (6) months of the removal/s authorised by this consent.

- (16) **Approval to Alter – Local Government Act 1993** - All wastewater generated by the approved development must be connected to an on-site sewage management system approved by Council. An 'Approval to Alter a Sewage Management System' under Section 68 of the *Local Government Act 1993* shall be obtained from Council.
- (17) **Retaining Walls** – All approved retaining walls are to be constructed from masonry material (or similar). Timber sleeper retaining walls are not permitted.

## 2.0 - Prior to Issue of a Construction Certificate

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Information for Construction Certificate** - The following information shall be provided to the certifier with the Construction Certificate:
- a) Minimum pipe grades are to be 1% and are to be shown on the Construction Certificate plans.
  - b) All pit dimensions are to be compliant with AS3500.3 Table 8.2. Dimensions are to be shown on the Construction Certificate plans.
  - c) Parking Bay labelled '1' in the undercroft area is to be a turning bay to allow for vehicles to turn around and exit the carpark in a forward manner. The bay must be signposted and line-marked to prohibit vehicles from parking in the turning bay. This is to be shown on the Construction Certificate plans.
- (2) **Staging of Construction Works** - The development is to be completed in stages in accordance with the approved Staging Plan titled '*Roadworks Staging Plan*' Drawing No. C-1400, Issue A dated 23/10/2023.

One Construction Certificate may be issued for all stages, or a single Construction Certificate may be issued with respect to each stage or a combination of stages.



- (3) **Performance Bond** - The applicant is to lodge a bond with Council to provide security for works undertaken within the existing public domain in accordance with Council's Development Infrastructure Bonds Policy.

**Note.** Fees are payable for the lodgement and refund of the bond.

- (4) **Structural Engineer's Details** - The piers/slabs/footings/structural elements shall be designed and certified by a suitably qualified structural engineer and shall take into consideration the recommendations of any geotechnical report applicable to the site. A statement to that effect shall be provided to the accredited certifier.

- (5) **External Walls and Cladding Flammability** – The external walls of the building, including attachments, must comply with the relevant requirements of the National Construction Code (NCC). Prior to the issue of a Construction Certificate the accredited certifier must:

- a) be satisfied that suitable evidence is provided to demonstrate that the products and systems proposed for use in the construction of external walls, including finishes and claddings such as synthetic or aluminium composite panels, comply with the relevant requirements of the NCC; and
- b) ensure that the documentation relied upon in the approval processes includes an appropriate level of detail to demonstrate compliance with the NCC as proposed.

- (6) **Civil Engineering Plans** - Civil engineering plans indicating drainage, roads, accessways, earthworks, pavement design, details of line-marking, traffic management, water quality and quantity facilities including stormwater detention and disposal, shall be prepared in accordance with the approved plans and Council's Engineering Design and Construction Specifications. Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.

A stormwater plan is to be submitted to the certifier prior to the augmentation of the existing drainage system to accommodate drainage from the approved development and to protect other property to the satisfaction of the certifier.

**Note.** Under the *Roads Act 1993*, only the Roads Authority can approve commencement of works within an existing road reserve.

- (7) **Stormwater Detention and Water Quality** - An on-site detention system and water quality system shall be provided for the site and designed in accordance with Council's Engineering Specifications.

Where a Construction Certificate is required by this development consent, a detailed on-site detention and water quality report reflecting the Construction Certificate plans shall be provided to the certifier with the Construction Certificate application.

- (8) **Hair Dressing Salons** – The design, construction, fit-out, use and ongoing operation of the hair dressing salon shall comply with relevant provisions of the Local Government (General) Regulation 2021. Details demonstrating compliance shall be provided to the certifier.

- a) the *Public Health Act 2010*;
- b) the Public Health Regulation 2022;
- c) the NSW Health Department – Guidelines for Skin Penetration;

- d) the Local Government (General) Regulation 2021; and
- e) the BCA.

Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.

- (9) **Soil, Erosion, Sediment and Water Management** - An erosion and sediment control plan shall be prepared in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book'). Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.
- (10) **Works in Road Reserves** - Where any works are proposed in a public road reservation, a Road Opening Permit shall be obtained from Council in accordance with Section 138 of the *Roads Act 1993*.
- (11) **Sydney Water Trade Waste** – The applicant shall contact the Commercial Trade Waste section of Sydney Water regarding any trade waste requirements (if any). Should trade waste requirements apply, a written response from Sydney Water demonstrating compliance with those shall be provided to the certifier and Council.
- (12) **Food Premises** – The design, construction, fit-out, use and ongoing operation of the food premises and/or food storage area shall comply with all applicable Acts, Regulation, codes and standards including:
  - a) the *Food Act 2003*;
  - b) the Food Regulation 2015;
  - c) Food Standards Australia and New Zealand – Food Standards Code 2003;
  - d) AS 1668.1-2015 and 1668.2-2012;
  - e) the BCA; and
  - f) AS 4674-2004. Design, construction and fit-out of food premises.

Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.

- (13) **Garbage Room** - Plans showing the location and details of garbage room(s) and room(s) used for the washing and storage of garbage receptacles shall be provided to the accredited certifier for approval. Garbage room(s) are to be constructed of solid material and finished as a smooth even surface. Floors are to be impervious, coved, graded and drained to an appropriate floor waste connection. Walls are to be smooth impervious surfaces to ensure no moisture, oils or similar material can soak in. Ventilation, pest proofing and a hose tap must be provided.
- (14) **Mechanical Ventilation** – Any room or area not provided with natural ventilation in accordance with the relevant requirements of the Building Code of Australia must be provided with a system of mechanical ventilation that complies with the requirements of Australian Standard 1668, Parts 1 & 2. Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.
- (15) **Mechanical Exhaust System** – A Certificate of Compliance prepared by a suitably qualified engineer confirming that the mechanical exhaust systems have been designed, constructed and installed in accordance with the relevant requirements of Clause F4.12 of the BCA and AS1668 Parts 1 and 2, shall be provided to the principal certifier. Certification shall be provided that the air handling system as installed has been tested and complies with the approved plans and specifications, including ventilation requirements and fire precautions.

- (16) **Car Park Noise Control** – All off-street (including basement) car parks must have a covered finish with Slabseal 2000 SR sealant (or similar equivalent product) applied to the concrete floor. The covered finish and sealant must be suitably maintained on the floor of all car parks at all times to a standard that eliminates tyre squeal noise from being audible.

Details demonstrating compliance shall be provided to the accredited certifier with the Construction Certificate application.

- (17) **Fibre-Ready Facilities/Telecommunications Infrastructure** – Documentary evidence must be provided to the certifier demonstrating that satisfactory arrangements have been made for:
- a) the installation of fibre-ready facilities to all individual lots and/or premises in a real estate development project so as to enable fibre to be readily connected to any premises that is being or may be constructed on those lots. The carrier must confirm in writing that they are satisfied that the fibre-ready facilities are fit for purpose; and
  - b) the provision of fixed-line telecommunications infrastructure in the fibre-ready facilities to all individual lots and/or premises in a real estate development project demonstrated through an agreement with a carrier.

This condition does not apply where an applicable exemption exists under Commonwealth law. Documentary evidence of any exemption relied upon must be provided to the certifier.

- (18) **Plumbing and Ductwork** – All plumbing and ductwork (Including stormwater downpipes) must be concealed within the outer walls of the building so that it is not visible. Plans and elevations detailing the method of concealment must be submitted to the certifier with the Construction Certificate application.
- (19) **Design Quality Statement (Construction)** - A statement from a qualified designer verifying that the plans and specifications achieve or improve the design quality of the development, having regard to the design quality principles in Schedule 1 of State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development, must be submitted to the certifier with the Construction Certificate application.
- (20) **Damages Bond** - The applicant is to lodge a bond with Council to ensure any damage to existing public infrastructure is rectified in accordance with Council's Development Infrastructure Bonds Policy.

**Note.** A fee is payable for the lodgment of the bond.

- (21) **Section 7.12 Contributions** - Before the issue of a construction certificate, contributions must be made to Council under section 7.12 of the *Environmental Planning and Assessment Act 1979*:

Camden Section 7.12 Development Contribution Plan	
% of development cost	1% of development cost

Amount payable	\$303,623.00
----------------	--------------

The amount of contribution payable under this condition has been calculated at the date of determination. In accordance with the provisions of the contributions plan, this amount shall be indexed at the time of actual payment in accordance with the Consumer Price Index (CPI).

- (22) **Long Service Levy** - In accordance with the *Building and Construction Industry Long Service Payments Act 1986*, the applicant shall pay a long service levy at the prescribed rate to either the Long Service Payments Corporation or Council. This applies to building and construction works with a cost of \$250,000 or more.
- (23) **Car Wash Bay Design** - The following car wash bay design requirements are to be addressed in the Construction Certificate application:
- Wastewater is not permitted to enter the stormwater system.
  - Signage to prohibit engine degreasing, engine washing and mechanical work must be clearly displayed in the vicinity of the bay.

### 3.0 - Prior to Commencement of Works

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Public Liability Insurance** - The owner or contractor shall take out a Public Liability Insurance Policy with a minimum cover of \$20 million in relation to the occupation of, and works within, public property (i.e. kerbs, gutters, footpaths, walkways, reserves, etc) for the full duration of the proposed works. Evidence of this Policy shall be provided to Council and the certifier.
- (2) **Notice of Principal Certifier** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*. The notice shall include:
- a) a description of the work to be carried out;
  - b) the address of the land on which the work is to be carried out;
  - c) the registered number and date of issue of the relevant development consent;
  - d) the name and address of the principal certifier, and of the person by whom the principal certifier was appointed;
  - e) the certifier's registration number, and a statement signed by the certifier consenting to being appointed as principal certifier; and
  - f) a telephone number on which the principal certifier may be contacted for business purposes.
- (3) **Notice of Commencement of Work** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with

the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*. The notice shall include:

- a) the name and address of the person by whom the notice is being given;
  - b) a description of the work to be carried out;
  - c) the address of the land on which the work is to be carried out;
  - d) the registered number and date of issue of the relevant development consent and construction certificate;
  - e) a statement signed by or on behalf of the principal certifier (only where no principal certifier is required) to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and
  - f) the date on which the work is intended to commence.
- (4) **Construction Certificate Required** - In accordance with the requirements of the *EP&A Act 1979*, building or subdivision works approved by this consent shall not commence until the following has been satisfied:
- a) a Construction Certificate has been issued by a certifier;
  - b) a principal certifier has been appointed by the person having benefit of the development consent;
  - c) if Council is not the principal certifier, Council is notified of the appointed principal certifier at least two (2) days before building work commences;
  - d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and
  - e) the principal certifier is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
- (5) **Sign of Principal Certifier and Contact Details** - A sign shall be erected in a prominent position on the site stating the following:
- a) that unauthorised entry to the work site is prohibited,
  - b) the name of the principal contractor, if any, for the building work and a telephone number on which the principal contractor may be contacted outside working hours, and
  - c) the name, address and telephone number of the principal certifier for the work.
- The sign must be maintained while the work is being carried out and removed when the work has been completed.
- (6) **Site is to be Secured** - The site shall be secured and fenced.

- (7) **Sydney Water Approval** – The approved construction certificate plans must also be approved by Sydney Water to determine if sewer, water or stormwater mains or easements will be affected by any part of the development. Go to [www.sydneywater.com/tapin](http://www.sydneywater.com/tapin) to apply.

A copy of the approval receipt from Sydney Water must be submitted to the principal certifier.

- (8) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book') and any Sediment and Erosion plans approved with this development consent.
- (9) **Dilapidation Report – Council Property** - A dilapidation report prepared by a suitably qualified person, including a photographic survey of existing public roads, kerbs, footpaths, drainage structures, street trees and any other existing public infrastructure within the immediate area of the site shall be prepared. The report must be submitted to the principal certifier and Council at least 2 days prior to the commencement of works.

Should any public property or the environment sustain damage during the course of and as a result of construction, or if the construction works put Council's assets or the environment at risk, Council may carry out any works necessary to repair the damage or remove the risk. The costs incurred will be deducted from the applicant's damages bond.

- (10) **Traffic Management Plan** - A traffic management plan shall be prepared in accordance with Council's Engineering Specifications and AS 1742.3. The plan must be submitted to the principal certifier.
- (11) **Construction Management Plan** - A construction management plan that includes dust, soil and sediment and traffic management, prepared in accordance with Council's Engineering Design Specification, shall be provided to the principal certifier.
- (12) **Environmental Management Plan** - An environmental management plan (EMP) prepared in accordance with Council's Engineering Design Specification shall be provided to the principal certifier.

The EMP shall address the manner in which site operations are to be conducted and monitored to ensure that adjoining land uses and the natural environment are not unacceptably impacted upon by the proposal. The EMP shall include but not be necessarily limited to the following measures:

- a) measures to control noise emissions from the site;
- b) measures to suppress odours and dust emissions;
- c) soil and sediment control measures;
- d) measures to control air emissions that includes odour;
- e) measures and procedures for the removal of hazardous materials that includes waste and their disposal;
- f) any other recognised environmental impact;

- g) work, health and safety; and
  - h) community consultation.
- (13) **Construction Noise Management Plan** – A construction noise management plan shall be provided to the principal certifier and include the following:
- a) noise mitigation measures;
  - b) noise and/or vibration monitoring;
  - c) use of respite periods;
  - d) complaints handling; and
  - e) community liaison and consultation.
- (14) **Protection of Trees to be Retained** - Protection of trees to be retained shall be in accordance with Council's Engineering Specifications. The area beneath the canopies of the tree(s) to be retained shall be fenced. Tree protection signage is required to be attached to each tree protection zone, and displayed in a prominent position.
- (15) **Hazardous Building Materials Assessment** - A hazardous building material assessment shall be undertaken on all buildings and structures to be demolished that identifies all hazardous components on site. A HBMA report shall be provided to the principal certifier and Council.

Once hazardous components are identified, all demolition works that involve the demolition and removal of the hazardous materials shall ensure that all site personnel are protected from risk of exposure in accordance with relevant SafeWork NSW requirements and the NSW Government Code of Practice Demolition Work. Premises and occupants on adjoining land shall also be protected from exposure to any hazardous materials.

#### 4.0 - During Works

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Work Hours** - All work (including delivery of materials) shall be:
- restricted to between the hours of 7am to 5pm Monday to Saturday (inclusive), and
  - not carried out on Sundays or public holidays,
- unless approved in writing by Council.
- (2) **Excavations and Backfilling** - All excavations and backfilling associated with the approved development must be executed safely and protected to prevent them from being dangerous to life or property, and in accordance with the design of a suitably qualified structural engineer.

If an excavation extends below the level of the base of the footings of a building, structure or work on adjoining land, including a structure or work in a road rail corridor, the person causing the excavation must:

- a) protect and support the building, structure or work on adjoining land from possible damage from the excavation,
- b) if necessary, underpin the building, structure or work on adjoining land to prevent damage from the excavation, and
- c) give at least 7 days notice of the intention to excavate to the owner of the adjoining land before excavating.

The above requirements do not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land gives written consent to the requirements not applying.

The principal contractor, owner builder or any person who needs to excavate and undertake building work, shall contact 'Dial Before You Dig' prior to works commencing, and allow a reasonable period of time for the utilities to provide locations of their underground assets.

- (3) **Stormwater – Collection and Discharge Requirements** - The roof of the subject building(s) shall be provided with guttering and down pipes and all drainage lines, including stormwater drainage lines from other areas and overflows from rainwater tanks, conveyed in accordance with stormwater drainage is to be installed as per the approved hydraulic drainage plan. Stormwater must be clear of and not impact upon the effluent management area as shown on the approved sustainable effluent management plan.

Connection to the drainage easement or kerb shall only occur at the designated connection point for the allotment. New connections that require the rectification of an easement pipe or kerb shall only occur with the prior approval of Camden Council.

All roofwater shall be connected to the approved roofwater disposal system immediately after the roofing material has been fixed to the framing members. The principal certifier shall not permit construction works beyond the frame inspection stage until this work has been carried out.

- (4) **Site Management** - The following practices are to be implemented during construction:
  - a) stockpiles of topsoil, sand, aggregate, spoil or other material shall be kept clear of any drainage path, easement, natural watercourse, kerb or road surface and shall have measures in place to prevent the movement of such material off site;
  - b) builder's operations such as brick cutting, washing tools, concreting and bricklaying shall be confined to the building allotment. All pollutants from these activities shall be contained on site and disposed of in an appropriate manner;
  - c) waste shall not be burnt or buried on site or any other properties, nor shall wind-blown rubbish be allowed to leave the site. All waste shall be disposed of at a licenced waste disposal facility;



- d) a waste storage area shall be located on the site;
  - e) all building materials, plant, equipment and waste control containers shall be placed on the building site. Building materials, plant and equipment (including water closets), shall not to be placed on public property (footpaths, roadways, public reserves, etc);
  - f) toilet facilities shall be provided at, or in the vicinity of, the work site at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet shall:
    - i) be a standard flushing toilet connected to a public sewer; or
    - ii) have an on-site effluent disposal system approved under the *Local Government Act 1993*; or
    - iii) be a temporary chemical closet approved under the *Local Government Act 1993*.
- (5) **Finished Floor Level** - A survey report prepared by a registered land surveyor confirming that the finished floor level complies with the approved plans or floor levels specified by the development consent, shall be provided to principal certifier prior to the development proceeding beyond floor level stage.
- (6) **Building Height** - A survey report prepared by a registered land surveyor confirming that the building height complies with the approved plans or as specified by the development consent, shall be provided to the principal certifier prior to the development proceeding beyond frame stage.
- (7) **Survey Report** - The building shall be set out by a registered land surveyor. A peg out survey detailing the siting of the building in accordance with the approved plans shall be provided to the principal certifier prior to the pouring of concrete.
- (8) **Traffic Management Plan Implementation** - All traffic management procedures and systems identified in the approved traffic management plan shall be introduced and maintained during construction of the development to ensure safety and to minimise the effect on adjoining pedestrian and traffic systems.
- (9) **Site Signage** - A sign shall be erected at all entrances to the site and be maintained until the development has been completed. The sign shall be constructed of durable materials, be a minimum of 1200mm x 900mm, and read as follows:
- "WARNING UP TO \$8,000 FINE. It is illegal to allow soil, cement slurry or other building materials to enter, drain or be pumped into the stormwater system. Camden Council (02 4654 7777) – Solution to Pollution."*
- The wording shall be a minimum of 120mm high and the remainder a minimum of 60mm high. The warning and fine details shall be in red bold capitals and the remaining words in dark coloured lower case letters on a white background, surrounded by a red border.
- (10) **Vehicles Leaving the Site** - The construction supervisor must ensure that:
- all vehicles transporting material from the site cover such material so as to minimise sediment transfer;

- the wheels of vehicles leaving the site:
    - do not track soil and other waste material onto any public road adjoining the site; and
    - fully traverse the site's stabilised access point.
- (11) **Fill Compaction** - All fill must be compacted in accordance with Camden Council's current Engineering Design Specifications.
- (12) **Removal of Waste Materials** - Where there is a need to remove any identified materials from the site that contain fill/rubbish/asbestos, the waste material shall be assessed and classified in accordance with the NSW EPA Waste Classification Guidelines 2014 (refer to: [www.epa.nsw.gov.au/wasteregulation/classify-guidelines.htm](http://www.epa.nsw.gov.au/wasteregulation/classify-guidelines.htm))
- Once assessed, the materials shall be disposed of to a licensed waste facility suitable for that particular classification of waste. Copies of tipping dockets shall be retained and supplied to Council upon request.
- (13) **Soil, Erosion, Sediment and Water Management – Implementation** - All requirements of the erosion and sediment control plan and/or soil and water management plan shall be maintained at all times during the works and any measures required by the plan shall not be removed until the site has been stabilised.
- (14) **Noise During Work** - Noise levels emitted during works must comply with:
- (a) Construction period of 4 weeks and under:
- The LAeq level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 20 dB(A).
- (b) Construction period greater than 4 weeks and not exceeding 26 weeks:
- The LAeq level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 10 dB(A).
- (c) Construction period greater than 26 weeks:
- The LAeq level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 5 dB(A).
- Alternatively, noise levels emitted during works shall be restricted to comply with the NSW Environment Protection Authority Interim Construction Noise Guidelines.
- (15) **Location of Stockpiles** - Stockpiles of soil shall not be located on / near any drainage lines or easements, natural watercourses or water bodies, footpath or roadway without first providing suitable protective measures adequate to protect these water bodies. All stockpiles of contaminated materials shall be suitably covered to prevent dust and odour nuisance.

- (16) **Disposal of Stormwater** - Water seeping into any site excavations is not to be pumped into the stormwater system unless it complies with relevant EPA and ANZECC standards for water quality discharge.
- (17) **Delivery Register** - The applicant must maintain a register of deliveries which includes date, time, truck registration number, quantity of fill, origin of fill and type of fill delivered. This register must be made available to Council officers on request and be provided to the Council at the completion of the development.
- (18) **Offensive Noise, Dust, Odour and Vibration** - All work shall not give rise to offensive noise, dust, odour or vibration as defined in the *Protection of the Environment Operations Act 1997* when measured at the property boundary.
- (19) **Erosion and Sedimentation Control** - Soil erosion and sedimentation controls are required to be maintained for the duration of the works. The controls must be undertaken in accordance with version 4 of the Soils and Construction – Managing Urban Stormwater manual (Blue Book).

Soil erosion and sediment control measures shall only be removed upon completion of the works when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).

- (20) **Protection for Existing Trees** – The protection of existing trees (on-site trees) must be carried out as specified by AS 4970 Protection of Trees on Development Sites.
- (21) **Unexpected Finds Contingency (General)** - Should any suspect materials (identified by unusual staining, odour, discolouration or inclusions such as building rubble, asbestos, ash material, etc.) be encountered during any stage of works (including earthworks, site preparation or construction works, etc.), such works shall cease immediately until a certified contaminated land consultant has been contacted and conducted a thorough assessment.

In the event that contamination is identified as a result of this assessment and if remediation is required, all works shall cease in the vicinity of the contamination and Council shall be notified immediately.

Where remediation work is required, the applicant will be required to obtain consent for the remediation works.

- (22) **Salinity Management Plan** - All approved development that includes earthworks, imported fill, landscaping, buildings and associated infrastructure must be carried out or constructed in accordance with the management strategies as contained within the approved salinity management plan titled Geotechnical and Contamination / Waste Classification Assessment, Woodland Assisted Living – Carrington Centennial Care, Prepared By GeoEnviro Consultancy Pty Ltd Dated July 2022
- (23) **Relics Discovery During Works** – If any relic surviving from the past is uncovered during the work that could have historical significance (but is not an aboriginal object):
- all work must stop immediately in that area;
  - Heritage NSW must be advised of the discovery in writing in accordance with Section 146 of the *Heritage Act 1977*, and

- any requirements of Heritage NSW must be implemented.
- (24) **Aboriginal Objects Discovered During Works** – If any Aboriginal object (including evidence of habitation or remains) is discovered during the work:
- all excavation or disturbance of the area must stop immediately in that area,
  - Heritage NSW must be advised of the discovery in writing in accordance with Section 89A of the *National Parks and Wildlife Act 1974*, and
  - any requirements of Heritage NSW must be implemented.
- (25) **Compliance with BCA** - All building work shall be carried out in accordance with the requirements of the BCA.
- (26) **Hazardous Building Materials Assessment** - All works (including demolition and materials handling, storage, transport and disposal) shall be undertaken in accordance with the requirements outlined in the hazardous building material assessment. All material not suitable for recycling or reuse must be disposed of at a licenced waste facility authorised to accept that waste.
- (27) **Fill Material (VENM and ENM)** – Prior to the importation and/or placement of any fill material (VENM or ENM) on the site, an assessment report and sampling location plan for such material must be provided to and approved by the principal certifier.

The assessment report and associated sampling location plan must:

- a) be prepared by a contaminated land specialist; and
- b) be endorsed by a practising engineer with Specific Area of Practice in Subdivisional Geotechnics; and
- c) be prepared in accordance with;

For Virgin Excavated Natural Material (VENM):

- i) the Department of Land and Water Conservation publication "Site Investigation for Urban Salinity;" and
- ii) the Department of Environment and Conservation - Contaminated Sites Guidelines "Guidelines for the NSW Site Auditor Scheme (Third Edition) - Soil Investigation Levels for Urban Development Sites in NSW."

For Excavated Natural Material (ENM):

- i) the Resource Recovery Exemption under Part 9, Clauses 91, 92 and 93 of the Protection of the Environment Operations (Waste) Regulation 2014;
- ii) the NSW EPA Resource Recovery Order under Clause 93 of the Protection of the Environment Operations (Waste) Regulation 2014; and
- iii) the excavated natural material order 2014 (ENM Order)

- d) confirm that the fill material;
  - i) provides no unacceptable risk to human health and the environment;
  - ii) is free of contaminants;
  - iii) has had salinity characteristics identified in the report, specifically the aggressiveness of salts to concrete and steel (refer Department of Land and Water Conservation publication "Site investigation for Urban Salinity");
  - iv) is suitable for its intended purpose and land use; and
  - v) has been lawfully obtained.

Sampling of VENM for salinity of fill volumes:

- e) less than 6000m<sup>3</sup> - 3 sampling locations; and
- f) greater than 6000m<sup>3</sup> - 3 sampling locations with 1 extra location for each additional 2000m<sup>3</sup> or part thereof.

For e) and f) a minimum of 1 sample from each sampling location must be provided for assessment.

Sampling of VENM and ENM for contamination and salinity must be undertaken in accordance with the following table:

Classification of Fill Material	No of Samples Per Volume	Volume of Fill (m <sup>3</sup> )
Virgin Excavated Natural Material	1 (see Note)	1000 or part thereof
Excavated Natural Material	(Refer Exemption)	

**Note** – Where the volume of each fill classification is less than that required above, a minimum of 2 separate samples from different locations must be taken.

- (28) **Arboricultural Requirements by Site Arborist** - Any hold points, supervision of works and non-destructive construction methods within the Tree Protection Zone (TPZ) and Structural Roots Zone (SRZ) of all trees to be retained must be in accordance with Section 11.0 Recommendations of the Arboriculture Impact Assessment & Tree Protection Plan Version 3 by Horticulture Management Services

**5.0 - Prior to Issue of an Occupation Certificate**

An Occupation Certificate shall be obtained prior to any use or occupation of the development. The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Fire Safety Certificates** - A Fire Safety Certificate shall be provided to the principal certifier in accordance with the requirements of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*.

- (2) **Survey Certificate** - A registered surveyor shall prepare a Survey Certificate to certify that the location of the building in relation to the allotment boundaries complies with the approved plans or as specified by this consent. The Survey Certificate shall be provided to the satisfaction of the principal certifier.
- (3) **Positive Covenant (OSD / Water Quality Facility)** - A positive covenant shall be created under Section 88E of the *Conveyancing Act 1919* burdening the owner(s) with a requirement to maintain the on-site detention (OSD) and water quality facility (WQF) on the property, prior to the issue of an Occupation Certificate.

The terms of the Section 88E instrument with positive covenant shall include the following:

- a) the Proprietor of the property shall be responsible for maintaining and keeping clear all pits, pipelines, trench barriers and other structures.
- b) The proprietor shall have the facilities inspected by a competent person in accordance with the frequency on the approved maintenance schedule.
- c) the Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order the facilities.
- d) The registered proprietor shall indemnify the Council and any adjoining landowners against damage to their land arising from the failure of any component of the OSD and WQF, or failure to clean, maintain and repair the OSD and WQF.
- e) The Council may recover as a liquidated debt the cost of such remedial work from the proprietor forthwith upon demand.

The proprietor or successor shall bear all costs associated in the preparation of the subject Section 88E instrument. Proof of registration with NSW Land Registry Services shall be provided to and approved by the PCA prior to the issue of an Occupation Certificate

- (4) **Stormwater Plan of Management (PoM)** – The registered proprietor of the land shall prepare a Plan of Management (POM) for the on-site detention facilities. The POM shall set out all design and operational parameters for the detention facilities including design levels, hydrology and hydraulics, inspection and maintenance requirements, and time intervals for such inspection and maintenance. The POM shall be provided to the principal certifier for approval.
- (5) **On-Site Detention and or Water Quality Facility - WAE Plans** – Works-As-Executed plans certified by a Registered Surveyor shall be submitted to the Principal Certifying Authority to verify that the drainage works have been completed in accordance with the stamped approved plans. The following details shall be shown on the Work-as-Executed plans and shall be marked in red on a copy of the original stamped approved plan at the Construction Certificate stage:
- a) Sufficient levels and dimensions to verify the OSD and Water Quality Facility storage volume, including the volume achieved.
  - b) Levels and other relevant dimensions of:
    - i) Internal drainage pipe
    - ii) orifice plates
    - iii) Outlet control devices/pits
    - iv) Weirs, including widths

- c) Verification that the orifice plates have been fitted and the diameter of the fitted plates.
- d) Verification of the trash screen is stalled.

The details provided on the WAE plans shall also be in accordance with Council's Engineering Specifications.

- (6) **Driveway Crossing Construction** – A footpath crossing (where required) and a driveway crossing shall be constructed in accordance with this development consent and the driveway crossing approval prior to use or occupation of the development.
- (7) **Food Premises Notification** - The NSW Food Authority shall be notified that the premises is being used for the preparation, manufacture or storage of food for sale, or food intended for sale. A Food Business Notification Form can be found on the NSW Food Authority Website.
- (8) **Skin Penetration and Hair Dressing Premises** – The operator of the premises where skin penetration procedures or hair dressing activities are to be carried out must notify Council, in writing, prior to commencement of the use.

A satisfactory inspection of the completed fit out and equipping of the premises must be undertaken by Council prior to the use commencing.

- (9) **Services** - Certificates and/or relevant documents shall be obtained from the following service providers and provided to the principal certifier:
  - a) Energy supplier – A Notice of Arrangement for the provision of distribution of electricity from Endeavour Energy to service the proposed development;
  - b) Water supplier – A Section 73 Compliance Certificate demonstrating that satisfactory arrangements have been made with a water supply provider to service the proposed development.

The assessment will determine the availability of water and sewer services, which may require extension, adjustment or connection to Sydney Water mains. Sydney Water will assess the development and if required will issue a Notice of Requirements letter detailing all requirements that must be met. Applications can be made either directly to Sydney Water or through a Sydney Water accredited Water Servicing Coordinator (WSC). Go to [www.sydneywater.com.au/section73](http://www.sydneywater.com.au/section73) or phone 1300 082 746 to learn more about applying through an authorised WSC or Sydney Water.

- (10) **External Walls and Cladding Flammability** – The external walls of the building, including attachments, must comply with the relevant requirements of the National Construction Code (NCC). Prior to the issue of an Occupation Certificate principal certifier must:
  - a) be satisfied that suitable evidence is provided to demonstrate that the products and systems used in the construction of external walls, including finishes and claddings such as synthetic or aluminium composite panels, comply with the relevant requirements of the NCC; and
  - b) ensure that the documentation relied upon in the approval processes includes an appropriate level of detail to demonstrate compliance with the NCC as built.

- (11) **Reinstate Verge** - The applicant shall construct and/or reconstruct the unpaved verge area with grass, species and installations approved by Council.
- (12) **Waste Management Plan** - The principal certifier shall ensure that all works have been completed in accordance with the approved waste management plan referred to in this development consent.
- (13) **Waste Collection Contract** - The building owner shall ensure that there is a contract with a licensed contractor for the removal of all waste. A copy of the contract is to be held on the premises at all times.
- (14) **Completion of Landscape Works** - All landscape works, including the removal of noxious weed species, are to be undertaken in accordance with the approved landscape plan and conditions of this development consent.
- (15) **Design Quality Statement (Occupation)** - A statement from a qualified designer verifying that the development achieves the design quality of the development as shown in the plans and specifications in respect of which the construction certificate was issued, having regard to the design quality principles in Schedule 1 of State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development, must be submitted to the principal certifier.
- (16) **Operation of On-Site Sewerage Management** - An 'Approval to Operate' a Sewage Management System' under Section 68 of the *Local Government Act 1993* shall be obtained from Council.
- (17) **Arboricultural Requirements by Site Arborist** – The Site Arborist must provide certification that all works within the TPZ and SRZ were in accordance with Section 11.0 Recommendations of the Arboriculture Impact Assessment & Tree Protection Plan Version 3 by Horticulture Management Services
- (18) **Section 88B Instrument** – The applicant shall prepare a Section 88B Instrument for approval by the PCA which incorporates the following easements, positive covenants and restrictions to user where necessary:

All residents of the independent living units approved under State Environmental Planning Policy (Housing) 2021 are to be one or a combination of the following:

- a) Seniors or people who have a disability,
- b) People who live in the same household with seniors or people who have a disability
- c) Staff employed to assist in the administration and provision of services to housing provided under this Part.

Evidence of registration with the Land and Registry Service is to be provided to the PCA.

## 6.0 - Ongoing Use

The following conditions of consent are operational conditions applying to the development.

- (1) **Manoeuvring of Vehicles** - All vehicles shall enter and exit the site in a forward direction.



- (2) **Removal of Graffiti** - The owner/manager of the site is responsible for the removal of all graffiti from the building and fences within 48 hours of its application.
- (3) **Loading to Occur on Site** - All loading and unloading operations are to be carried out wholly within the building/site. The loading dock (if provided) shall be used for loading and unloading operations in connection with the approved use.
- (4) **Parking Areas to be Kept Clear** - At all times, the loading docks, car parking spaces, driveways and footpaths shall be kept clear of goods and shall not be used for storage purposes.
- (5) **Offensive Noise and Noise Compliance** - The use and occupation of the premises including all plant and equipment shall not give rise to any offensive noise within the meaning of the *Protection of the Environment Operations Act 1997*. Noise must also comply with the NSW Noise Policy for Industry 2017.
- (6) **No Waste to Be Stored Outside of the Site** – No waste is to be placed on any public land (eg. footpaths, roadways, plazas, reserves, etc.) or any other properties at any time.
- (7) **Maintenance of Landscaping** - Landscaping shall be maintained in accordance with the approved landscape plan.
- (8) **Discharge into Waterways** - No wastewater, chemicals or other substances shall be permitted to discharge to the waterway that runs through the site or Council's stormwater system. Only clean, unpolluted water is permitted to discharge. All liquids (such as oils lubricants, hydraulic fluids, fuel, paints, detergents and any other chemicals) shall be stored in a covered and suitably bunded area.
- (9) **Car Wash Bay and Vehicle Washing** – Washing of vehicles must be conducted in the designated car wash bay shown on the approved plans. All wastewater generated must be discharged to sewer or via alternative on-site disposable options where water is recycled or re-used. The following additional requirements must be complied with at all times:
  - Wastewater is not permitted to enter the stormwater system.
  - Wash bay(s) and drains must be regularly cleaned and maintained.
  - A designated hose fitted with a water trigger device must be used.
  - The site owner/manager must advise residents of operational and maintenance requirement for the car wash bay.

SEPP (Housing) 2021		
Part 5 Housing for seniors and people with a disability		
Clause	Assessment	Compliance?
<b>Division 3 – Development Standards.</b>		
<p><b>(81) Seniors housing permitted with consent</b>                      Development for the purposes of seniors housing may be carried out with development consent:</p> <ul style="list-style-type: none"> <li>a) on land to which this Part applies, or</li> <li>b) on land on which development for the purposes of seniors housing is permitted under another environmental planning instrument.</li> </ul>	Seniors housing, being a form of residential accommodation, is a nominate prohibited use within the R5 Large Lot Residential zone. However, pursuant to Schedule 1(8) of Camden LEP 2010, development for the purposes of residential flat buildings and seniors housing is permitted with development consent.	Yes.
<p><b>(82) Definitions</b>                      Seniors means the following people:</p> <ul style="list-style-type: none"> <li>a) people who are at least 60 years of age,</li> <li>b) people who are resident at a facility at which residential care, within the meaning of the Age Care Act 1997 of the Commonwealth, is provided,</li> <li>c) people who have been assessed as being eligible to occupy housing for aged persons provided by a social housing provider.</li> </ul> <p>Serviced self-care housing means seniors housing comprising independent living units where the following services are available on the site:</p> <ul style="list-style-type: none"> <li>a) meals,</li> <li>b) cleaning services,</li> <li>c) personal care,</li> <li>d) nursing care.</li> </ul>	Proposal aligns with the definition of seniors and serviced self-care housing as demonstrated throughout the main report and the accompanying assessment tables.	Yes.
<p><b>(84) Development Standards – General.</b>                      (2) Development consent must not be granted for development to which this section applies unless:</p> <ul style="list-style-type: none"> <li>a) the site area of the development is at least 1,000m<sup>2</sup>, and</li> <li>b) the frontage of the site area of the development is at least 20m measured at the building line, and</li> <li>c) for development on land in a residential zone where residential flat buildings (RFB) are not permitted                             <ul style="list-style-type: none"> <li>i. the development will not result in a building with a height of more than 9.5m, excluding servicing equipment on the roof of the building, and</li> <li>ii. if the roof of the building contains servicing equipment resulting in the building having a height of more than 9.5m—the servicing equipment complies with subsection (3), and</li> <li>iii. if the development results in a building with more than 2 storeys—the additional storeys are set back within planes that project at an angle of 45 degrees inwards from all side and rear boundaries of the site.</li> </ul> </li> </ul>	The development: <ul style="list-style-type: none"> <li>a) Has a site area of 60.71ha.</li> <li>b) Has a frontage of approximately 41m to immediate internal (southern private road) Mary Mackillop Circuit. Note: proposed development is located approx. 343m from nearest lot boundary with public road frontage (western boundary fronting Werombi Road). The lot which contains the proposed development has a 1.4km (approx.) frontage to Werombi Road.</li> <li>c) The development is on land in a residential zone (R5) where residential flat buildings are permitted pursuant to clause 2.5 and schedule 1 of the Camden LEP 2010.</li> </ul>	Yes.
<p>(3) The servicing equipment must</p> <ul style="list-style-type: none"> <li>a) be fully integrated into the design of the roof or contained and suitably screened from view from public places, and</li> <li>b) be limited to an area of no more than 20% of the surface area of the roof, and</li> <li>c) not result in the building having a height of more than 11.5m.</li> </ul>	<ul style="list-style-type: none"> <li>a) Projecting and recessing architectural elements obscure servicing equipment from view being contained and integrated within the design of the building.</li> <li>b) Total roof area = 2,160m<sup>2</sup>, service areas contained to roof = 149m<sup>2</sup>. 149m<sup>2</sup> / 2160m<sup>2</sup> = 6.89%</li> <li>c) The building would still exceed 11.5m in the instance servicing equipment was removed from the roof. Therefore, servicing equipment does not result in the building having a height of more than 11.5m.</li> </ul>	Yes.

<p>(4) Subsection (2)(a) and (b) do not apply to development the subject of a development application made by the following:</p> <ul style="list-style-type: none"> <li>a) the Aboriginal Housing Office or the Land and Housing Corporation,</li> <li>b) another social housing provider.</li> </ul>	(4) Noted.	Yes.
<p><b>(85) Development standards for hostels and independent living units.</b>  (1) Development consent must not be granted for development for the purposes of a hostel or an independent living unit unless the hostel or independent living unit complies with the relevant standards specified in Schedule 4.</p>	The proposal is for an 'assisted living apartment' which closely aligns to the typology and characteristics of an independent living unit. As such, the proposal has been considered against this clause and is assessed against schedule 4 below.	Yes.
<p>(2) An independent living unit, or part of an independent living unit, located above the ground floor in a multi-storey building need not comply with the requirements in Schedule 4, sections 2, 7–13 and 15–20 if the development application is made by, or by a person jointly with, a social housing provider.</p>	Carrington Care is a registered not-for-profit organisation which is defined as a type of social housing provider. Notwithstanding, the application has still been considered against those sections.	Yes.
<p><b>(87) Additional floor space ratios</b>  (1) This section applies to development for the purposes of seniors housing on land to which this Part applies if:</p> <ul style="list-style-type: none"> <li>a) development for the purposes of a residential flat building or shop top housing is permitted on the land under another environmental planning instrument, or</li> <li>b) the development is carried out on land in Zone E2 Commercial Centre or Zone B3 Commercial Core.</li> </ul>	RFB development is permitted on the land as discussed above by clause 81.	Yes.
<p>(2) Development consent may be granted for development to which this section applies if:</p> <ul style="list-style-type: none"> <li>a) the site area of the development is at least 1,500m<sup>2</sup>, and</li> <li>b) the development will result in a building with the maximum permissible floor space ratio plus: <ul style="list-style-type: none"> <li>i. for development involving independent living units—an additional 15% of the maximum permissible floor space ratio if the additional floor space is used only for the purposes of independent living units, and,</li> </ul> </li> <li>c) the development will result in a building with a height of not more than 3.8m above the maximum permissible building height.</li> </ul>	<p>(a) Site area for the development well exceeds 1,500m<sup>2</sup>.</p> <p>(b) There is no FSR applying to the site. The development does not rely nor benefit from this sub-clause.</p> <p>(c) The proposed development is subject to a maximum height of building standard of 9.5m prescribed under CLEP 2010. A written request to contravene the height of building development standard has been submitted with this development application. This clause (clause 2c) does not expressly state consent cannot be granted and is taken to be further addressed through the accompanying clause 4.6 written request considered in the main body of this report.</p>	No.
<p><b>(88) Restrictions on occupation of seniors housing</b>  (1) Development permitted under this Part may be carried out for the accommodation of only the following:</p> <ul style="list-style-type: none"> <li>a) Seniors or people who have a disability,</li> <li>b) people who live in the same household with seniors or people who have a disability,</li> <li>c) staff employed to assist in the administration and provision of services to housing provided under this Part.</li> </ul>	A condition of consent is recommended limiting occupation of the development to those that are seniors or people who have a disability, people who live in the same household with seniors or people who have a disability and to staff employed to assist in the administration and provision of services to housing.	Yes.
<p>(2) Development consent must not be granted under this Part unless the consent authority is satisfied that only the kinds of people referred to in subsection (1) will occupy accommodation to which the development relates.</p>	The consent authority can be satisfied that the abovementioned kinds of people will occupy accommodation to which development relates.	Yes.
<p><b>(91) Fire sprinkler systems in residential care facilities.</b></p>	The development is not for the purposes of a residential care facility.	Yes.

(1) A consent authority must not grant consent for development for the purposes of a residential care facility unless the facility will include a fire sprinkler system.		
(2) Development for the purposes of the installation of a fire sprinkler system in a residential care facility may be carried out with development consent.	As above.	Yes.
<b>Division 4 – Site related Requirements.</b>		
<b>(93) Location and access to facilities and services (Independent Living Units).</b>		
(1) Development consent must not be granted for development for the purposes of an independent living unit unless the consent authority has considered whether residents will have adequate access to facilities and services: a) by a transport service that complies with subsection (2), or b) on-site.	(a) Assessed below.  (b) The proposed development is located within an existing retirement village (Carrington Care) consisting of residential age care facilities, independent living units (apartment units and detached units). Carrington care operates a bus service and the local busways operator services the property. Carrington Care can book buses outside of the normal pick-up and drop-off times. The site contains its own swimming pool, golf course, lawn bowls, restaurants, wellness centre and medical centre. In addition, the proposed development provides meals and medical services to its occupants. As such, the consent authority can be satisfied that residents will have access onsite to appropriate facilities and services as described.	Yes.
(2) The transport service must: a) take the residents to a place that has adequate access to facilities and services, and  b) for development on land within the Greater Sydney region: i. not be an on-demand booking service for the transport of passengers for a fare, and ii. be available both to and from the site at least once between 8am and 12pm each day and at least once between 12pm and 6pm each day, and iii. for development on land that is not within the Greater Sydney region—be available both to and from the site during daylight hours at least once each weekday.	This has been satisfied as per clause 93(1,b) above.	Yes.
(3) For the purposes of subsections (1) and (2), access is adequate if a) the facilities and services are, or the transport service is, located at a distance of not more than 400m from the site, and b) the distance is accessible by means of a suitable access pathway, and c) the gradient along the pathway complies with subsection (4)(c).	A meals area and a health consulting room is provided within the proposed development. Additional facilities and services are; <ul style="list-style-type: none"><li>• Provided within 400m from the proposed development or, are accessible via the internal bus which will pick up residents from the entry area fronting Mackillop Circuit.</li><li>• The proposed development makes use of existing footpaths and,</li><li>• Where introducing new footpaths or connecting to existing footpaths will have the ability to comply with subsection (4) (c) as demonstrated by the submitted access report.</li></ul>	Yes.
(4) In subsection (3) a) a suitable access pathway is a path of travel by means of a sealed footpath or other similar and safe means that is suitable for access by means of an electric wheelchair, motorised cart or the like, and b) the distance is to be measured by reference to the length of the pathway, and c) the overall average gradient must be not more than 1:14 and the gradients along the pathway must be not more than: i. 1:12 for a maximum length of 15m at a time, or ii. 1:10 for a maximum length of 5m at a time, or iii. 1:8 for a maximum length of 1.5m at a time.	Suitable access is provided noting that existing facilities and services are provided wholly within the proposed development. The development will connect into existing perimeter footpaths.	Yes.

(5) In this section facilities and services means: a) Shops and other retail and commercial services that residents may reasonably require, and b) community services and recreation facilities, and c) The practice of a general medical practitioner.	As above.	Yes.
<b>(94) Location and access to facilities and services</b>		
(1) Development consent must not be granted for development for the purposes of a residential care facility unless the consent authority is satisfied that residents of the facility will have access to facilities and services: a) on-site, or b) by a transport service other than a passenger service.	As above.	Yes.
(2) In this section: • Facilities and services —see section 93. • Passenger service has the same meaning as in the Point to Point Transport (Taxis and Hire Vehicles) Act 2016.  <i>Note: A passenger service is defined as the transport, by a motor vehicle other than a bus, of passengers within, or partly within, this State for a fare.</i>	As above.	Yes.
<b>(95) Water and sewer</b>		
(1) A consent authority must not consent to development under this Part unless the consent authority is satisfied the seniors housing will: a) be connected to a reticulated water system, and  b) have adequate facilities for the removal or disposal of sewage.	(a) Sydney Water have advised that wastewater servicing is being provided for via a private on-site wastewater management system.  (b) The site benefits from an existing sewage pump station which then pumps sewage to a Sydney Water treatment plant in the vicinity of the site. The applicant has provided a sewer pump station analysis to ensure that the existing on-site pump station can cater for the additional wastewater loading from the proposed development. Council's EHO (wastewater) team have reviewed the document provided and are satisfied the existing system will cater for the additional loading required by this development.	Yes.
(2) If the water and sewerage services will be provided by a person other than the consent authority, the consent authority a) must consider the suitability of the site in relation to the availability of reticulated water and sewerage infrastructure, or b) if reticulated services are not available—must satisfy the relevant authority that the provision of water and sewerage infrastructure, including environmental and operational considerations, is satisfactory for the development.	As above.	Yes.
<b>(96) Bush Fire Prone Land</b>		
(1) A consent authority must not consent to development under this Part on bush fire prone land unless the consent authority is satisfied the development complies with the requirements of Planning for Bushfire Protection.	The application was referred to New South Wales Rural Fire Service (RFS) pursuant to clause 100B of the Rural Fires Act (1997), development being for a special fire protection purpose. RFS have provided General Terms of Approval (GTA) attached to this report.	Yes.
(2) In determining a development application for development under this Part on land near bush fire prone land, the consent authority must: a) Consult with the NSW Rural Fire Service and consider its comments, and  b) Consider i – xi.	(a) Consultation has occurred and is taken to be in the form of the issued GTA.  (b) The consent authority can be satisfied that matters outlined by i-xi have been considered as demonstrated throughout the report and accompanying assessment tables.	Yes.
<b>Division 5 – Design requirements.</b>		
<b>(98) Design of seniors housing</b>	Assessment against principles set out in division 6 is provided below.	Yes.

<p>A consent authority must not consent to development for the purposes of seniors housing unless the consent authority is satisfied that the design of the seniors housing demonstrates adequate consideration has been given to the principles set out in Division 6.</p>		
<b>Division 6 – Design principles.</b>		
<b>(99) Neighbourhood amenity and streetscape</b>		
<p>Seniors housing should be designed to:</p> <ul style="list-style-type: none"> <li>a) recognise the operational, functional and economic requirements of residential care facilities, which typically require a different building shape from other residential accommodation, and</li> <li>b) recognise the desirable elements of             <ul style="list-style-type: none"> <li>i. the location’s current character, or</li> <li>ii. for precincts undergoing a transition—the future character of the location so new buildings contribute to the quality and identity of the area, and</li> </ul> </li> <li>c) Complement heritage conservation areas and heritage items in the area, and</li> <li>d) Maintain reasonable neighbourhood amenity and appropriate residential character by:             <ul style="list-style-type: none"> <li>i. providing building setbacks to reduce bulk and overshadowing, and</li> <li>ii. using building form and siting that relates to the site’s land form, and</li> <li>iii. adopting building heights at the street frontage that are compatible in scale with adjacent buildings, and</li> <li>iv. considering, where buildings are located on the boundary, the impact of the boundary walls on neighbours, and</li> </ul> </li> <li>e) set back the front building on the site generally in line with the existing building line, and</li> <li>f) include plants reasonably similar to other plants in the street, and</li> <li>g) retain, wherever reasonable, significant trees, and</li> </ul>	<ul style="list-style-type: none"> <li>a) It is evident that the design of the building is a response to the purpose it seeks to serve. The report and accompanying assessment tables have recognised this and applied a level of merit assessment in this regard.</li> <li>b) The proposal seeks to retain and improve landscaping and pedestrian links which are viewed as being desirable elements as they currently exist. It is acknowledged that the surrounding context is predominately single storey detached ILU’s. However, it is recognised that the site is undergoing change, with older ILUs being decommissioned and renewed by new, modern residential flat buildings. As such, the proposed development is viewed as aligning itself with the future character envisaged for the site.</li> <li>c) The proposal is not located within a heritage conservation area. However, existing across the site are a group of late Victorian institutional buildings which together form local heritage item identified by the CLEP 2010 as item I118. In this regard, the construction of a contemporary building within the vicinity of the nearest item (Carrington Hospital), will be limited in its visibility due to topography and on-site landscaping. It will not impact on the elements that contribute to the wider heritage values of the site. The proposed development represents the latest in a number of developments on the site which date from the late nineteenth through to the twenty first century. The proposal is taken to complement the heritage item I118 in that it is of a distance greater then and less visible than other newer developments observed across the site.</li> <li>d) Maintains reasonable neighbourhood amenity and residential character as:             <ul style="list-style-type: none"> <li>i. Sufficient setbacks are provided which have enabled the bulk of the development and overshadowing to be reduced.</li> <li>ii. Development utilises the existing natural topography to facilitate both habitable and ancillary areas, avoiding unsympathetic earthworks.</li> <li>iii. Building height is consistent with the objectives of clause 4.3 of the CLEP 2010. It is considered to be compatible in the current context, acknowledging the transition of higher and denser forms of residential accommodation on-site.</li> <li>iv. No buildings are located on the boundary, notwithstanding the building reduces impacts to adjoining neighbours as detailed in the report.</li> </ul> </li> <li>e) The setback of the building to Carrington Circuit and Mary Mackillop Circuit are generally consistent with the surrounding ILUs that front those private roads.</li> <li>f) The immediate vicinity will benefit from a surplus of similar planting in comparison to what is currently existing.</li> <li>g) Trees are retained where possible.</li> </ul>	<p>Yes.</p>

h) prevent the construction of a building in a riparian zone.	h) Development is not in or near a riparian zone.	
<b>(100) Visual and acoustic privacy</b>		
Seniors housing should be designed to consider the visual and acoustic privacy of adjacent neighbours and residents by		
a) using appropriate site planning, including considering the location and design of windows and balconies, the use of screening devices and landscaping, and	a) Balconies and the upper outdoor dining area are setback 15.2m from the nearest residences being the detached ILU (unit 75) to the east. In this regard, balconies incorporate a retractable privacy screen which is considered acceptable given the distance provided. The upper outdoor dining area contains a 1.2m raised planter bed which obscures direct sightlines toward unit 75 and beyond. The proposed privacy measures are considered acceptable.	Yes.
b) ensuring acceptable noise levels in bedrooms of new dwellings by locating them away from driveways, parking areas and paths.	b) Council's Specialist Support Environmental Health Officer has reviewed the proposal and has raised no concerns in regards to noise levels.	
<b>(101) Solar access and design for climate</b>		
The design of seniors housing should		
a) for development involving the erection of a new building—provide residents of the building with adequate daylight in a way that does not adversely impact the amount of daylight in neighbouring buildings, and	(a) The development has been considered against the ADG regarding internal solar access to proposed units. Overshadowing will occur to those units located south of the proposed development (units 63 to 74). The provided solar access diagrams demonstrate that solar access to these units is retained between 9am-12pm before becoming partly overshadowed from 12pm onwards at mid-winter.	Yes.
b) involve site planning, dwelling design and landscaping that reduces energy use and makes the best practicable use of natural ventilation, solar heating and lighting by locating the windows of living and dining areas in a northerly direction.	(b) The proposal has been orientated in a northerly direction as best as practically possible.	
<b>(102) Stormwater</b>		
The design of seniors housing should aim to		
a) control and minimise the disturbance and impacts of stormwater runoff on adjoining properties and receiving waters by, for example, finishing driveway surfaces with semi-pervious material, minimising the width of paths and minimising paved areas, and	The proposed development has been reviewed by Councils Engineering Certification team who are satisfied the proposed development complies with Council's Engineering Design Specifications.	Yes
b) include, where practical, on-site stormwater detention or re-use for second quality water uses.		
<b>(103) Crime prevention</b>		
Seniors housing should:		
a) Be designed in accordance with environmental design principles relating to crime prevention, and	(a – c) Development is contained centrally within the aged care village. No concerns are raised regarding criminal activity, with the development providing significant opportunities for casual surveillance from upper floor windows and balconies.	
b) provide personal property security for residents and visitors, and		
c) encourage crime prevention by:		
i. site planning that allows observation of the approaches to a dwelling entry from inside each dwelling and general observation of public areas, driveways and streets from a dwelling that adjoins the area, driveway or street, and		
ii. providing shared entries, if required, that serve a small number of dwellings and that are able to be locked, and		
iii. providing dwellings designed to allow residents to see who approaches their dwellings without the need to open the front door.		Yes
<b>(104) Accessibility.</b>		
Seniors housing should		
a) have obvious and safe pedestrian links from the site that provide access to transport services or local facilities, and	(a – b) Obvious and safe pedestrian links are provided. The proposal seeks to formalise pedestrian connections into existing internal footpaths.	Yes.
b) provide attractive, yet safe, environments for pedestrians and motorists with convenient access and parking for residents and visitors.		
<b>(105) Waste management.</b>		

<p>Seniors housing should include waste facilities that maximise recycling by the provision of appropriate facilities.</p>	<p>The development provides a bin storeroom which accommodates 14 x 240L general bins with 21 x 240L recycling bins. This has been reviewed to the satisfaction of Council's Waste Strategy department.</p>	<p>Yes.</p>
<p>Division 7 – Non-discretionary development standards.</p>		
<p><b>(108) Non-discretionary development standards for independent living units—the Act, s 4.15</b></p>		
<p>(1) The object of this section is to identify development standards for particular matters relating to development for the purposes of independent living units that, if complied with, prevent the consent authority from requiring more onerous standards for the matters.</p>	<p>Noted.</p>	<p>Yes.</p>
<p>(2) The following are non-discretionary development standards in relation to development for the purposes of independent living units:</p> <p>a) no building has a height of more than 9.5m, excluding servicing equipment on the roof of a building,</p> <p>b) servicing equipment on the roof of a building, which results in the building having a height of more than 9.5m:</p> <p>i. is fully integrated into the design of the roof or contained and suitably screened from view from public places, and</p> <p>ii. is limited to an area of no more than 20% of the surface area of the roof, and</p> <p>iii. does not result in the building having a height of more than 11.5m,</p> <p>c) the density and scale of the buildings when expressed as a floor space ratio is 0.5:1 or less,</p> <p>d) for a development application made by a social housing provider—at least 35m<sup>2</sup> of landscaped area per dwelling,</p> <p>e) if paragraph (d) does not apply—at least 30% of the site area is landscaped,</p> <p>f) a deep soil zone on at least 15% of the site area, where each deep soil zone has minimum dimensions of 3m and, if practicable, at least 65% of the deep soil zone is located at the rear of the site,</p> <p>g) at least 70% of the dwellings receive at least 2 hours of direct solar access between 9am and 3pm at mid-winter in living rooms and private open spaces,</p> <p>h) for a dwelling in a single storey building or a dwelling located, wholly or in part, on the ground floor of a multi-storey building:</p> <p>i. at least 15m<sup>2</sup> of private open space per dwelling, and</p> <p>ii. at least 1 private open space with minimum dimensions of 3m accessible from a living area located on the ground floor,</p> <p><b>Note:</b> The open space needs to be accessible only by a continuous accessible path of travel, within the meaning of AS 1428.1, if the dwelling itself is an accessible one—see Schedule 4, section 2.</p>	<p>The development has:</p> <p>(a) The maximum height of building is 16.2m.</p> <p>(b) This has been addressed under clause 84 above.</p> <p>(c) Development has an FSR of 0.008:1 (GFA = 5259m<sup>2</sup>) / (Site Area = 60.71ha).</p> <p>(d) Total amount of landscaped area required = 36 x 35 = 1,260m<sup>2</sup>. The proposed development provides an embellished landscaped area of 1,427m<sup>2</sup> in size.</p> <p>(e) This does not apply to the proposed development.</p> <p>(f) Deep soil zone approximately 91m wide by 6-10m deep is provided to the north of the proposed development. Sufficient deep soil is achieved.</p> <p>(g) 24 of the 36 units will achieve solar access to living rooms and POS (66% of apartments). Council staff have given consideration to the 4% shortfall. The development provides a greater than required amount of outdoor communal space which receives sufficient sunlight. In addition, where those units face south, they are benefited by significant views to the onsite lake and views across east to Camden Town. In combination together, with the large amount of outdoor communal space, the proposed development provides sufficient areas to receive additional sunlight. Those units which are limited in terms of amount of sunlight received, are benefited by a better outlook from their unit.</p> <p>(h) Units LG01 – LG03 and GF09 – GF10 are located on the ground floor these units:</p> <ul style="list-style-type: none"> <li>• Units LG01 – LG03 provide more than 15m<sup>2</sup> of PPOS but do not strictly provide least 3m dimensions to the PPOS.</li> <li>• Units GF-09 – GF-10 provide more than 15m<sup>2</sup> of PPOS but do not strictly provide least 3m dimensions to the PPOS.</li> </ul> <p>In consideration of the minor non-compliance to the dimension of private open space areas, PPOS is not reduced, noting that the area of each unit is considerably larger than required. The proposed development benefits from large areas of open outdoor space as discussed by</p>	<p>No.</p>



<p>i) or a dwelling in a multi-storey building not located on the ground floor—a balcony accessible from a living area with minimum dimensions of 2m and:</p> <ol style="list-style-type: none"> <li>i. an area of at least 10m<sup>2</sup>, or</li> <li>ii. for each dwelling containing 1 bedroom—an area of at least 6m<sup>2</sup>,</li> </ol> <p>j) for a development application made by, or made by a person jointly with, a social housing provider—at least 1 parking space for every 5 dwellings,</p> <p>k) if paragraph (j) does not apply—at least 0.5 parking spaces for each bedroom.</p>	<p>clause (g) above. In this regard, it is considered that access to a considerable outdoor space area offsets the minor dimension shortfall to private open space area.</p> <p>(i) Units contained to the first, second and third floor provide balconies exceeding 10m<sup>2</sup></p> <p>(j) Carrington Care is a registered not-for-profit organisation which is type of social housing provider defined by the Housing SEPP. <u>Carrington Centennial Care Limited</u> is registered on the Australian Charities and non-for-profits commission. As such, total of 36 units (dwellings) proposed = 7.2 &gt; 8 spaces required. Total spaces provided = 21 (with an additional 10 provided to Mackillop Circuit).</p> <p>(k) Refer clause (j) above.</p>	
<b>Schedule 4 – Standards concerning accessibility and useability for hostels and independent living units. (Part 1 – Standards concerning accessibility and useability of independent living units).</b>		
<b>(1) Application of standards in this part</b>		
<p>The standards set out in this Part apply to any seniors housing that consists of hostels or independent living units.</p>	<p>Noted.</p>	<p>Yes.</p>
<b>(2) Siting standards.</b>		
<p>(1) Wheelchair access If the whole of the site has a gradient of less than 1:10, 100% of the dwellings must have wheelchair access by a continuous accessible path of travel (within the meaning of AS 1428.1) to an adjoining public road</p>	<p>The development is accompanied with an access compliance report, which demonstrates the proposed development has the ability to comply with AS 1428.1.</p>	<p>Yes.</p>
<p>(2) If the whole of the site does not have a gradient of less than 1:10:</p> <ol style="list-style-type: none"> <li>a) The percentage of dwellings that must have wheelchair access must equal the proportion of the site that has a gradient of less than 1:10, or 50%, whichever is the greater, and</li> <li>b) the wheelchair access provided must be by a continuous accessible path of travel (within the meaning of AS 1428.1) to an adjoining public road or an internal road or a driveway that is accessible to all residents.</li> </ol>	<p>As stated above.</p>	<p>Yes.</p>
<p>(3) Common areas Access must be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and common facilities associated with the development.</p>	<p>As stated above.</p>	<p>Yes.</p>
<b>(3) Security.</b>		
<p>Pathway lighting:</p> <ol style="list-style-type: none"> <li>a) must be designed and located so as to avoid glare for pedestrians and adjacent dwellings, and</li> <li>b) must provide at least 20 lux at ground level.</li> </ol>	<p>Sufficient pathway lighting is observed onsite, which proposed development will benefit from. Pathways will be well lit by existing lighting and illumination from the development itself.</p>	<p>Yes.</p>
<b>(4) Letterboxes.</b>		
<ol style="list-style-type: none"> <li>a) Must be situated on a hard standing area and have wheelchair access and circulation by a continuous accessible path of travel (within the meaning of AS 1428.1), and</li> <li>b) must be lockable, and</li> <li>c) must be located together in a central location adjacent to the street entry or, in the case of independent living units, must be located together in one or more central locations adjacent to the street entry.</li> </ol>	<p>Mail is distributed throughout the site by Carrington Care management. The existing arrangement is taken to comply with this provision.</p>	<p>Yes.</p>
<b>(5) Private car accommodation.</b>		

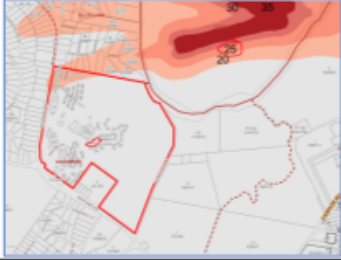
<p>If car parking (not being car parking for employees) is provided:</p> <ul style="list-style-type: none"> <li>a) car parking spaces must comply with the requirements for parking for persons with a disability set out in AS 2890.6, an</li> <li>b) 10% of the total number of car parking spaces (or at least one space if there are fewer than 10 spaces) must be designed to enable the width of the spaces to be increased to 3.8 metres, and</li> <li>c) any garage must have a power-operated door, or there must be a power point and an area for motor or control rods to enable a power-operated door to be installed at a later date.</li> </ul>	<p>(a-c) Plans provided demonstrate compliance with AS 2890.6 and retain the ability to be increased to a width of 3.8m (total 86% of spaces meet this provision).</p>	<p>Yes.</p>
<p><b>(6) Accessible Entry.</b></p>		
<p>Every entry (whether a front entry or not) to a dwelling, not being an entry for employees, must comply with clauses 4.3.1 and 4.3.2 of AS 4299.</p>	<p>The proposed development as conceptually shown has the ability to comply with those clauses. Additional details to be provided at construction certificate stage.</p>	<p>Yes.</p>
<p><b>(7) Interior: General.</b></p>		
<p>(1) Internal doorways must have a minimum clear opening that complies with AS 1428.1.</p>	<p>Circulation space has been identified on architectural plans and is shown to comply. Additional details to be provided at construction certificate stage.</p>	<p>Yes.</p>
<p>(2) Internal corridors must have a minimum unobstructed width of 1,000 millimetres.</p>	<p>As above.</p>	<p>Yes.</p>
<p>(3) Circulation space at approaches to internal doorways must comply with AS 1428.1.</p>	<p>As above.</p>	<p>Yes.</p>
<p><b>(8) Bedroom.</b></p>		
<p>At least one bedroom within each dwelling must have:</p> <ul style="list-style-type: none"> <li>a) an area sufficient to accommodate a wardrobe and a bed sized as follows: <ul style="list-style-type: none"> <li>i. In the case of a dwelling in a hostel—a single-size bed,</li> <li>ii. In the case of an independent living unit—a queen-size bed, and</li> </ul> </li> <li>b) a clear area for the bed of at least: <ul style="list-style-type: none"> <li>i. 1,200 millimetres wide at the foot of the bed, and</li> <li>ii. 1,000 millimetres wide beside the bed between it and the wall, wardrobe or any other obstruction, and</li> </ul> </li> <li>c) 2 double general power outlets on the wall where the head of the bed is likely to be, and</li> <li>d) at least one general power outlet on the wall opposite the wall where the head of the bed is likely to be, and</li> <li>e) a telephone outlet next to the bed on the side closest to the door and a general power outlet beside the telephone outlet, and</li> <li>f) wiring to allow a potential illumination level of at least 300 lux.</li> </ul>	<p>(a,i) All rooms provide a queen-size bed.</p> <p>(b, i, ii) Architectural plans provided demonstrate that all beds maintain 1.2m width at the foot of the bed and, 1.0m width beside the bed and wall, wardrobe and / or any other obstruction.</p> <p>(c - f) Proposed development has the ability to comply with these provisions. Further details will be provided at construction certificate stage.</p>	<p>Yes.</p>
<p><b>(9) Bathroom</b></p>		
<p>(1) At least one bathroom within a dwelling must on the ground (or main) floor and have the following facilities arranged within an area that provides for circulation space for sanitary facilities in accordance with AS 1428.1</p> <ul style="list-style-type: none"> <li>a) a slip-resistant floor surface,</li> <li>b) a washbasin with plumbing that would allow, either immediately or in the future, clearances that comply with AS 1428.1,</li> <li>c) a shower that complies with AS 1428.1, except that the following must be accommodated either immediately or in the future <ul style="list-style-type: none"> <li>i. grab rail,</li> <li>ii. portable shower head,</li> <li>iii. folding seat, a wall cabinet that is sufficiently illuminated to be able to read the labels of items stored in it</li> </ul> </li> <li>d) a double general power outlet beside the mirror.</li> </ul>	<p>Proposed development has the ability to comply at construction certificate stage.</p>	<p>Yes.</p>
<p>(2) Subsection (1)(c) does not prevent the installation of a shower screen that can easily be removed to facilitate future accessibility.</p>	<p>Proposed development has the ability to comply at construction certificate stage.</p>	<p>Yes.</p>

<b>(10) Toilet.</b>		
A dwelling must have at least one toilet on the ground (or main) floor and be a visitable toilet that complies with the requirements for sanitary facilities of AS 4299.	Proposed development has the ability to comply at construction certificate stage.	Yes.
<b>(11) Surface finishes.</b>		
Balconies and external paved areas must have slip-resistant surfaces.  Note: Advise regarding finishes may be obtained from AS 1428.1.	Proposed development has the ability to comply at construction certificate stage.	Yes.
<b>(12) Door hardware</b>		
Door handles and hardware for all doors (including entry doors and other external doors) must be provided in accordance with AS 4299.	Proposed development has the ability to comply at construction certificate stage.	Yes.
<b>(13) Ancillary items</b>		
Switches and power points must be provided in accordance with AS 4299.	Proposed development has the ability to comply at construction certificate stage.	Yes.
<b>Part 2 Additional standards for independent living units.</b>		
<b>(14) Application of standards in this Part.</b>		
The standards set out in this Part apply in addition to the standards set out in Part 1 to any seniors housing consisting of independent living units.	Noted.	Yes.
<b>(15) Living room and dining room</b>		
(1) A living room in an independent living unit must have: a) a circulation space in accordance with clause 4.7.1 of AS 4299, and b) a telephone adjacent to a general power outlet.	Circulation space has been identified on the architectural plans and is shown to comply. Additional details to be provided at construction certificate stage.	Yes.
(2) A living room and dining room must have wiring to allow a potential illumination level of at least 300 lux.	Proposed development has the ability to comply at construction certificate stage.	Yes.
<b>(16) Kitchen.</b>		
A kitchen in an independent living unit must have: a) a circulation space in accordance with clause 4.5.2 of AS 4299, and b) a circulation space at door approaches that complies with AS 1428.1, and c) the following fittings in accordance with the relevant subclauses of clause 4.5 of AS 4299: i. benches that include at least one work surface at least 800 millimetres in length that comply with clause 4.5.5(a), ii. a tap set (see clause 4.5.6), iii. cooktops (see clause 4.5.7), except that an isolating switch must be included, iv. an oven (see clause 4.5.8), and d) "D" pull cupboard handles that are located towards the top of below-bench cupboards and towards the bottom of overhead cupboards, and e) general power outlets: i. at least one of which is a double general power outlet within 300 millimetres of the front of a work surface, and ii. one of which is provided for a refrigerator in such a position as to be easily accessible after the refrigerator is installed.	Circulation space has been identified on the architectural plans and is shown to comply. Additional details to be provided at construction certificate stage.	Yes.
<b>(17) Access to kitchen, main bedroom, bathroom and toilet</b>		
In a multi-storey independent living unit, the kitchen, main bedroom, bathroom and toilet must be located on the entry level.	All ILUs are single storey. Kitchen, main bedroom, bathroom and toilet are all located on the entry level of that unit.	Yes.
<b>(18) Lifts in multi-storey buildings.</b>		
In a multi-storey building containing separate independent living units on different storeys, lift access must be provided to dwellings above the ground level of the building by way of a lift complying with clause E3.6 of the <i>Building Code of Australia</i> .	Lift access to ILU's on different storeys is proposed.	Yes.
<b>(19) Laundry.</b>		

<p>An independent living unit must have a laundry that has—</p> <ul style="list-style-type: none"> <li>a) a circulation space at door approaches that complies with AS 1428.1, and</li> <li>b) provision for the installation of an automatic washing machine and a clothes dryer, and</li> <li>c) a clear space in front of appliances of at least 1,300 millimetres, and</li> <li>d) a slip-resistant floor surface, and</li> <li>e) an accessible path of travel to any clothes line provided in relation to the dwelling.</li> </ul>	<p>Laundry provided that complies with the requirements of a-e as demonstrated by the architectural plans and circulate spaces denoted on those plans.</p>	<p>Yes.</p>
<p><b>(20) Storage for linen.</b></p>		
<p>An independent living unit must be provided with a linen storage in accordance with clause 4.11.5 of AS 4299.</p>	<p>Proposed development has the ability to comply at construction certificate stage.</p>	<p>Yes.</p>
<p><b>(21) Garbage.</b></p>		
<p>A garbage storage area must be provided in an accessible location.</p>	<p>Proposed development benefits from a garbage chute from the accessible common corridor. In addition, staff members are able to assist residents in the general day-to-day activities such as the taking out of garbage.</p>	<p>Yes.</p>

Camden Local Environmental Plan 2010		
Clause	Assessment	Compliance?
<p><b>2.3 Zone objectives and land use table</b></p> <p>The consent authority must have regard to the objectives for development in a zone when determining a development application in respect of land within a zone:</p>	<p>The site is located within an R5 – Large Lot Residential zone. The proposed development will provide a form of seniors housing within an existing aged care village. The proposed development remains consistent with the residential typology (seniors housing) existing onsite. As such, the proposed development will not hinder or cause conflict with the proper and orderly development of the urban area in the future, or will result in an increase of demand for public services or facilities. Regard has been given to the objectives of the zone in which the development is located and is considered to be consistent with those.</p>	Yes.
<p><b>2.5 Additional permitted uses for particular land</b></p> <p>Development on particular land that is described or referred to in Schedule 1 may be carried out:</p> <p>a) with development consent, or b) if the Schedule so provides—without development consent,</p> <p>in accordance with the conditions (if any) specified in that Schedule in relation to that development.</p>	<p>The development is characterised as "seniors housing", "demolition", "earthworks" and "drainage". 'Seniors housing', being a form of 'residential accommodation' is nominate prohibited within the R5 Zone. However, pursuant to Schedule 1(8), development for the purposes of residential flat buildings and seniors housing is permitted with development consent.</p>	Yes.
<p><b>4.3 Height of buildings</b></p> <p>Maximum building heights must not exceed the maximum building height shown on the Height of Buildings Map.</p> <p>Maximum height 9.5 metres.</p>	<p>Maximum building height of 16.2 metres is proposed.</p>	No. (Clause 4.6 written request submitted)
<p><b>4.6 Exceptions to development standards</b></p> <p>Development consent may be granted for development that contravenes a development standard imposed by the LEP or any other environmental planning instrument.</p>	<p>A Clause 4.6 written request has been submitted with the application. Consideration of the written request is made in the main body of the assessment report.</p>	Yes.
<p><b>5.6 Architectural roof features</b></p> <p>Development consent must not be granted to any such development unless the consent authority is satisfied that</p> <p>a) the architectural roof feature:</p> <p>i. comprises a decorative element on the uppermost portion of a building, and ii. is not an advertising structure, and iii. does not include floor space area and is not reasonably capable of modification to include floor space area, and iv. will cause minimal overshadowing, and</p> <p>b) Any building identification signage or equipment for servicing the building (such as plant, lift motor rooms, fire stairs and the like) contained in or supported by the roof feature is fully integrated into the design of the roof feature.</p>	<p>The contravention to clause 4.3 is not limited to the proposed roof features. As such, the proposed development does not rely on this clause.</p>	NA.

<p><b>5.10 Heritage Conservation</b> Effect of proposed development on heritage significance - The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).</p>	<p>The site is listed as a local heritage item (I118 – Carrington Hospital (including “Grasmere” cottage, gardener’s cottage and Masonic cottage)). The proposed development will not result in any direct or indirect physical or visual impact to any of the key heritage buildings within the curtilage. In addition, it has been demonstrated that the proposed development will not impact on the sightlines to and from the spire of St Johns Church. The submitted heritage impact statement (HIS) has addressed those matters required by clause 5.10. Council staff are satisfied that the proposed development will have negligible heritage impact on the heritage significance existing onsite.</p>	<p>Yes.</p>
<p><b>7.2 Airspace Operations.</b></p>		
<p>(2) Before deciding whether to grant development consent for the application, the consent authority must: a) consult the relevant Commonwealth body about the application, and b) give the relevant Commonwealth body a period of not less than 28 days within which to consider and comment on the application.</p>	<p>Consultation with Sydney Metro (Camden Airport) has occurred.</p>	<p>Yes.</p>
<p>(3) The consent authority may grant development consent for development referred to in subclause (1)(a) if: a) the relevant Commonwealth body is satisfied the proposed development will not penetrate the obstacle limitation surface as shown on the <i>Obstacle Limitation Surface Map</i>, or b) the relevant Commonwealth body is satisfied the proposed development will penetrate the obstacle limitation surface as shown on the <i>Obstacle Limitation Surface Map</i> but: i. does not object to the consent authority granting development consent, or ii. does not object to the consent authority granting development consent subject to stated conditions.</p>	<p>The consent authority can be satisfied that the relevant Commonwealth body is satisfied that the development will not penetrate the OLS. Correspondence from Sydney Metro has stated the following:  <i>“Camden Airport Pty Limited wishes to advise that the proposed development at the above address has been assessed in regard to the Prescribed Airspace for Camden Airport and at a maximum proposed height of 98.30mAMSL the development will not impact the obstacle limitation surfaces or flight operations at Camden Airport. On that basis Camden Airport has no objections to the proposed development.”</i>  Sydney metro further advised that should any crane activity be utilised during construction, a separate assessment is required. A condition of consent has been recommended requiring this prior to the erection of any crane.</p>	<p>Yes.</p>
<p>(5) The consent authority must not grant development consent for development referred to in subclause (1)(a) if the relevant Commonwealth body: a) is satisfied the development will penetrate the obstacle limitation surface as shown on the <i>Obstacle Limitation Surface Map</i>, and b) objects to development consent being granted.</p>	<p>The relevant Commonwealth body has stated the proposed development will not penetrate the OLS and does not object to development consent being granted.</p>	<p>Yes.</p>
<p>(6) The consent authority must not grant development consent for development referred to in subclause (1)(b) if the relevant Commonwealth body: a) is satisfied the development will penetrate the PANS-OPS surface as shown on the <i>Procedures for Air Navigation Services—Aircraft Operations Map</i>, and b) objects to development consent being granted.</p>	<p>The relevant Commonwealth body has stated the proposed development will not penetrate the PANS-OPS and does not object to development consent being granted.</p>	<p>Yes.</p>

<p><b>7.3 Development in areas subject to airport noise</b></p> <p>(2) The consent authority must not grant development consent for the purposes of caravan parks, centre-based child care facilities, education establishments, hospitals or residential accommodation if the development will be in ANEF contour 25 or higher.</p> 	<p>Development is for the purposes of residential accommodation. The development is not impacted by any ANEF contour. Consent can be granted on this basis.</p>	<p>Yes.</p>
<p><b>7.4 Earthworks.</b></p> <p>(3) Before granting development consent for earthworks, the consent authority must consider the following matters.</p> <ol style="list-style-type: none"> <li>the likely disruption of, or any detrimental effect on, existing drainage patterns and soil stability in the locality,</li> <li>the effect of the proposed development on the likely future use or redevelopment of the land,</li> <li>the quality of the fill or the soil to be excavated, or both,</li> <li>the effect of the proposed development on the existing and likely amenity of adjoining properties,</li> <li>the source of any fill material and the destination of any excavated material,</li> <li>the likelihood of disturbing relics,</li> <li>the proximity to and potential for adverse impacts on any watercourse, drinking water catchment or environmentally sensitive area.</li> </ol>	<p>Consent for the associated earthworks is sought. The proposed earthworks are in response to the existing level difference (3.5-4m) occurring across the proposed development site. The proposed development is accompanied with civil engineering plans, demonstrating the proposed earthworks has been considered in conjunction with drainage and stormwater quality requirements. The proposed development was reviewed by Council's Environmental Health Officer, Engineering Certification team and Building Certification Team who have recommended conditions of consent which are attached to this report. Matters required for consideration by clause (3) have been considered and are further managed by conditions of consent.</p>	<p>Yes.</p>

Camden DCP (2019)		
Section / Control	Assessment	Compliance?
<b>3.1 Notification of Development Applications.</b>		
Notification is where Council writes to those people identified as requiring notification (e.g. adjoining and surrounding landowners, community groups etc), advising of the lodgement of an application. Notification is for a minimum period of 14 days	The application was notified for a period 14 days together with a larger notification sign displayed fronting Werombi Road. Council staff did not notify individual residents within the Village. The Camden Community Participation Plan (CCPP) states: "If land is owned or occupied by more than one person, a notice to one owner or one occupier is taken to be notice to all the owners and occupiers of that land". The development application has been notified in accordance with the CCPP.	Yes.
<b>2.1 Earthworks.</b>		
(1) Building work should be designed to respond to the natural topography of the site wherever possible, minimising the extent of cut and fill.	The site is characterised by a significant level difference up 3.5–4m metres across the site. Due to these contrast in levels across the site, the proposed development will present four storeys in height when viewed from the south, whilst presenting three storeys in height when viewed from the north. The development is situated within the existing natural topography minimising extent of cut and fill.	Yes.
(1) All retaining walls are to be of masonry construction (or the like).	Masonry retaining walls are proposed.	Yes.
(2) All retaining walls proposed are to be identified in the development application.	Retaining walls are identified on the relevant plans.	Yes.
(3) All retaining walls to be max height 1m.	Retaining walls proposed are generally 1m in height. Where exceedances to the 1m are proposed, the retaining walls are terraced with 0.5m–1m steps between. This arrangement is considered acceptable noting similar arrangements currently exist onsite.	Yes.
(1) All land forming operations should involve the use of clean fill (also known as Virgin Excavated Natural Material or 'VENM'). The VENM must also meet the same salinity characteristics of the receiving land. Council may consider alternatives to VENM on merit.	A condition of consent has been recommended to manage this.	Yes.
<b>2.2 Salinity Management.</b>		
(3) All development must incorporate Salinity Management measures.	All works are to be in accordance with salinity management and control measures contained in Council's Engineering Specifications.	Yes.
(4) All sediment and erosion controls are to be installed prior to the commencement of any works.	Standard condition of consent has been recommended requiring sediment and erosion control measures to be installed.	Yes.
<b>2.3 Water Management.</b>		
(1) Development must demonstrate compliance with Council's Engineering Specifications including requirements for detention, drainage and water sensitive urban design.	The proposed development has been reviewed against Council's Engineering Specifications by Council Engineers and is satisfactory, subject to conditions.	Yes.
<b>2.4 Trees and Vegetation.</b>		
(1) A person must not cut down, fell, uproot, kill, poison, ringbark, burn or otherwise destroy a tree or vegetation without approval from Council authorising such works.	The proposed development seeks consent for the removal of 26 trees to accommodate the development. The proposed development seeks to offset tree removal with compensatory planting consisting of trees, shrubs and groundcovers. The application was reviewed by Councils Landscape Officer who supports the tree removal, subject to conditions.	Yes.
<b>2.7 Bush Fire Risk Management.</b>		
(1) Development on land identified as bushfire prone on Council's Bush Fire Prone Land Map must address the bush fire protection measures in the NSW RFS publication Planning for Bush Fire Protection (or equivalent).	The proposed development meets the requirements of planning for bushfire protection. The proposed development was referred to New South Wales Rural Fire Service pursuant to clause 100B of the Rural Fires Act (1997). General Terms of Approval have been granted and form part of the recommended conditions.	Yes.



<b>2.9 Contamination and Potentially Contaminated Land Management.</b>		
(1) SEPP 55 Assessment must be considered.	The application has considered / adequately addressed former SEPP 55 (now Chapter 4 – SEPP Resilience and Hazards).	Yes.
(2) If contamination is present on the land, Council must consider whether the proposed land use is suitable or, if not suitable, can the land be made suitable following remediation pursuant to SEPP No. 55. Where land is proposed to be remediated, appropriate documentation is to be presented to Council supporting the works to be undertaken to achieve suitability	A phase 2 site contamination and investigation report was submitted with the DA. The phase 2 assessment concluded that the likelihood of gross ground chemical contamination on the land to which the development is proposed is low and therefore the site is considered suitable for the proposed development. Council's Specialist Support Environmental Health Officer has reviewed the phase 2 report and concurs with the findings and recommendations. As such, the consent authority can be satisfied that the land is suitable for the proposed development.	Yes.
(4) All contamination investigations (Stage 1 or 2), remediation (Stage 3) and validation work (Stage 4) must be undertaken by a suitably qualified consultant and in accordance with the protocols of Council's Policy – Management of Contaminated Lands and the NSW EPA Contaminated Sites Guideline Booklets or NEPM (2013 Amended), where relevant.	Phase 2 investigation was carried out by suitably qualified consultant. Council's Specialist Support Environmental Health Officer has reviewed the proposed development and is satisfied that the site is suitable for the proposed development.	Yes.
<b>2.10 Development Near Camden Airport.</b>		
(1) Ground lighting within the area shown in the Camden Airport Master Plan highlighting maximum lighting intensities surrounding Camden Airport, must not impact on Airport operations. Guidelines for aeronautical ground lights can be found in the Manual of Standards Part 139 – Aerodromes, Section 9.21 or equivalent	The development was referred to Sydney Metro (Camden Airport) who raised no objection in regard to the proposed development.	Yes.
(2) Stack and vent efflux installations located within 15km of the Camden Airport must comply with the requirements set out in Advisory Circular 139-05 issued by the Civil Aviation Safety Authority	As discussed above.	Yes.
(3) Buildings within OLS must use materials that have low reflectivity.	The development is located within Camden OLS. All colours and materials have a high solar absorbance and do not contain any surface that may emit any unnecessary amount of reflection.	Yes.
<b>2.12 Acoustic Amenity.</b>		
(1) Acoustic reports (where required), must be prepared by a suitably qualified consultant.	The proposed development is located outside of the ANEF contours of Camden Airport and is located a distance greater than 300m from Werombi Road. Council's Specialist Support Environmental Health Officer has reviewed the proposal and is satisfied that the development does not require any specific acoustic treatment outside of standard construction methods and mechanical ventilation.	Yes.
<b>2.14 Waste Management.</b>		
(1) Waste Management Plan to be provided.	A Waste Management Plan has been submitted with this development application.	Yes.

<p>Commercial Developments: The WMP must show:</p> <ul style="list-style-type: none"> <li>a) The location of the designated waste and recycling storage room(s) or areas, sized to meet the waste and recycling needs of all tenants (refer to Council's Waste Management Guideline);</li> <li>b) The location of temporary waste and recycling storage areas within each tenancy. These are to be of sufficient size to store a minimum of one day's worth of waste;</li> <li>c) An identified collection point for the collection and emptying of waste bins; 53 Part 2 – General Land Use Controls</li> <li>d) The path of travel for moving bins from the storage area to the identified collection point. There must be step-free access between the point at which bins are collected/emptied and the waste/recycling storage room(s) or area(s); and</li> <li>e) The on-site path of travel for collection vehicles (if collection is to occur on-site)</li> </ul>	<p>Waste will be taken to a central collection point north-east of the proposed development via a collection vehicle. This is consistent with existing development across the site, including the recently approved/constructed Riverview Apartments. Council's Waste Team raise no concerns in respect to this waste arrangement.</p>	
<p><b>2.16.3 General Heritage Provisions.</b></p>		
<p>Design.</p> <ul style="list-style-type: none"> <li>(1) New buildings must be of a simple, contemporary design that avoids "heritage style" replication of architectural or decorative detail.</li> <li>(2) New work must be easily identified as such and is required to be sympathetic to the heritage place.</li> <li>(5) New development must be designed to interpret and complement the general form, bulk, scale, height, architectural detail and other significant elements of the surrounding heritage place.</li> <li>(6) Where an addition is not visible from a street or public place, greater flexibility in design may be considered.</li> </ul>	<ul style="list-style-type: none"> <li>(1) The building is contemporary and does not replicate any architectural or decorative detail observed to those items on the site.</li> <li>(2) The work is easily identified as a new and contemporary building. The proposed development is predominately hidden from view when observed from Carrington Hospital, Grasmere Cottage, Gardner's Cottage and the Masonic Cottage which exist approximately 230m to the west and 170m to the north of the proposed development.</li> <li>(5) The development is located approximately 230m from Carrington Hospital. The proposed development is responsive to its immediate site context. It is noted that the development site is not within the immediate vicinity of heritage buildings/structures.</li> <li>(6) The proposed development is located predominately out of sight when viewed from the nearest street / public place being Werombi Road, located 347m from the proposed development.</li> </ul>	<p>Yes.</p>
<p>Sitting.</p> <ul style="list-style-type: none"> <li>(1) Alterations and additions to a heritage item or within a conservation area will be sited and designed to retain the intactness and consistency of the streetscape and the significance of the conservation area.</li> </ul>	<ul style="list-style-type: none"> <li>(1) No alterations and additions to any item are proposed. The proposed development is located outside of the immediate curtilage of Carrington Hospital, Grasmere Cottage, Gardner's Cottage and the Masonic Cottage which exist approximately 230m to the west and 170m to the north of the proposed development.</li> </ul>	<p>Yes.</p>
<p>Roof and Roofscape.</p> <ul style="list-style-type: none"> <li>(1) The existing pattern, pitch, materials and details of original roof forms within the Heritage Conservation Area must be retained.</li> <li>(2) Secondary roof forms should be subservient in form, scale and location to the main roof.</li> <li>(3) Missing roof elements must be reinstated when unsympathetic roofs are replaced.</li> </ul>	<ul style="list-style-type: none"> <li>(1) No changes are proposed to the existing pattern, pitch, materials or details of any original roof form to Carrington Hospital, Grasmere Cottage, Gardner's Cottage and the Masonic Cottage.</li> <li>(2) The roof form is subservient in form, scale and location as it is located 230m to the west and, 170m north of the heritage items.</li> <li>(3) There are no missing roof elements.</li> </ul>	<p>Yes.</p>

<p>Verandas and Balconies.</p> <p>(1) Original verandas and balconies are not to be removed, altered or enclosed.</p> <p>(2) Verandas and balconies may be reinstated on street front elevations where historical evidence supports their previous existence. In such circumstances, the detail and design should be representative of the original.</p> <p>(3) Verandas and balconies on new buildings should generally be of a contemporary design and materials that respond to the character, scale and from setting of the heritage place.</p>	<p>(1) Original verandas and balconies are not removed, altered or enclosed.</p> <p>(2) As above.</p> <p>(3) As above.</p>	Yes.
<p>Height.</p> <p>(1) Additional floor space may be permitted within attic roof space where no significant external changes are made to the existing wall heights and roof forms.</p> <p>(2) Dormers with traditional proportions and sympathetic detailing that complements the style and details of the roof may be considered.</p> <p>(3) Loft type structures in the conservation area may be appropriate only where the bulk, size and scale does not overwhelm the existing or surrounding buildings and can be included in the roof space of a pitch that reflects surrounding existing development.</p>	<p>(1) The proposed development does not contain an attic.</p> <p>(2) The proposed development does not contain any dormers.</p> <p>(3) The proposed development does not contain any loft type structures.</p>	Yes.
<p>Materials and Finishes.</p> <p>(2) Materials, finishes, and textures must be sympathetic to the historic context of the original significant buildings within the streetscape.</p>	<p>(2) The proposed development utilises a variety of materials, finishes and textures consisting of block work in two tones, perforated aluminium, glass balustrades and metal vertical slats.</p>	Yes.
<p>Colours.</p> <p>(2) New buildings need not employ traditional colour schemes, but should use colours sympathetic to surrounding development and contribute to the cohesiveness of the Heritage Place. A material and colour palette sheet must be provided to Council for assessment.</p>	<p>(2) The colours employed are generally lighter in comparison to nearby development on the site. Use of lighter colours in place of darker colours assists in breaking up the built form and sense of massing.</p>	Yes.
<p>Fences And Gates.</p> <p>(1) Existing fences that have been identified as being significant or that contribute to the overall setting or character of a heritage place are to be retained, rather than replaced.</p>	<p>(1) There are no changes to any existing fence. Fencing is not proposed under this development application.</p>	Yes.
<p>Garages, Carports and Outbuildings</p> <p>(1) Garages, carports and outbuildings must be simple, ancillary structures, that are designed and sited so that they do not dominate the principal building and not detract from the Heritage Conservation Area.</p>	<p>(1) No garages, carports or outbuildings are proposed.</p>	Yes.
<p>Vehicle Access</p> <p>(1) Vehicle access must not impact adversely upon the architectural character and significance of buildings or the streetscape</p>	<p>(1) Vehicular access to the proposed development will not adversely impact upon the character and significance of the heritage buildings or streetscape as it is not visible from those buildings or streetscapes.</p>	Yes.
<p>Landscaping.</p> <p>(2) Landscaping in a heritage place should, retain the original design elements, paths, significant trees and established gardens.</p>	<p>(2) Landscaping plans demonstrate incorporates similar elements, paths and gardens as observed broadly across the site.</p>	Yes.

Signage  (1) Refer to Part 2.15 of this DCP for signs on Heritage Items or in Heritage Conservation Areas.	(1) No signage is proposed.	Yes.
Associated Structures.  (3) Skylights, air conditioning units, antennas, solar panels, satellite dishes etc. must not be visible from the street.	(3) Skylights are proposed. These are not visible from the street.	Yes.
Demolition.  (1) The demolition of a heritage place is contrary to the intent of heritage listing. It will only be considered as a last resort, where a Heritage Impact Statement is submitted covering the following:	(1) The four existing ILUs proposed for demolition are not an item, do not form part of an item and are not located within any curtilage of any heritage item existing onsite.	Yes.
<b>2.18.2</b>		
<b>Off Street Car Parking Rates / Requirements.</b>		
Seniors Housing Refer to State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004.	The proposed development complies with the parking requirements outlined by Section 108, Part 5 of the Housing SEPP (formerly Housing for Seniors or People with a Disability).	Yes.
<u>Service Vehicle Provisions:</u> (1) Council will assess the extent and size of service vehicle parking area to be provided having regard to the nature of a particular development and its likely servicing requirements.  (2) Access by a garbage collection vehicle, where necessary, must be provided to development	(1) The site (Carrington Care) operates a system of golf buggies which carry out the day-to-day servicing needs of the existing (and proposed) development onsite. As such, there is sufficient space provided within the designated golf buggy parking area contained to the basement car park which will allow the development to benefit from the existing service operations.  (2) Similar to the above, waste is collected via golf buggies. Waste is then transported to a centralised waste collection point which is then collected and taken offsite via a privately engaged waste contractor.	Yes.
<u>Disabled Parking Requirements</u> Design of off-street parking for people with a disability must comply with AS 2890.6 and the Commonwealth Disability Discrimination Act (1992).	Plans provided demonstrate compliance with AS2890.6 and retain the ability to be increased to a width of 3.8m (total 86% of spaces meet this provision).	Yes.
<u>Parking for motorcycles and bicycles</u> The design of the bicycle spaces should be in accordance with AS2890.3. Alternative designs for bicycle racks will be considered. The design of motorcycle spaces (on and off street) must be in accordance with the on-street design requirements specified in AS2890.5	The proposed development does not require any parking for motorcycles or bicycles. No motorcycle or bicycle parking is provided.	NA.
<b>2.18.3</b>		
<b>Car Parking Design Criteria.</b>		
<u>Parking for visitors</u> (1) Visitor parking spaces should be clearly marked and conveniently located to encourage their use by their intended users. Spaces should be freely accessible, preferably in front of the building.	The proposed development provides an additional ten on-street car parking spaces along the southern side of private road Mary Mackillop Circuit. These spaces are located in close proximity to the southern pedestrian entry to the building. Additionally, the proposed development will reconstruct the existing parking area contained to the front (south) of the Mary Mackillop building, increasing the number of spaces from 28 to 29 with additional landscaping being provided between spaces.	Yes.
<u>Coaches and Car/Taxi Set-down.</u> (1) Taxi, private vehicle and coach drop-off/set-down areas should be provided for larger developments in a convenient off-street location close to pedestrian entrances, with consideration given to the design of the front of the building, safely and interruption to traffic.	A designated drop off / pick up area is provided adjacent to the southern elevation, signified by a featured cobble paved area which fronts the pedestrian entry to the building.	Yes.
<u>Public transport.</u> (1) Access to public transport services from developments should be maximised.	Carrington Care operates a mini bus service for residents wishing to access nearby shopping centres and Campbelltown Railway Station. The proposed development will benefit from this existing service.	Yes.

(Garbage Vehicles) (1) Garbage storage and collection areas should be conveniently located and designed so as not to cause unacceptable on-street conflicts.	The storage and collection areas are contained within the basement car park and will not detract or cause to result in any unacceptable conflicts from the nearby private road network.	Yes.
(Planting Principles) (1) The planting of trees and shrubs can improve the appearance of car parks considerably and enhance user amenity through sun control.	The proposed development generally complies with the planting principles and figure 2-12.	Yes.
<b>2.19 Landscape Design.</b>		
A landscape plan is to be submitted for all development that, in Council's opinion, will significantly alter the existing and intended landscape character of the land.	The landscape plan provided depicts how groundcovers, shrubs and trees will be reinstated throughout the immediate vicinity of the proposed development. The landscape plan was reviewed by Council's Landscape officer and deemed to be satisfactory for the proposed development.	Yes.
<b>4.2.8 Solar Access.</b>		
(3) Direct sunlight must reach at least 50% of the PPOS of both the subject dwelling and of any adjoining dwelling, for not less than 3 hours between 9:00am and 3:00pm on 21 June.	This is discussed under Section 108 of the Seniors SEPP.	Yes.
(4) At least one window to a living area of dwellings on neighbouring properties must receive a minimum 3 hours of sunlight between 9:00am and 3:00pm on 21 June	This is discussed under Section 108 of the Seniors SEPP.	Yes.
<b>4.7 Large Lot Residential Areas (R5 Zones).</b>		
(1) On unsewered sites, effluent and household waste water is to be disposed in accordance with Council's Sewage Management Strategy	Existing onsite are a series of pumps which convey wastewater to the nearby treatment plant, located to the south-east of the site. The proposed development will benefit from the existing on-site sewer management system. The development application is accompanied with a report which confirms the exiting pump system(s) can accommodate the additional capacity imposed by the proposed development. This has been reviewed by Council's Wastewater Team and considered to be satisfactory.	Yes.
(1) The general numerical setback requirements for dwellings in R5 development are listed in Table 4- 8 below. These apply to all areas except where a specific setback control is provided for that area elsewhere in this DCP, or where a registered building envelope applies to the lot: <ul style="list-style-type: none"> <li>• Front = 20m</li> <li>• Secondary = 5m</li> <li>• Side = 5m</li> <li>• Rear = 5m</li> </ul>	The proposed development is located centrally within the site, adjoining two private roads and thereby satisfies the prescribed numeric controls. Consideration has also been given to the internal setback of the proposed building to existing structures and buildings. To this extent the development satisfies objective 3F-1 in the Apartment Design Guideline and complies in respect of separation distances. At the closest point, the building is located no less than 12m from the nearest structure/building and has a setback to Mackillop Circuit being 5.0m at its closest point.	Yes.
(1) Materials and colours for buildings (including ancillary structures) must adopt neutral / earthen colours such as tones or greys, grey-greens, blue-greys, browns or fawns. Bright colours, stark whites and blacks must be avoided.	The proposed development is consistent with colours and materials observed by similar developments existing onsite. In addition, the proposed development incorporates references to the immediate natural environment through architectural elements, materials and colours.	Yes.
(2) Non-reflective materials for external use must be utilised.	Utilised where practically possible.	Yes.
<b>4.8 Residential flat buildings and shop top housing.</b>		
(1) All residential flat buildings and shop top housing are to be consistent with the design quality principles outlined in SEPP No. 65 and the objectives, design criteria and design guidance outlined in the Apartment Design Guide (or equivalent)	(1) The proposed development has been assessed in detail against part 5 of the Housing SEPP 2021, the Draft Seniors Housing Guidelines (2022) and the Seniors Living Policy (2004). The SEPP, guideline and policy provide provisions and controls for the proposed typology. Notwithstanding, the proposed development exhibits elements that are characteristic of a residential flat building. As such, the proposed development has been considered against SEPP 65, the ADG and this part of the Camden DCP.	Yes.
(2) In addition to the controls in this section, the controls within Part 2 General Land Use Controls of this DCP must also be taken into consideration when preparing a development application for residential flat buildings	(2) Assessment against part 2 of the DCP is provided above. Refer above.	Yes.

(3) Residential flat buildings are to be located on sites with a minimum street frontage of 30m and have direct frontage to an area of the public domain (including streets and public parks).	(3) The proposed development has a frontage of approximately 41m to the immediate internal (southern private road) Mary Mackillop Circuit. Importantly, the proposed development is located approximately 343m from the nearest lot boundary with public road frontage (western boundary fronting Werombi Road).	Yes.
(4) Residential flat buildings are not to adversely impact upon the existing or future amenity of any adjoining land upon which residential development is permitted with respect to overshadowing impact, privacy impact or visual impact.	(4) The proposed development has appropriately responded to the site and its context. Overlooking and overshadowing from proposed development to nearby ILUs is mitigated through 10-15m setbacks, privacy screens, planter beds and compensatory planting. The building creates interest, following the existing shape of the site and topography presenting four storeys from the southern elevation, tapering down to three storeys north, as it steps the slope of the land. As such, proposed development does not adversely impact upon existing or future amenity to its immediate surrounds.	Yes.
(5) A minimum of 10% of all residential flat building developments containing 10 dwellings or more, are to be designed to be capable of adaptation for access by people with all levels of mobility. Dwellings must be designed in accordance with the Australian Adaptable Housing Standard (AS 4299-1995), which includes 'pre-adaptation' design details to ensure visitability is achieved.	(5) The proposed development has been designed as a residential care building. Assessment of the proposed development has demonstrated that the design is capable of achieving compliance with the BCA.	Yes.
(6) Where adaptable dwellings are proposed above the ground level, lift access must be provided. The lift access must provide access from the basement to allow access for people with disabilities.	(6) All units are to be occupied by Seniors. All units are above the ground level are provided with lift access from the at-grade.	Yes.
(7) The development application must be accompanied by certification from a suitably qualified (and experienced) Access Consultant confirming that the adaptable dwellings are capable of being modified, when required by the occupant, to comply with the Australian Adaptable Housing Standard (AS 4299-1995).	(7) An access compliance report prepared by Accessible Building Solutions accompanies the development application. Council's Building Certification Team have reviewed the proposed development and accompanying documents and support it subject to conditions of consent.	Yes.
(8) Car parking and garages allocated to adaptable dwellings must comply with the requirements of Australian Standards for disabled parking spaces.	(8) Plans provided demonstrate compliance with AS 2890.6 and retain the ability to be increased to a width of 3.8m (total 86% of spaces meet this provision). The proposed development complies with the relevant provisions specified by SEPP Housing 2021 for Seniors Housing.	
(9) The proposed development should be designed to comply with 'Safer By Design' Guidelines.	(9) The proposed development has been considered against the Safer by Design Guidelines. The proposed development is located within an existing retirement village (Carrington Care) and is naturally afforded a level of safety by the existing systems in-place on site. Notwithstanding, the proposed development clearly delineates private and public spaces. Attention is given to public spaces whereby casual surveillance is provided by overlooking balconies from all elevations. Moving beyond the development, pathways proposed are logical and do not lead to concealed areas or potentially dangerous locations. The development has optimised safety and security through its design.	Yes.
(10) Each dwelling must be provided with a separate secure storage space of 8m <sup>3</sup> . This space is to be provided exclusively for storage purposes and must be provided in addition to any garage space.	This control is superseded by design criteria 4G from the ADG.	NA.
(1) The proposed development should: a) minimise vehicular entry and exit points to the site.  b) provide a defined and well-lit pedestrian 'safe route' which can be clearly viewed by residents for passive surveillance.  c) consider site accessibility to people in wheelchairs and with lesser mobility.	The proposed development: a) relies on existing vehicular entry and exit points from Werombi Road to access the proposed development. Entry to the at-grade car parking is via Mackillop Circuit (a private road).  b) includes logical pathways that do not lead to concealed areas or potentially dangerous locations.  c) benefits from the existing layout and operation of the site tailored for Seniors Living. The proposed development will further contribute to providing site accessibility to those with lesser mobility through the inclusion of pathways and lifts.	Yes.


(1) The maximum height of buildings is established by Clauses 4.3A, 4.3B and 4.3C of CLEP 2010 and the associated Height of Buildings Map.	(1) The development proposes a maximum building height of 16.2 metres, which exceeds the maximum building height development standard of 9.5 metres.	No.
(2) Residential flat buildings may be designed with flat roof forms in order to maximise the number of storeys within a building. However, such buildings must feature a high level of architectural design and incorporate appropriate treatments to minimise the visual bulk and scale of the building.	(2) The proposed roof incorporates a combination of varying heights, orientations and voids which enable the proposed development to minimise the visual bulk and scale of the building.	Yes.
(3) Basement car parks that do not exceed more than 1m above natural ground level are not considered to be a storey.	(3) The car park is provided at-grade.	NA.
(1) Landscaping must take into account probable day and night use by residents, seating, shade and allows surveillance by residents i.e. the plants are either high (canopy trees) or low (ground covers)	(1) Majority of landscaping and embellished areas are focused to the northern aspect of the proposed development to maximise solar access. This area will contain footpaths and seating to encourage its use by residents.	Yes.
(2) If the area is fenced, the fence must be dark in colour and permeable to maximise passive surveillance of the area.	(2) The area is not fenced.	NA.
(3) Communal open space landscaping must be designed to minimise water usage and maintenance requirements.	(3) Native plant species are proposed to assist in reducing water usage and maintenance requirements.	Yes.
(4) Communal open space should be provided in locations which help to retain existing trees wherever possible.	(4) All tree removal is associated with accommodating the proposed development. Existing trees are retained where possible.	Yes.
(5) A landscape plan is to be submitted with every application for residential flat building	(5) A landscape plan has been provided.	Yes.
(6) Deep soil zones should adjoin the deep soil zones of neighbouring properties where possible to provide for a greater contiguous area of deep soil and vegetation. Additionally, deep soil zones should be designed and located around the existing retained vegetation on site.	(6) A deep soil zone approximately 91m wide by 6-10m deep is provided to the north of the proposed development which is located between the proposed development and the Mary Mackillop building. In addition, a deep soil zone contained to the east of the proposed development (adjacent to units 75 / 76) forms part of the proposal, with an additional 20 Lilly Pilly's to be planted at this location.	Yes.
(1) A detailed Waste Management Plan (WMP) must be submitted for the ongoing use of the site. A WMP must outline the waste that will be generated from the site, how the development proposes to manage the waste on site and collection <ul style="list-style-type: none"> <li>a) The site plan and floor layout plans submitted with a development application must show:</li> <li>b) the location of waste service rooms, including chutes;</li> <li>c) the location of bin storage area/s;</li> <li>d) the location of bin holding area including stacked arrangements;</li> <li>e) the location of bulky waste holding area/s;</li> <li>f) all bins required by the development;</li> <li>g) an identified collection point for the collection and emptying of the waste; and</li> <li>h) the path of travel for moving bins from the storage area to the bin holding area (if collection is to occur away from the storage area). The path of travel must be free of steps and kerbs and provide a 1:30 gradient to ensure safe transfer of the bins from the storage area to the collection point.</li> </ul>	A WMP has been provided and has been reviewed by Council's Waste Strategy Team who support the proposed development subject to conditions of consent.	Yes.

(2) A swept path analysis must be prepared by a suitably qualified professional in accordance with AS2890.2. It must be demonstrated that a Heavy Rigid Vehicle: a. perform collections in a safe manner; b. can enter, manoeuvre and exit the site in a forward direction where onsite collection is proposed; and c. is provided with adequate height and width clearance to safely access the site where onsite collection is proposed.	This has been discussed above under section 2.18.2.	Yes.
(1) All development must provide onsite collection via a dedicated waste collection point (See Councils Waste Guideline for design requirements).	The proposed development will benefit from the existing waste collection service operated by the Seniors Living village. Waste is collected via golf buggies and then transported to a centralised waste collection point for collection via a privately engaged waste contractor. The proposed development provides adequate space / ventilation for waste storage until such time collection occurs. This area is contained so that it is out of sight from public view. The proposed development has been reviewed by Council's Waste Strategy Team who support the proposed development subject to conditions of consent.	Yes.
Bin Storage (1) Bin storage area/s must be provided within each development. Refer to Council's Waste Guidelines for design requirements.		
(2) Bulky waste storage area/s must be provided within each development (refer to Councils Waste Guideline for design requirements). Bulky waste storage area/s must: 6m <sup>2</sup> for every 20 units (maximum of 24 m <sup>2</sup> ).		
(4) Council will consider the provision of 240L recycling bins as an alternative to recycling chutes. 240L bins must be mechanically decanted into 660L or 1100L bins in all developments with more than 90 residential dwellings.		
(6) Residential waste and non-residential waste must be stored and managed separately and must be able to operate concurrently without conflict. Residential waste must comply with the provisions under this Section and non-residential waste must comply with the relevant provisions under Section 5.2 General Controls Applying to all Business Zones	The proposed waste storage area has been reviewed to the satisfaction of Council's Waste Team.	Yes.
(7) The owners' corporation must take responsibility for the management of waste and recyclable materials generated upon the site. An ongoing waste management plan must be submitted to demonstrate that there are suitable arrangements in place regarding the management, maintenance and cleaning of all waste/recycling management facilities.	Noted.	Yes.
4.9 Seniors Housing		
(1) Applications for seniors housing are to comply with the controls within Section 4.5 of this DCP for multi-dwelling housing or controls for residential flat buildings in Section 4.7, as appropriate to the proposed development	As above.	Yes.

Specific Numerical Controls.		
Section / Control	Assessment	Compliance?
Front Setback = 6m Secondary street setbacks = 6m Side setback = 3m Rear setback = 6m	The proposed development is located centrally within the site, adjoining two private roads and thereby satisfies the prescribed numeric controls. Consideration has also been given to the internal setback of the proposed building to existing structures and buildings. To this extent the development satisfies objective 3F-1 in the Apartment Design Guideline and complies in respect of separation distances. At the closest point, the building is located no less than 12m from the nearest structure/building and has a setback to Mackillop Circuit being 5.0m at its closest point.	Yes.
Balconies and other articulation may encroach into the front setback to a maximum of 4.5m from the boundary for the first 3 storeys, and for a maximum of 50% of the façade length.	As above.	Yes.



<b>Specific Numerical Controls.</b>		
<b>Section / Control</b>	<b>Assessment</b>	<b>Compliance?</b>
Site coverage = 50% of site area.	The site is 60.71Ha in size. The addition of the proposed building in combination with the existing structures located on the site is well below the maximum site coverage.	Yes.
Landscaped area = 30% of site area.	The addition of the proposed development in combination with the existing structures contained on the site, maintains a landscaped area in excess of 30%.	Yes.
Communal open space.	This control is overridden by clause 6A of SEPP 65.	Yes.
PPOS.	This control is overridden by clause 6A of SEPP 65.	Yes.
Maximum of two garage doors per 20m of lot frontage facing any one street frontage.	No garage doors are visible from the internal private road.	Yes.
Parking = Superseded by Senior SEPP.	This control is overridden by clause 108 of Part 5 of SEPP Housing 2021.	Yes.

ADG Assessment.		
Objective	Assessment	Achieved?
<b>3A-1 Site Analysis</b> Site analysis illustrates that design decisions have been based on opportunities and constraints of the site conditions and their relationship to the surrounding context.	Site analysis has been provided and demonstrates that the development sits appropriately within its site, local and broader context.	Yes.
<b>3B-1 Orientation</b> Building types and layouts respond to the streetscape and site whilst optimising solar access within the development.	The building footprint has considered the existing streetscape established by private roads (Mary Mackillop Circuit and Carrington Circuit). The footprint follows the alignment of the private road frontages that it is bound by. Informed by the alignments of the private roads, units and communal open space are orientated in a way that optimises solar access as best as practically possible.	Yes.
<b>3B-2 Orientation</b> Overshadowing of neighbouring properties is minimised during mid-winter.	Overshadowing to adjoining properties is minimised during mid-winter. Those units located south of the proposed development (units 63 to 74) are most affected. In this regard, the provided solar diagrams demonstrate that solar access to these units is retained between 9am-12pm before becoming partly overshadowed from 12pm onwards at mid-winter.	Yes.
<b>3C-1 Public Domain Interface</b> Transition between private and public domain is achieved without compromising safety and security.	A transition between private and the public domain is achieved primarily through internal footpaths and direct access to those units located at the ground floor. The arrangement instils the feeling of transitioning from a public space to a private space as they move closer toward the building.	Yes.
<b>3C-2 Public Domain Interface</b> Amenity of the public domain is retained and enhanced.	This has been considered in greater detail under SEPP Housing and Seniors Housing Guideline assessment table. The proposed development is considered to enhance the existing amenity.	Yes.
<b>3D-1 Communal and Public Open Space</b> An adequate area of communal open space is provided to enhance residential amenity and to provide opportunities for landscaping.	Landscaping is incorporated to all communal areas where practically possible. Internally, the building adopts raised planters which will facilitate growth shrubs and small trees. Within the immediate vicinity, the proposed development provides an embellished landscaped area consisting of meandering footpaths, seating, a vegetable garden and natural shading. The proposed development has provided a well landscaped communal open space that will enhance residential amenity.	Yes.
<b>3D-1 Communal and Public Open Space - Design Criteria</b> Communal open space has a minimum area equal to 25% of the site area.  Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of two hours between 9am and 3pm on 21 June (mid-winter).	The proposed development is located within an existing Seniors Living village which has a total lot size of 60.71ha. As such, the site area (whilst not strictly applied to other design criteria), is taken from the immediate surrounding area which has been extracted below being approximately 8,774m <sup>2</sup> . Based on this figure, the total communal open space area is 2,473m <sup>2</sup> . The development provides approximately 28% communal open space and is considered to provide sufficient communal open space directly accessible from the proposed development. Notably, this area is located north of the proposed development, and is bordered by a single storey building further north. The open space area will provide at least 50% direct sunlight to the communal open space between 9am and 3pm on June 21. 	Yes.
<b>3D-2 Communal and Public Open Space</b> Communal open space is designed to allow for a range of activities, respond to site conditions and be attractive and inviting.	The communal open space as described in objective 3D-1 above incorporates meandering footpaths, seating areas, a vegetable garden and natural shading. The communal open space enables a range of activities, is attractive, inviting and representative of the anticipated user.	Yes.
<b>3D-3 Communal and Public Open Space</b> Communal open space is designed to maximise safety.	Communal open space will be overlooked predominately by balconies, will be well lit and is in close proximity to the entry / exit to the apartment building.	Yes.
<b>3D-4 Communal and Public Open Space</b> Public open space, where provided, is responsive to the existing pattern and uses of the neighbourhood.	The proposed development is contained entirely within an existing Seniors Living village. No area of the proposed development will be directly open to the public.	Yes.

<p><b>3E-1 Deep Soil Zones</b> Deep soil zones provide areas on the site that allow for and support healthy plant and tree growth. They improve residential amenity and promote management of water and air quality.</p>	<p>Sufficient area and dimensions are provided to enable areas that can support healthy plant and tree growth.</p>	<p>Yes.</p>
<p><b>3E-1 Deep Soil Zones - Design Criteria</b> Deep soil zones are to meet the following minimum requirements:  <u>Site area &gt;1,500m<sup>2</sup> with significant existing tree cover</u>  Minimum dimensions of 6m and 7% of site area.</p>	<p>Site area &gt;1,500m<sup>2</sup>. Total deep soil landscaped zone with dimensions &gt;6m = 2,473m<sup>2</sup>. Total area of site that is deep soil with dimensions &gt;6m = 2473m<sup>2</sup>/8774m<sup>2</sup> = 28%.</p>	<p>Yes.</p>
<p><b>3F-1 Visual Privacy</b> Adequate building separation distances are shared equitably between neighbouring sites, to achieve reasonable levels of external and internal visual privacy.</p>	<p>Separation distances are considered in more detail under design criteria 3F-1 below.</p>	<p>Yes.</p>
<p><b>3F-1 Visual Privacy - Design Criteria</b> Separation distance between windows and balconies is provided to ensure visual privacy is achieved. Minimum requires separation distance from buildings to the side and rear boundaries are as follows:  <u>Buildings up to 4 storeys</u>  6m between habitable rooms and balconies, 3m between non-habitable rooms.  Separation distances between buildings on the same site should combine required building separations depending on the type of room.  Gallery access circulation should be treated as habitable space when measuring privacy separation distance between neighbouring properties</p>	<p>The proposed development is in proximity to an existing facility (Mary Mackillop Facility) which provides various levels of aged care. Also observed in the proximity to the proposed development exists several detached ILUs. All existing development described are located on the same lot of land. Separation distances have been considered in accordance with figures 3F.2, whereby habitable to habitable room separation distances are applied, that being a minimum of 12m.  These are provided in more detail below:  Between building and existing northern development (Mary Mackillop) at closest point being from unit GF-05, L1-05 and L2-05.  <ul style="list-style-type: none"> <li>• Lower Ground = NA.</li> <li>• Ground = 12m.</li> <li>• Level 1 = 12m.</li> <li>• Level 2 = 12m.</li> </ul>  Between building and closest point from unit LG-03, GF-11, L1-11, and upper outdoor dining area to north-eastern ILU 75.  <ul style="list-style-type: none"> <li>• Lower ground = 15.23m</li> <li>• Ground = 15.23m</li> <li>• Level 1 = 15.23m</li> <li>• Level 2 = 15.23m</li> </ul>  Between building and closest point from unit LG01, GF-13, L1-13 and upper indoor activity room to ILU 66, southern ILUs.  <ul style="list-style-type: none"> <li>• Lower ground = 15m</li> <li>• Ground = 15m</li> <li>• Level 1 = 15m</li> <li>• Level 2 = 15m</li> </ul>  There are no buildings within immediate proximity to the west.</p>	<p>Yes.</p>
<p><b>3F-2 Visual Privacy</b> Site and building design elements increase privacy without compromising access to light and air and balance outlook and views from habitable rooms and private open space.</p>	<p>Retractable louvers are proposed to all balconies. In addition, raised planter beds are provided to the upper outdoor dining area. The proposed visual privacy measures are satisfactory when considering the building exceeds the minimum required separation distances.</p>	<p>Yes</p>
<p><b>3G-1 Pedestrian Access and Entries</b> Building entries and pedestrian access connects to and addresses the public domain.</p>	<p>The development provides pedestrian entry from the existing (and to be upgraded) footpath along the southern frontage. This enables access to a small lobby area, lifts and four units. The main pedestrian entry is provided from the west via a crushed aggregate path which meanders through a green area to the main entry/exit that is signalled by a landscaped Arbor.</p>	<p>Yes.</p>
<p><b>3G-2 Pedestrian Access and Entries</b> Access, entries and pathways are accessible and easy to identify.</p>	<p>Pedestrian access is provided via the southern building elevation, which is separated from vehicle ingress / egress and clearly distinguished by a paved entry feature leading into the lobby. Additionally, pedestrian access is provided from Carrington Circuit, which follows a meandering pedestrian path which is clearly identifiable as an entry point through the use of a landscaped Arbor. As such, pedestrian access and entry to the proposed development is considered readily accessible and easy to identify.</p>	<p>Yes.</p>

<b>3H-1 Vehicle Access</b> Vehicle access points are designed and located to achieve safety, minimise conflicts between pedestrians and vehicles and create high quality streetscapes.	All vehicular access is proposed from the southern private road Mary Mackillop Circuit which demonstrates vehicles are able to safely navigate to and from car parking spaces without imposing safety concerns to pedestrians and other vehicles. The crossover has been split into two single lanes divided by a threshold treatment to soften overall hardstand area.	Yes.
<b>3J-1 Bicycle and Car Parking</b> Car parking is provided based on proximity to public transport in metropolitan Sydney and centres in regional areas.	This is discussed in detail below.	NA.
<b>3J-1 Bicycle and Car Parking - Design Criteria</b> For development in the following locations: <ul style="list-style-type: none"> <li>on sites that are within 800m of a railway station or light rail stop in the Sydney Metropolitan Area, or</li> <li>on land zoned, and sites within 400m of land zoned, B3 Commercial Core, B4 Mixed Use or equivalent in a nominated regional centre.</li> </ul> The minimum car parking requirement for residents and visitors is set out in the Guide to Traffic Generating Developments, or the car parking requirement prescribed by the relevant council, whichever is less. The car parking need for a development must be provided off-street.	The proposed development will benefit from alternative modes of transport. Carrington Care operates a bus service and the local busways operator services the property. The proposed development has been considered against the relevant parking provisions established within the Housing SEPP.	Yes.
<b>3J-2 Bicycle and Car Parking</b> Parking and facilities are provided for other modes of transport.	No bicycle parking is provided given the age of the anticipated residents commences at 60+ years. Residents of the facility will have the benefit to scooter parking provide in the undercroft area.  Design principle 6 from the Draft Seniors Housing Guidelines (2022) is applied in respect of this objective.	NA.
<b>3J-3 Bicycle and Car Parking</b> Car park design and access is safe and secure.	Car parking is provided within the building footprint. As the development is located centrally within an existing aged care village, access/exit to the car park is considered secure without requiring controlled access points. Supporting facilities are provided within the car park such as switch rooms, storage areas and car wash bays, all accessible without crossing car parking spaces.	Yes.
<b>3J-4 Bicycle and Car Parking</b> Visual and environmental impacts of underground car parking are minimised.	Existing natural topography is utilised to facilitate parking within and beneath the building envelope.	Yes
<b>4A-1 Solar and Daylight Access</b> To optimise the number of apartments receiving sunlight to habitable rooms, primary windows and private open space.	Habitable rooms, windows and private open space have been located so as to optimise the amount of sunlight received. Shadow diagrams have been provided together with solar compliance tables which are considered in more detail below.	Yes.
<b>4A-1 Solar and Daylight Access - Design Criteria</b> Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of two hours direct sunlight between 9am and 3pm at mid-winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas.  A maximum of 15% of apartments in a building receive no direct sunlight between 9am and 3pm at mid-winter.	Of the 36 units proposed, 24 receive at least 2 hours sunlight between 9am and 3pm at mid-winter. This equates to a total of 66.6% which does not strictly meet the design guidance criteria. Further, 6 of the 36 units will receive no direct sunlight between 9am and 3pm at mid-winter. This equates to a total of 16.6% which does not strictly meet the design guidance criteria. In consideration of this shortfall, where units face south, they are benefited by significant views to the onsite lake, tree backdrop and views to St Johns Church Spire. In combination together with the large amount of outdoor communal space, the proposed development provides sufficient areas to receive additional sunlight. Those units which are limited in terms of amount of sunlight received, are benefited by a better outlook from their unit.	No.
<b>4A-2 Solar and Daylight Access</b> Daylight access is maximised where sunlight is limited.	Daylight access is limited to those units predominately facing south. Where units face south and receive limited solar access, the use of skylights and reflective surfaces are incorporated where possible to maximise sunlight.	Yes.
<b>4A-3 Solar and Daylight Access</b> Design incorporates shading and glare control, particularly for warmer months.	The majority of balconies are provided with operable louvers that allow occupants to adjust and control the level of shading and access to sunlight. Large expanses of glass facing north from communal areas will receive some level of shading provided by the roof which extends out front the façade in key locations. Balconies located to ground, first and second floor contained to the south-western corner do not have the operable louvers, are shaded by the building.	Yes.
<b>4B-1 Natural Ventilation</b> All habitable rooms are naturally ventilated.	All rooms are naturally ventilated in that they have an openable doors and windows.	Yes.

<b>4B-2 Natural Ventilation</b> The layout and design of single aspect apartments maximises natural ventilation.	Natural ventilation to single aspect apartments has been maximised where possible primary through use of dual accessed balconies.	Yes
<b>4B-3 Natural Ventilation</b> The number of apartments with natural cross ventilation is maximized to create a comfortable indoor environment for residents.	It is noted that a portion of single aspect units face south and will not meet the design guidance criteria regarding cross-ventilation. This is discussed in detail below.	No.
<b>4B-3 Natural Ventilation - Design Criteria</b> At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be naturally ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed. Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line.	21 of the 36 units achieve cross ventilation. This equates to 58.3% which fails to meet the required 60%. The shortfall equates to less than one (1) unit and is considered insignificant.	No.
<b>4C-1 Ceiling Heights</b> Ceiling height achieves sufficient natural ventilation and daylight access.	The provided ceiling heights assist in achieving natural ventilation and access to sunlight.	Yes.
<b>4C-1 Ceiling Heights - Design Criteria</b> Measured from finished floor level to finished ceiling level, minimum ceiling heights are: <u>Habitable rooms</u> 2.7m. <u>Non-habitable rooms</u> 2.4m.	Section diagrams indicate that all habitable rooms will achieve a floor to ceiling height of 2.7m and 2.4m for non-habitable spaces such as the bathroom. There are no two-storey apartments proposed or attic spaces. The development is not shop-top housing or located within a mixed-use building.	Yes.
<b>4C-2 Ceiling Heights</b> Ceiling height increases the sense of space in apartments and provides for well-proportioned rooms.	The adopted ceiling heights assist in increased the sense of space.	Yes.
<b>4D-1 Apartment Size and Layout</b> The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity.	The layout of the rooms within the apartment is considered functional, well organised and provides a high level of amenity for the intended occupants. The proposed layout has been considered in more detail against the Draft Seniors Housing Guideline (2022) which provides further recommendations regarding the layout of each unit.	Yes.
<b>4D-1 Apartment Size and Layout - Design Criteria</b> Apartments are required to have the following minimum internal areas: <u>Studio</u> 35m <sup>2</sup> . <u>One bedroom</u> 50m <sup>2</sup> . <u>Two bedroom</u> 70m <sup>2</sup> . <u>Three bedroom</u> 90m <sup>2</sup> .  The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m <sup>2</sup> each.  A fourth bedroom and further additional bedrooms increase the minimum internal area by 12m <sup>2</sup> each.  Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.	The following internal areas are proposed: <ul style="list-style-type: none"><li>• Type 1A – 1 Bedroom = 56m<sup>2</sup></li><li>• Type 1B – 1 Bedroom = 58m<sup>2</sup></li><li>• Type 2A – 2 Bedroom (additional bathroom) = 84m<sup>2</sup></li><li>• Type 2B – 2 Bedroom (additional bathroom) = 80.1m<sup>2</sup></li><li>• Type 2C – 2 Bedroom (additional bathroom) = 87.3m<sup>2</sup></li><li>• Type 2D – 2 Bedroom and Study (additional bathroom) = 92m<sup>2</sup></li><li>• Type 3A – 3 Bedroom (additional bathroom) = 127m<sup>2</sup></li></ul> The proposed development exceeds all of the minimum internal areas required for each type of apartment size and provides an addition 5m <sup>2</sup> to the minimum internal area where an additional bathroom is proposed with a window to every habitable room.	Yes.
<b>4D-2 Apartment Size and Layout</b> Environmental performance of the apartment is maximized.	The layout of each apartment assists in maximising environmental performance.	Yes.
<b>4D-2 Apartment Size and Layout - Design Criteria</b>	The proposed habitable room ceiling heights are 2.7m. 2.5m x 2.7m = 6.75m maximum permitted habitable room depth. All habitable rooms	No.

Habitable room depths are limited to a maximum of 2.5 x the ceiling height.  In open plan layout (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window.	are less than 6.75m in depth. The proposed development generally complies with the open plan layout, with the exception to unit types 1B and 2D. In this regard, design principle 6 from the Draft Seniors Housing Guidelines (2022) is applied in respect of this objective.	
<b>4D-3 Apartment Size and Layout</b> Apartment layouts are designed to accommodate a variety of household activities and needs.	The layouts of each unit will accommodate the specific needs of the intended occupants, that being a form of Seniors Housing.	Yes.
<b>4D-3 Apartment Size and Layout - Design Criteria</b> Master bedrooms have a minimum area of 10m <sup>2</sup> and other bedrooms 9m <sup>2</sup> (excluding wardrobe space).  Bedrooms have a minimum dimension of 3m (excluding wardrobe space).  Living rooms or combined living/dining rooms have a minimum width of:  <u>One bedroom apartments</u>  3.6m.  <u>Two or three bedroom apartments</u>  4m.  The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts.	All master bedrooms exceed 10m <sup>2</sup> , with other bedrooms exceeding 9m <sup>2</sup> . The smallest master bedroom proposed is approximately 12m <sup>2</sup> with the smallest standard bedroom being approximately 10m <sup>2</sup> .  The combined living / dining rooms for one bedroom apartments have a width equal to or greater than 3.6m for one bedroom apartments. Two and three bedroom apartments do not strictly meet the minimum required width of 4.0m, generally observed at 3.5m in width. The layouts of each unit will accommodate the specific needs of the intended occupants, that being a form of Seniors Housing. In this regard, design principle 6 from the Draft Seniors Housing Guidelines (2022) is applied in respect of this objective.	No.
<b>4E-1 Private Open Space and Balconies</b> Apartments provide appropriately sized private open space and balconies to enhance residential amenity.	Balconies are provided to each unit which are appropriately sized as described below.	Yes.
<b>4E-1 Private Open Space and Balconies - Design Criteria</b> All apartments are required to have primary balconies as follows:  <u>Studio apartments</u> 4m <sup>2</sup> .  <u>One bedroom apartments</u> 8m <sup>2</sup> with a minimum depth of 2m.  <u>Two bedroom apartments</u> 10m <sup>2</sup> with a minimum depth of 2m.  <u>Three+ bedroom apartments</u> 12m <sup>2</sup> with a minimum depth of 2.4m.  For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m <sup>2</sup> and a minimum depth of 3m.	The following balcony areas are proposed with depths >2.0m or 2.4m for units with 3 or more bedrooms.  <ul style="list-style-type: none"> <li>• Type 1A – 1 Bedroom = 11m<sup>2</sup></li> <li>• Type 1B – 1 Bedroom = 8.8m<sup>2</sup></li> <li>• Type 2A – 2 Bedroom = 11.3m<sup>2</sup></li> <li>• Type 2B – 2 Bedroom (excluding second balcony) = 11.9m<sup>2</sup></li> <li>• Type 2C – 2 Bedroom (excluding second balcony) = 15.1m<sup>2</sup></li> <li>• Type 2D – 2 Bedroom and Study (excluding second balcony) = 15.6m<sup>2</sup></li> <li>• Type 3A – 3 Bedroom (additional bathroom) = 21m<sup>2</sup></li> </ul> Units GF-09 – GF-10 provide more than 15m <sup>2</sup> of POS but do not strictly provide at least 3m dimensions to the POS. The proposed development benefits from large areas of open outdoor space. In this regard, it is considered that access to a considerable outdoor space area offsets the minor dimension shortfall to private open space area.	Yes.
<b>4E-2 Private Open Space and Balconies - Design Criteria</b> Primary private open space and balconies are appropriately located to enhance liveability for residents	PPOS and balconies are located in a way that compliments the floor layout of each unit in a way that enhances the liveability for the residents.	Yes.
<b>4E-3 Private Open Space and Balconies - Design Criteria</b> Private open space and balcony design is integrated into and contributes to the overall architectural form and detail of the building.	Retractable floor to ceiling louvred screens are proposed to each balcony which when viewed from the outside elevations, displays a perforated pattern reflective of the existing landscaped 'woodland' on site. The screens are considered to be a complementary architectural element whilst enabling future residents to have privacy should they wish.	Yes.
<b>4E-4 Private Open Space and Balconies - Design Criteria</b>	The balcony design does not create any area that would result in climbing or falling to occur.	Yes.

Private open space and balcony design maximises safety		
<b>4F-1 - Common Circulation and Spaces - Design Criteria</b> Maximum number of apartments off a circulation core on a single level is eight.	The maximum number of apartments off a circulation core proposed is 8.	Yes.
<b>4F-1 - Common Circulation and Spaces.</b> Common circulation spaces achieve good amenity and properly service the number of apartments	Corridors are generally treated with lobby areas that provide seating and outlooks via windows and voids.	Yes.
<b>4F-2 - Common Circulation and Spaces.</b> Common circulation spaces promote safety and provide for social interaction between residents	As described above, seating areas in the hallways provides opportunities for social interaction between residents.	Yes.
<b>4G - Storage - Design Criteria</b> In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided: 1 bed = 6m3 2 bed = 8m3 3 bed = 10m3 At least 50% of the requirement storage is to be located within the apartment.	Storage lockers are provided within the at-grade car park, assigned to the associated carparking space. It is understood that not all units are provided with a storage locker in the at-grade car park. In consideration of the demographic occupying each unit, not all will require a designated storage space. It is acknowledged that this would be a preference that prospective buyers would consider. As such, design principle 6 from the Draft Seniors Housing Guidelines (2022) is applied in respect of this objective.	No.
<b>4G-1 - Storage</b> Adequate, well designed storage is provided in each apartment	As above.	No.
<b>4G-2 - Storage</b> Additional storage is conveniently located, accessible and nominated for individual apartments	As above.	No.
<b>4H-1 - Acoustic Privacy</b> Noise transfer is minimised through the siting of buildings and building layout	The proposed development is located central to the existing site away from noise sources beyond the lot. Additionally, there are no noise sources nearby that would be transferred throughout the building. The layout is considered to be appropriate with regard to affording acoustic privacy.	Yes.
<b>4H-2 - Acoustic Privacy</b> Noise impacts are mitigated within apartments through layout and acoustic treatments	As described above.	Yes.
<b>4J-1 - Noise and Pollution</b> In noisy or hostile environments the impacts of external noise and pollution are minimised through the careful siting and layout of buildings	As described by objective 4H-1 above.	Yes.
<b>4K-1 - Apartment Mix</b> A range of apartment types and sizes is provided to cater for different household types now and into the future	A variety of apartment types and sizes are provided for the intended demographic being seniors living, consisting of one, two and three bedroom units, including two bedroom units with a study.	Yes.
<b>4K-2 - Apartment Mix</b> The apartment mix is distributed to suitable locations within the building	The types, sizes and layouts of each unit is distributed through the apartment which assists in providing articulation and variation to the facades.	Yes.
<b>4L-1 - Ground Floor Apartments</b> Street frontage activity is maximised where ground floor apartments are located	All ground floor apartments are provided with separate direct access.	Yes.
<b>4L-2 - Ground Floor Apartments</b> Design of ground floor apartments delivers amenity and safety for residents	Apartments contained on the ground floor with direct access are provided with gardens and raised balustrades which signify a private space without obstructing casual surveillance.	Yes.
<b>4M-1 - Facades</b> Building facades provide visual interest along the street while respecting the character of the local area	The facades of the proposed development adopt various projecting and recessing architectural elements together with a variety of colours and materials. References to the local landscaped area has been integrated within the overall design through perforated balcony screens.	Yes.
<b>4M-2 - Facades</b> Building functions are expressed by the facade	Through changes in height, setbacks, paving and landscaping, functions such as entries / exits and prominent corners are emphasised.	Yes.
<b>4N-1 - Roof Design</b> Roof treatments are integrated into the building design and positively respond to the street.	Variations in height, shape and treatments to the roof enable the proposed development to positively respond to its private road frontages.	Yes.

<b>4N-2 – Roof Design</b> Opportunities to use roof space for residential accommodation and open space are maximised	A communal open space area is provided to the upper outdoor area.	Yes.
<b>4N-3 – Roof Design</b> Roof design incorporates sustainability features	The roof design incorporates voids that allows sunlight to protrude through to lower levels. In addition, the roof accommodates skylights that are north facing, providing those units south facing with access to sunlight. The proposed roof form is considered to incorporate features and elements that promotes sustainability.	Yes.
<b>4O-1 – Landscape Design</b> Landscape design is viable and sustainable	A variety of plant species are proposed and located throughout the proposed development.	Yes.
<b>4O-2 – Landscape Design</b> Landscape design contributes to the streetscape and amenity	The plant species proposed are reflective of the region and local ecology.	Yes.
<b>4P-1 – Planting on Structures</b> Appropriate soil profiles are provided	The site will benefit from the existing soil profiles.	Yes.
<b>4P-2 – Planting on Structures</b> Plant growth is optimised with appropriate selection and maintenance	The plant species selected are appropriate to the climate and conditions of the area.	Yes.
<b>4P-3 – Planting on Structures</b> Planting on structures contributes to the quality and amenity of communal and public open spaces	Planter boxes and raised garden beds are incorporated throughout the proposed development, particularly to the upper outdoor dining area and along the frontage of ground floor units. The building design has made provision for planting within the development.	Yes.
<b>4U-1 – Energy Efficiency</b> Development incorporates passive environmental design	Consideration has been given to passive environmental design through maximising natural light to habitable rooms. There will be opportunities to partially screen balconies for clothes drying if required.	Yes.
<b>4U-2 – Energy Efficiency</b> Development incorporates passive solar design to optimise heat storage in winter and reduce heat transfer in summer	Colours and materials used are of a higher reflectivity and lower solar absorptance which will assist in managing internal and external atmospheric conditions.	Yes.
<b>4U-3 – Energy Efficiency</b> Adequate natural ventilation minimises the need for mechanical ventilation	Rooms are naturally ventilated where practically possible as discussed by objective 4B-3 above.	Yes.
<b>4V-1 – Water Management and Conservation</b> Potable water use is minimised	Portable water will be minimised where possible. The proposed development is accompanied with a BASIX certificate which will ensure adequate water arrangements are in place to minimise potable water use.	Yes.
<b>4V-2 – Water Management and Conservation</b> Urban stormwater is treated on site before being discharged to receiving waters	Engineering details have been provided demonstrating the proposed development will treat stormwater and runoff in accordance with the Camden DCP 2019 and Camden Councils Engineering Design Specifications.	Yes.
<b>4V-3 – Water Management and Conservation</b> Flood management systems are integrated into site design	The proposed development is not flood affected.	Yes.
<b>4W-1 – Waste Management</b> Waste storage facilities are designed to minimise impacts on the streetscape, building entry and amenity of residents	The proposed development will benefit from the existing waste collection service operated by the Seniors Living village. The proposed development provides adequate space / ventilation for waste storage until such time collection occurs. This area is contained so that it is out of sight from public view.	Yes.
<b>4W-2 – Waste Management</b> Domestic waste is minimised by providing safe and convenient source separation and recycling	Each unit will have sufficient space to temporarily store waste.	Yes.
<b>4X-1 – Building Maintenance</b> Building design detail provides protection from weathering	The design incorporates roof overhangs of which will assist in protecting walls in the event of a common weather event.	Yes.
<b>4X-2 – Building Maintenance</b> Systems and access enable ease of maintenance	Maintenance systems are readily and easily accessible via the at-grade carpark. The development enables practical access to areas for general maintenance without requiring significant equipment such as a crane or excessively high scaffolding to carry those general maintenance works out.	Yes.
<b>4X-3 – Building Maintenance</b> Material selection reduces ongoing maintenance costs	Materials are durable and can be observed in similar existing developments on the site.	Yes.



DRAFT Seniors Housing Guidelines (November 2022)		
Clause	Assessment	Compliance?
<b>Design Principle 01 – Care for the planet</b>		
Design Guidance 1.1.5 – 1.5.5.	<p>The proposed development is consistent with the listed design guidance measures as follows:</p> <ul style="list-style-type: none"> <li>Development is accompanied by a BASIX certificate and seeks to implement technologies and systems such as skylights, solar panels and shading devices that will reduce the overall demand and cost of energy.</li> <li>Existing on-site vegetation is retained where possible. In addition, significant replanting of groundcovers, shrubs and trees are proposed at a rate far higher than currently existing.</li> <li>Development incorporates lighter colours with a lower solar absorptance which will assist in creating a cooler controlled microclimate.</li> </ul>	Yes.
<b>Design Principle 02 – Site-analysis environmental response.</b>		
2.1.6 – 2.1.10	<p>The proposed development is consistent with the listed design guidance measures as follows:</p> <ul style="list-style-type: none"> <li>Relevant technical consultant reports have been prepared and submitted with the proposal which informed the initial design of the development.</li> <li>Site analysis prior to design of the development has enabled it to properly and fully respond to environmental constraints, e.g. bushfire, including those arising from the proposed development such as stormwater management.</li> </ul>	Yes.
<b>Design Principle 03 – Site-analysis urban response</b>		
3.1.2 – 3.9.7	<p>The proposed development is consistent with the listed design guidance measures as follows:</p> <ul style="list-style-type: none"> <li>Sets a precedent to which will further guide development across the site.</li> <li>Acknowledges the existing setbacks and private streetscape patterns which has enabled the development to minimise overlooking and overshadowing to adjoining ILUs.</li> <li>Incorporates screen planting between the development and nearby detached ILUs.</li> <li>Articulated roof which incorporates and screens service equipment.</li> <li>Recessed upper outdoor dining area which incorporates a raised 1.2m planter box that obscures views toward nearby ILUs.</li> <li>Clear, delineated safe and separate entry for both pedestrians and vehicles.</li> <li>Heritage impact statement which has demonstrated the proposed development is not located in any significant view line.</li> </ul>	Yes.
<b>Design Principle 04 – Care, wellbeing and community.</b>		
4.1.6 – 4.5.8	<p>The proposed development is consistent with the listed design guidance measures as follows:</p> <ul style="list-style-type: none"> <li>Units are provided with sufficient opportunities to access sunlight and fresh air through private courtyards, balconies and communal outdoor areas both within and outside the development.</li> <li>The design and layout promotes opportunities for gathering and informal conversations.</li> <li>Variety of ancillary functions are incorporated into the building such as a library and hair salon.</li> <li>Pathways and wayfinding throughout the development encourages interactions with the outdoor environment, particularly the embellished area north of the development.</li> </ul>	Yes.
<b>Design Principle 05 – Design for physical ageing and dementia.</b>		

5.1.2 – 5.3.8	<p>The proposed development is consistent with the listed design guidance measures as follows:</p> <ul style="list-style-type: none"> <li>• Provides sufficient circulation spaces as demonstrated on the architectural plans.</li> <li>• Does not present institutionalised rather, exhibits characteristics similar to that of a normal apartment unit.</li> <li>• Wayfinding, communal areas and open spaces creates an environment that is easy to navigate.</li> </ul>	Yes.
<b>Design Principle 06 – All seniors housing.</b>		
3.1.2 – 3.7.5	<p>The proposed development is consistent with the listed design guidance measures as follows:</p> <ul style="list-style-type: none"> <li>• Development is of a standard and quality that will inspire staff and carers to work where they do.</li> <li>• Recessing, projecting and modulated building elevations coupled with the proposed setbacks gives balance to the soft landscaped areas that are able to be utilised by residents, staff and guests.</li> </ul>	Yes.
<b>Design Principle 06 – Independent Living Units.</b>		
6.1.1 – 6.4.3 and 6.12.1 – 6.19.1.	<p>The proposed development is consistent with the listed design guidance measures as follows:</p> <ul style="list-style-type: none"> <li>• The development has been considered against SEPP 65 and ADG.</li> <li>• A prominent drop-off and pick-up area is provided to the southern building elevation fronting Mary Mackillop Circuit.</li> <li>• An entry lobby is proposed which contains a reception and concierge desk.</li> <li>• Parking has been designed to meet the current and future needs of residents with regard to accessibility requirements and electric vehicles.</li> <li>• The ILUs are organised and arranged at each level with clear sightlines and sufficient corridor lengths to and from the lift cores.</li> <li>• The layout of units aligns with the recommended layout from figure 6.17B – 617.D for that of a single, double and triple bedroom unit.</li> <li>• Significant opportunities for both private activities and social gathering / places for informal conversations such as within corridors or areas that are not typically activated.</li> <li>• Use of northern orientation is maximised where possible. Those units facing south are afforded with prominent views across the floodplain toward the Camden Town Centre.</li> </ul>	Yes.

Seniors Living Policy – Urban Design Guidelines for Infill Development (2004) Rules of Thumb		
Clause	Assessment	Compliance?
<b>Site Planning and Design.</b>		
Proportion of the site given to landscaped area and deep soil should be increased in less urban areas, on large lots, and in areas already characterised by a high portion of open space and planting.	Existing vegetation is retained where possible. The proposed development will result in an increase of groundcovers, shrubs and trees than currently existing. As such the quality of landscaped areas is increased to a higher standard than currently existing as a result of the proposed development.	Yes.
<b>Impacts on the Streetscape.</b>		
Response to Council planning instruments that specify the character or desired character for the area.	The Camden DCP 2019 does not specify a character of desired future character for this site.	Yes.
Where there is a consistent front building alignment, new development should not encroach on the front setback.	The development adopts a varying 3.6m–13m setback to Mackillop Circuit which is generally consistent with the established front setback along Mackillop Circuit, varying 3.0m–10m.	Yes.
Driveways or basement car park entries should not exceed 25% of the site coverage.	Entry to car park = 7.5m in width. The width of the car park entry is not greater than 25% of the site coverage.	Yes.
Garage doors should be set back a minimum of 1m behind the predominant building façade on both the street frontage and common driveways.	There are no garage doors.	Yes.
<b>Impacts on the Neighbours.</b>		
Where side setbacks are less than 1.2m, a maximum of 50% of the development should be built to this alignment.	Side setbacks are not less than 1.2m.	Yes.
The length of unrelieved walls along narrow side or rear setbacks should not exceed 8m.	Projecting and recessing architectural elements, balconies and variations in building materials and colours occur to all facades which reduce unrelieved walls.	Yes.
Living rooms of neighbouring dwellings should receive a minimum 3 hours direct sunlight between 9-3 in mid-winter neighbouring dwellings.	Overshadowing will occur to those units located south of the proposed development (units 63 to 74) The provided solar diagrams demonstrate that solar access to these units is retained between 9am-12pm before becoming partly overshadowed from 12pm onwards at mid-winter.	Yes.
Solar access to PPOS of neighbouring dwellings should not be reduced.		Yes.
<b>Internal Site Amenity.</b>		
Separation of 1.2m should be achieved between habitable rooms and driveway or car parks of other dwellings.	The proposed development does not involve detached ILUs. As such, 1.2m separation between habitable rooms and driveway / car parks is achieved.	Yes.

---

**Written Request under Clause 4.6 Exceptions to Development Standards of Camden Local Environmental Plan 2010**

**Lot 10 DP 845472, 90 Werombi Road, GRASMERE**



---

**Prepared For:**



**Prepared By**



**October 2023**

---

**Post:** PO Box 295, CAMDEN NSW 2570 • **Ph:** 02 4648 0877 • **Mob:** 0418 620 718  
**Email:** michael@michaelbrown.com.au • **Web:** www.michaelbrown.com.au

## Table of Contents

<b>1. INTRODUCTION .....</b>	<b>3</b>
FIGURE 1 – SITE CONTEXT .....	4
FIGURE 2 – SIDE ELEVATIONS .....	5
FIGURE 3 – EXTRACT FROM ZONE MAP .....	6
1.1 SUBJECT PROPOSAL .....	9
1.2 STATUTORY OBLIGATIONS OF THE APPLICANT AND COUNCIL .....	10
1.3 DEVELOPMENT STANDARD TO BE VARIED .....	12
FIGURE 4 – EXTRACT OF HEIGHTS OF BUILDINGS MAP .....	12
FIGURE 5 – HEIGHT BLANKET .....	14
<b>2 EXCEPTION TO DEVELOPMENT STANDARDS – CLAUSE 4.6 .....</b>	<b>14</b>
2.1 CLAUSE 4.6(4)(A)(I) - ADEQUATE ADDRESS OF MATTERS UNDER CL 4.6(3) .....	14
TABLE 1 – COMPLIANCE TABLE .....	16
FIGURE 6 – LOCATION OF HERITAGE PROPERTIES .....	21
2.2 CONCLUSION .....	24
<b>3 OBJECTIVES OF THE ZONE .....</b>	<b>24</b>
<b>4 SUFFICIENT ENVIRONMENTAL PLANNING GROUNDS .....</b>	<b>25</b>
4.1 SUMMARY .....	28

## 1. Introduction

This clause 4.6 written variation request has been prepared by Michael Brown Planning Strategies Pty Ltd on behalf of Carrington Centennial Care. It is submitted to Camden Council (the Council) in support of a development application for the demolition of the existing dwellings and construction of a senior's housing development known as the "Woodland Assisted Living Apartments" at No 90 Werombi Road, GRASMERE (refer to **Figure 1** for site context). The subject building is four (4) storey high, with an undercroft carparking area. There is a significant level change between the lower ground floor undercroft area and the ground floor area (main entrance).

We note that on 15 September 2023 changes were made to the way Clause 4.6 written request to vary a development standard; namely:

- The consent authority must now be positively satisfied that the applicant has demonstrated that compliance is unreasonable or unnecessary and that there are sufficient environmental planning grounds, rather than being satisfied that the written request demonstrates such matters;
- There is now no requirement for the consent authority to be satisfied that the proposed development will be in the public interest because it is consistent with the objectives of the relevant standard and zone; and
- There is no longer any requirement to obtain the Secretary's concurrence.

This clause 4.6 written request was lodged before the amendments and therefore should be assessed on the basis of the requirements at that time. Notwithstanding, It is considered that the clause 4.6 is consistent with dot points 1 and 2 and 3 has no effect.

The proposal seeks a variation to the maximum building height limit. In brief, the proposal involves part of the roof of the building exceeding the 9.5m (proposed 16.2m above natural lower ground - worst-case scenario and 12.5m for the ground floor section) building height control under Clause 4.3(2) of *Camden Local Environmental Plan 2010* ("CLEP 2010").

Refer to **Figures 2 & 5** for details and Sheets DA-201 to DA-304 and Sheet DA-855 of **Appendix A**.

FIGURE 1 - SITE CONTEXT



As would be noted from the submitted plans, there is considerable fall across the subject property as detailed on **Appendices A & B**.

It would be noted that under the Heights of Building Map under Clause 4.3 of *Camden Local Environmental Plan 2010 (CLEP)* that the maximum height control for the site is 9.5m, as shown on **Figure 3** with the dwelling exceeding the height control at 16.2m (worse-case scenario - **Figure 2**). The site is zoned R5 Large Lot Residential and the proposed development is permissible with development consent, as addressed in Section 5.7 of the Statement of Environmental Effects prepared by this firm.

The height of the roof varies depending on existing ground levels. However, ground levels change from different points and therefore the exceedance varies depending on where the measurement is taken from (refer to Sheets DA-201 to DA-304 and Sheet DA-855 & DA-857) of **Appendix A** for details). Notwithstanding, the roof of the building exceeds the height control of Cl4.3(2) of CLEP 2010 by 6.4m.

It would be noted from the plans that there are abrupt gradient changes across through the development site from the ground level to the lower ground level will be variations in heights, as a result of the lower level being excavated and a series of retaining walls constructed that also vary in height.

The design has achieved the best outcome bearing in mind these variations and existing excavation of the property. This has necessitated the submission of this Clause 4.6 written request.

The exceedance is calculated at 71.56% (greater than 10%) and we note that the application will be determined by the Council Local Planning Panel.

FIGURE 2 - SECTION ELEVATIONS

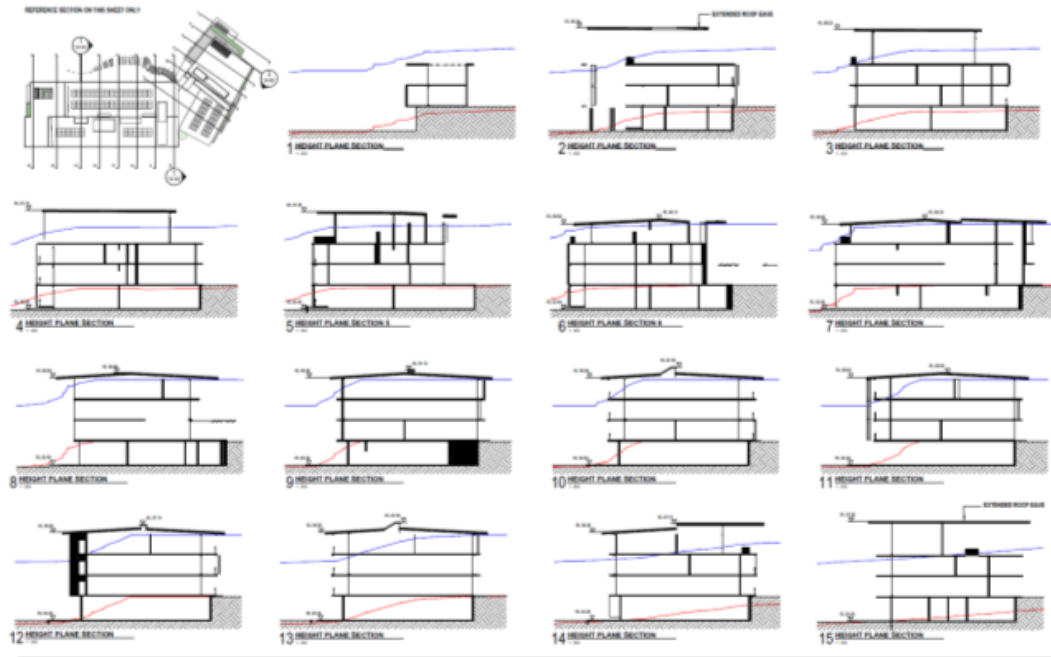
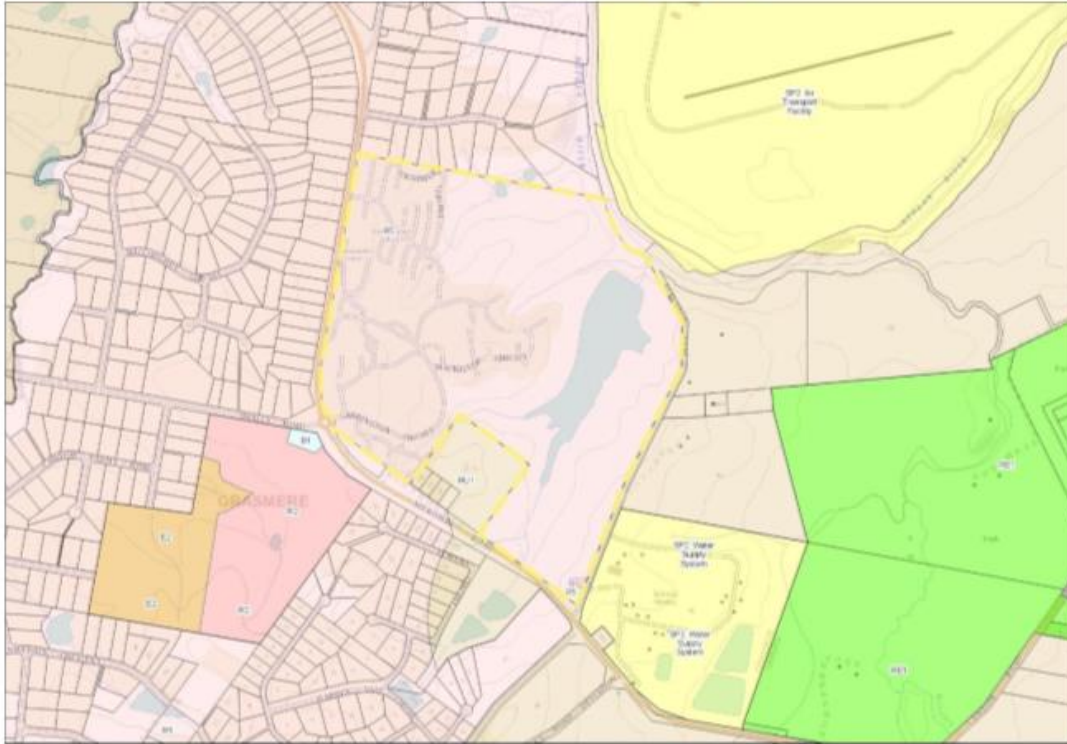




FIGURE 3 – EXTRACT FROM ZONE MAP



The clause aims to provide an appropriate degree of flexibility in applying certain development standards to achieve better outcomes for and from development proposals.

Clause 4.6 (3) and (4)(a)(ii) requires the consent authority to consider a written request from the applicant that seeks to justify the contravention of the development standard. Clause 4.6(4)(a) states that development consent must not be granted for development that contravenes a development standard unless the consent authority is satisfied:

- (i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and
- (ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.

The consent authority's satisfaction in respect of those matters must be informed by the objectives of clause 4.6, which are to provide an appropriate degree of flexibility in the application of the relevant controls and to achieve better outcomes for and from the development in question by allowing flexibility in particular circumstances.

The Land and Environment Court has established a set of factors to guide assessment of whether a variation to development standards should be approved. The original approach was set out in the judgment of Justice Lloyd in *Winten Property Group Ltd v North Sydney Council* [2001] 130 LGERA 79 at 89 in relation to variations lodged under State Environmental Planning Policy 1 – Development Standards (SEPP 1).

This approach was later rephrased by Chief Justice Preston, in the decision of *Wehbe v Pittwater Council* [2007] NSWLEC 827 (*Wehbe*). While these cases referred to the former SEPP 1, the analysis remains relevant to the application of clause 4.6(3)(a). Further guidance on clause 4.6 of the Standard Instrument has been provided by the Land and Environment Court in a number of decisions, including:

- *Initial Action Pty Ltd v Woollahra Municipal Council* [2018] NSWLEC 118.
- *Turland v Wingecarribee Shire Council* [2018] NSWLEC 1511.
- *Bettar v Council of the City of Sydney* (2014) NSWLEC 1070 at 39-41.
- *Four2Five Pty Ltd v Ashfield Council* [2010] NSWLEC 1009.
- *Micaul Holdings Pty Limited v Randwick City Council* [2010] NSWLEC 1386.
- *Moskovich v Waverley Council* [2016] NSWLEC 1015.
- *Rihani V Waverley Council* (2022) NSWLEC 1292.

Notwithstanding, of relevance to the subject application is a recent Land & Environment Court decision in the matter of how the Court adopts a new way of measuring building height on brownfield sites.

Under the Bettar approach, where there is a basement in an existing building, the 'existing ground level' needed to be inferred from co-ordinates on the edge of a footprint of the basement of the existing building (rather than the excavated ground level that sits under the basement). The existing ground level could only be extrapolated in this way where there is no existing ground level due to the existence of the basement.

Where the ground level was to be inferred, it was to be shown as a plane drawn from the existing ground level at the key points marking the edge of the portion of the site which is said to have no ground level (i.e. the portion occupied by a building with a basement) – refer to Sheets DA-201 to DA-304 and Sheet DA-855.

The methodology in Bettar has, until now, been routinely accepted as appropriate when calculating building height on a site occupied by an existing building that has been excavated into the ground. Note there are existing dwellings at the ground level and retaining walls on the lower level on site that will be demolished, which result in the height variations from one level to the next. It is also noted that Clause 5.6 of CLEP 2010 provides for architectural roof features. The clause objectives are:

- (a) to provide flexibility in building height limits where architectural roof features result in minor encroachments.

This is consistent with Clause 4.6 in providing flexibility that involve roof features encroaching into the height control. Subclauses (2) and (3) provide:

- (2) Development that includes an architectural roof feature that exceeds, or causes a building to exceed, the height limits set by clause 4.3 may be carried out, but only with development consent.
- (3) Development consent must not be granted to any such development unless the consent authority is satisfied that –
  - (a) the architectural roof feature –
    - (i) comprises a decorative element on the uppermost portion of a building, and
    - (ii) is not an advertising structure, and

- (iii) does not include floor space area and is not reasonably capable of modification to include floor space area, and
- (iv) will cause minimal overshadowing, and
- (b) any building identification signage or equipment for servicing the building (such as plant, lift motor rooms, fire stairs and the like) contained in or supported by the roof feature is fully integrated into the design of the roof feature.

This application seeks a variation to the height consent and it would be noted that the roof is an architectural feature, is not an advertising sign, will cause minimal overshadowing (refer to Section 6.3.5 of the SoEE prepared by this firm), and the plant room is integrated with the design of the building.

Notwithstanding, the level from existing ground level to the roof, the building exceeds the height control, as shown by the red line on the elevation plans at **Figure 2**; whilst the orange line shows the existing levels as a result of previous excavation works and the blue line the 9.5m height control.

### The revised approach

In August 2021, the Court decided not to apply *Bettar* in a particular case (*Cadele Investments Pty Ltd v Randwick City Council* [2021] NSWLEC 1484 at [90]-[91]). This decision in *Merman* more squarely deals with the issue.

The decision in *Merman* was handed down by the same commissioner of the Court who made the *Bettar* decision (Commissioner O'Neill).

In *Merman* the maximum height of building was 10.5m. The Double Bay site sloped steeply from the rear – with an overall fall of around 24m. On the site there was an existing residential flat building – which was proposed to be demolished and replaced.

A portion of the site was excavated for the construction of the existing building and the ground level was lowered by the excavation within the footprint of the existing building. The proposed development was greater than 10.5m above the excavated ground level within the footprint of the existing building, as is the case with the subject application as depicted by the coloured lines. If the excavated ground level was used as the reference point for the 10.5m height limit, there would be a dip in that plane that does not reflect in the overall topography of the hill.

The proponent said that the proposal was compliant with the maximum building height when the existing ground level on the site – outside of the footprint of the existing building – is used to determine the maximum building height plane.

The Court did not apply the *Bettar* decision and instead said (at [73]) that:

- the existing level of the site at a point **beneath** the existing building is the level of the land at that point; and
- the 'ground level (existing)' within the footprint of the **existing** building is the existing excavated ground level on the site.

As a result, the Court said that the proposed new building exceeded the maximum building height standard where the vertical distance is greater than 10.5m – measured from the **excavated** ground level (within the footprint of the existing building) to the highest point of the proposal directly above.

The Court accepted (at [74]) that there is an ‘environmental planning ground’ that may justify the contravention of the height standard under ‘clause 4.6’ when the prior excavation of the site (within the footprint of the existing building) distorts the maximum building height plane.

The clause 4.6 request was upheld and development consent was granted. It would be noted that in this subject case, ground levels around the existing dwellings have been altered and effectively distort the natural ground levels by the retaining walls effectively providing a flat surface and the roadway at the lower level having different levels.

#### **Applying the height control on brownfield sites going forward**

This new decision represents a significant break from the established Bettar approach. The Court did not explain why the Bettar approach was not followed. It is possible that the Court considered that Bettar did not apply because, in Bettar, there was a distinct ‘basement’.

A ‘basement’ is defined as ‘the space of a building where the floor level of that space is predominantly below ground level (existing)’. This definition was one of the reasons advanced to support the original Bettar decision.

The existing floor levels excavated into the hillside in Merman did not have precisely the same characteristics as the basement in Bettar. However – if this was the basis for distinguishing the development in Merman from that in Bettar – it does create some uncertainty (about when to apply the differing approaches).

#### **1.1 SUBJECT PROPOSAL**

In accordance with CLEP 2010 requirements, this Clause 4.6 request provides sufficient justification to vary the standard in that:

- It establishes that compliance with the development standard is unreasonable or unnecessary in the circumstances of this particular case.
- Demonstrates there are sufficient environmental planning grounds to justify contravention.
- Demonstrates that the proposed variation is in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.

This cl4.6 written variation request demonstrates that compliance with the maximum height development standard is unreasonable and unnecessary in the circumstances of the case and that there are sufficient environmental planning grounds to justify contravention of the standard and that proposal is in the public interest.

This clause 4.6 variation request demonstrates that:

- There are sufficient environmental grounds to justify the contravention. The proposed height variation does not generate any unacceptable environmental impacts in respect of overshadowing and will not impact on any significant view lines and vistas from the public domain or from adjoining heritage buildings. In this regard, Extent has undertaken a statement of heritage impact at **Appendix M** and summarised in Section 2.1. It would also be noted that levels across the development site are variable adding to the complexity of designing a development to meet these controls, with the ground level (main entrance) at a higher elevation due to the existing retaining walls. Some parts of the retaining walls are higher than other parts adding to the complexity of the site constraints.
- There are site specific environmental grounds which justify the breach, in particular the requirement to have regard to the existing ground levels and the existing timber retaining walls.
- Notwithstanding the proposed height variation, the proposed development remains consistent with the objectives of the height standard and the R5 Large Lot Residential zone (refer to **Figure 3** for extract from the zone map under CLEP 2010).
- The proposed height variation will not be perceivable from the public domain and as such the proposed development will have an appropriate impact, in terms of its scale, form and massing and will not have a significant impact on existing dwellings to the south, which have been “earmarked” for redevelopment on the staging plan at DA-012 of **Appendix A**.
- The proposed development is in the public interest. The proposed development and variation to the height control will enable the orderly and efficient use of the land for senior’s housing replacing older housing stock with new modern housing to meet the changing landscape in such housing and the demand by persons moving into lifestyle villages such as Carrington, and therefore is in accordance with the objects of the Act. Therefore, the DA may be approved with the variation as proposed in accordance with the flexibility allowed under clauses 4.6 and 5.6 of the CLEP 2010.

The height of the dwelling exceeds the height control under Clause 4.3 of *Camden Local Environmental Plan 2010* by 6.4m worst-case scenario or 71.56% and as such a Clause 4.6 variation request is provided to justify that the proposal is in the public interest and addresses the potential environmental impacts of the proposal.

This report should also be read in conjunction with architectural plans prepared by Jackson Teece Architects that accompany the development application at **Appendix A**.

This report comprises a written request from the Applicant under Clause 4.6 of *Camden Local Environmental Plan 2010* (“CLEP 2010”) that seeks to justify the contravention by a proposed development to the development standard for the height control in Clause 4.3(2) of LEP 2010.

This clause states:

- (2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.

## 1.2 STATUTORY OBLIGATIONS OF THE APPLICANT AND COUNCIL

The authority established within a judgement in *Initial Action Pty Ltd v Woollahra Municipal Council [2018] NSWLEC 118*, provides that a Cl4.6 variation need not establish that a development containing a variation provides a better or even neutral outcome for a development site compared with that which would be provided by a compliant development proposal for the site.

In light of this judgement, it is necessary to distinguish between the obligations of the applicant, and the obligations of Council. The applicant must address the matters required by cl4.6(3). Note however, that for completeness and to assist Council in its assessment, this variation request has addressed cl4.6(3) and 4.6(4).

The consent authority need only be satisfied of the matters required within 4.6(4)(a), namely that the applicant has adequately addressed 4.6(3), and that the development is consistent with the objectives of the standard and the objectives of the zone. The issue of compliance with the objectives of the zone are addressed by this firm in the Statement of Environmental Effects (SoEE) accompanying the development application.

The Initial Action judgement states that “the consent authority, or the Court on appeal, does not have to directly form the opinion of satisfaction regarding the matters in cl4.6(3)(a) and (b), but only indirectly form the opinion of satisfaction that the applicant’s written request has adequately addressed the matters required to be demonstrated by cl4.6(3)(a) and (b)”.

The independent role for the consent authority is therefore to determine whether the proposed development will be consistent with the objectives of the standard and the objectives of the zone. This involves a consideration of the “development” in its entirety, not just the proposed variation. It is clear that the development meets the objectives of the standard as discussed throughout this written request.

Therefore, strict compliance with the objectives of the R5 Large Lot Residential zone have been met and we would contend that the development is not inconsistent with the objectives of providing housing to meet the needs for senior’s requiring such accommodation, particularly within the rural setting of Grasmere and does not impact on the environmental qualities of the property or nearby properties, given the location of this development site within the Carrington Campus. This aspect of the request is addressed in this cl4.6 request.

The responsibilities of the applicant had earlier been clarified within *Four2Five Pty Ltd v Ashfield Council (2010) NSWCA 248*. In addressing clause 4.6(3), the applicant must establish reasons that the variation should be supported, aside from the consistency of the development with the objectives of the standard and the objectives of the zone.

In *Wehbe V Pittwater Council (2007) NSW LEC 827, Preston CJ* set out the following 5 different ways in which an objection (variation) may be well founded:

1. *The objectives of the standard are achieved notwithstanding non-compliance with the standard;*
2. *The underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary;*
3. *The underlying object or purpose would be defeated or thwarted if compliance was required and therefore compliance is unreasonable;*
4. *The development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable;*
5. *The zoning of the particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning is also unreasonable and unnecessary as it applies to the land and compliance with the standard that would be unreasonable or unnecessary. That is, the particular parcel of land should not have been included in the particular zone.*

It is generally understood that Clause 4.6(3) can be satisfied if it is established that a development satisfies one or more of points 2-5 above. The information contained within this written request directly addresses the third and fourth reason within the list above.

Note that although this request is structured to address 4.6(3) and 4.6(4)(a)(ii) individually, the report should be read in its entirety as fulfilling the applicant's obligations under 4.6(3).

### 1.3 DEVELOPMENT STANDARD TO BE VARIED

This Clause 4.6 written variation request seeks to justify contravention of the development standard set out in cl4.3 of the CLEP. Clause 4.3 provides that the maximum height control for the Site is 9.5m, as shown on the heights of building map extract (**Figure 4**).

FIGURE 4 - EXTRACT OF HEIGHTS OF BUILDINGS MAP



Clause 4.6(2) & (3) of LEP 2010 states:

- (2) Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.
- (3) Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:
  - (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and

- (b) that there are sufficient environmental planning grounds to justify contravening the development standard.

The land the subject of this objection is known as Lot 10 DP 845472, 90 Werombi Road, GRASMERE, as shown on **Figure 1**. The proposal seeks consent to demolish existing dwellings and construct a new part three and four storey building on the subject property.

The development is shown on the submitted plans prepared by Jackson Teece Architects at **Appendix A** and addressed in the accompanying Statement of Environmental Effects prepared by this firm.

The remainder of this report seeks to demonstrate that compliance with Clause 4.3(2) of CLEP 2010 is both unreasonable and unnecessary in the circumstances of the case and that there are sufficient environmental planning grounds to justify contravening the development standard in this instance and that the proposal is in the public interest.

Clause 4.6(4) of LEP 2010 states:

- (4) *Development consent must not be granted for development that contravenes a development standard unless:*
- (a) *the consent authority is satisfied that:*
- (i) *the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and*
- (ii) *the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and*
- (b) *the concurrence of the Planning Secretary has been obtained.*

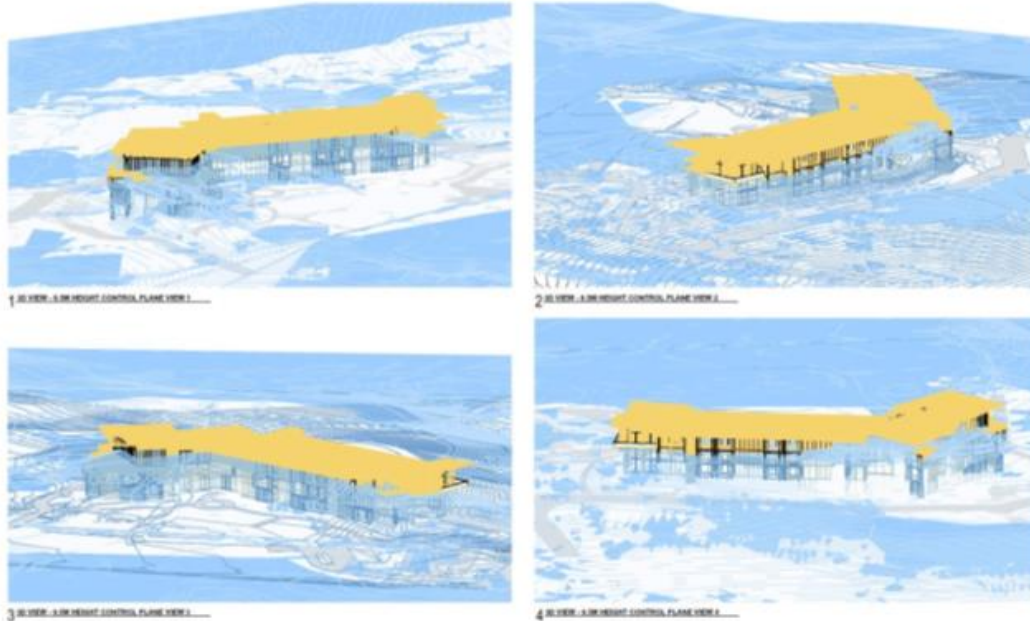
The property has a height control specified under Cl4.3(2) to enable the consent authority to approve without further investigation of the specific objectives.

This report has been prepared to support a variation to the development standards of Cl4.3(2) of *Camden Local Environmental Plan 2010 (CLEP 2010)*. As such a written variation is sought under 'Clause 4.6 - Exceptions to development standards' under CLEP 2010. It is proposed by the development proposal to construct a building with a height of 16.2m or 6.4m worst-case scenario above the height control.

This equates to a 71.56% variation to the development standard. **Figure 5** provides a height blanket to show those parts of the roof that exceed the height control. Basically the building exceeds the height at various points due to the levels of the development site and the architectural roof features that are compliant with Clause 5.6 of CLEP 2010.



FIGURE 5 - HEIGHT BLANKET



It is noted that Cl4.3 is not “expressly excluded” from the operation of Cl4.6 and it is therefore open to the consent authority to grant development consent to the development pursuant to this Clause, despite the proposed variation to Cl4.3.

## 2 Exception to Development Standards – Clause 4.6

Clause 4.6 of the CLEP 2010 operates as a precondition to the exercise of power to grant consent and unless a consent authority is satisfied that the precondition has been met, consent cannot be granted to a proposed development that contravenes development standards.

Two positive opinions of satisfaction under cl4.6(4)(a)(i) and (ii) must be made.

Assistance on the approach to justifying a contravention to a development standard is also to be taken from the applicable decisions of the NSW Land and Environment Court and the NSW Court of Appeal in:

1. Wehbe v Pittwater Council [2007] NSW LEC 827; and
2. Four2Five Pty Ltd v Ashfield Council [2010] NSWLEC 1009.

The relevant matters contained in cl4.6 of the CLEP, with respect to the maximum building height development standard, are each addressed below, including with regard to these decisions.

### 2.1 CLAUSE 4.6(4)(A)(I) - ADEQUATE ADDRESS OF MATTERS UNDER CL 4.6(3)

In response to cl4.6(3) two matters must be addressed:

- A. compliance with the development standards is unreasonable and unnecessary in the circumstances of the case; and

B. there are sufficient environmental planning grounds to justify contravention of the development standard.

**(A) Compliance with the development standard is unreasonable and unnecessary in the circumstances of the case**

The objectives of cl4.3(1) are:

- (a) to ensure that buildings are compatible with the height, bulk and scale of the existing and desired future character of the locality,
- (b) to minimise the visual impact, disruption of views, loss of privacy and loss of solar access,
- (c) to minimise the adverse impact of development on heritage conservation areas and heritage items.

The above objectives are achieved notwithstanding the objectives of Cl4.3 making it unnecessary to apply the height control in the heights of building map.

Historically, the most common way to establish whether a development standard was unreasonable or unnecessary was by satisfying the first method set out in *Wehbe v Pittwater Council [2007] NSWLEC 827*. This method requires the objectives of the standard be achieved despite the non-compliance with the standard.

This was recently re-affirmed by the Chief Judge in *Initial Action Pty Ltd v Woollahra Municipal Council [2018] NSWLEC 118 at [16]-[17]*. Similarly, in *Randwick City Council v Micaul Holdings Pty Ltd [2016] NSWLEC 7 at [34]* the Chief Judge held that “establishing that the development would not cause environmental harm and is consistent with the objectives of the development standards is an established means of demonstrating that compliance with the development standard is unreasonable or unnecessary”.

In *Wehbe*, Preston CJ of the Land and Environment Court provided relevant assistance by identifying five traditional ways in which a variation to a development standard had been shown as unreasonable or unnecessary. However, it was not suggested that the types of ways were a closed class.

While *Wehbe* related to objections made pursuant to State Environmental Planning Policy No. 1 – Development Standards (SEPP 1), the analysis can be of assistance to variations made under clause 4.6 where subclause 4.6(3)(a) uses the same language as clause 6 of SEPP 1 (see *Four2Five* at [61] and [62]). As the language used in subclause 4.6(3)(a) of the CLEP 2010 is the same as the language used in clause 6 of SEPP 1, the principles contained in *Wehbe* are of assistance to this cl4.6 variation request.

The five methods outlined in *Wehbe* include:

- The objectives of the standard are achieved notwithstanding non-compliance with the standard (**First Method**).
- The underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary (**Second Method**).
- The underlying object or purpose would be defeated or thwarted if compliance was required and therefore compliance is unreasonable (**Third Method**).
- The development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable (**Fourth Method**).

- The zoning of the particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning is also unreasonable and unnecessary as it applies to the land and compliance with the standard would be unreasonable or unnecessary. That is, the particular parcel of land should not have been included in the particular zone (**Fifth Method**).

The Request also seeks to demonstrate the ‘unreasonable and unnecessary’ requirement is met because the burden placed on the community by not permitting the variation would be disproportionate to the non-existent or inconsequential adverse impacts arising from the proposed non-complying development. This disproportion provides sufficient grounds to establish unreasonableness (relying on comments made in an analogous context, in *Botany Bay City Council v Saab Corp [2011] NSWCA 308 at [15]*).

The objectives of the development standard contained in clause 4.3 of the CLEP are summarised in **Table 1**.

**TABLE 1 - COMPLIANCE TABLE**

Objective	Proposed
<b>Clause 4.3(1)</b>	
(a) to ensure that buildings are compatible with the height, bulk and scale of the existing and desired future character of the locality,	<p>This objective articulates the ultimate function of the height of buildings development standard. The maximum height for buildings on land within the Camden Local Government Area is identified on the Height of Buildings Map. As previously described, the maximum building height permitted on the subject site is 9.5m and the maximum height of the proposal is 16.2m.</p> <p>The proposal varies the standard, which has prompted the preparation of this written variation request. Despite the nature and scale of development proposed by this Development Application, Clause 4.3 achieves the objective of nominating a range of maximum building heights across land use zones, using the Height of Buildings Map as a mechanism to do so. This written request identifies the extent of variation proposed and explains why the variation is acceptable in the circumstances. As discussed in the context of the other objectives, the proposal will not conflict with the underlying aims for built form and land use intensity in the zone or the site’s relationship to the “hierarchy” of height limits for surrounding land.</p> <p>Height controls are set via height in metres, to best respond to variation in natural landforms. The proposed exceedance of the height control does not impact this reflection of natural landforms, nor the height control across the site. In fact, the proposed dwelling (and height variation) better reflect the natural landform.</p>

Objective	Proposed
	<p>The land also has level changes across the development site and the height control has constraints on the built form outcome proposed by this development.</p> <p>In combination (height controls and topography) place restrictions on designing a compliant development. Notwithstanding, the design results in a non-compliance that is considered acceptable, particularly when viewed from the public domain, which will not be discernible given the articulated nature of the development and the location within the Carrington Campus.</p> <p>This written request identifies the extent of variation proposed and explains why the variation is acceptable in the circumstances having regard to the heights permitted on the subject site. As discussed in the context of the other objectives, the proposal will not conflict with the underlying aims for built form and land use intensity in the zone or the site’s relationship to the “hierarchy” of height limits for surrounding land, which has been addressed throughout this request.</p> <p>The proposal is consistent with the Planning Principle of the Land &amp; Environment Court in the matter of Veloshin V Randwick Council (2007) NSWLEC 428 at 32-33.</p> <p><i>Planning principle: assessment of height and bulk</i></p> <ul style="list-style-type: none"> <li>The appropriateness of a proposal’s height and bulk is most usefully assessed against planning controls related to these attributes, such as maximum height, floor space ratio, site coverage and setbacks. The questions to be asked are:                     <p><i>Are the impacts consistent with impacts that may be reasonably expected under the controls? (For complying proposals this question relates to whether the massing has been distributed so as to reduce impacts, rather than to increase them. For non-complying proposals the question cannot be answered unless the difference between the impacts of a complying and a non-complying development is quantified.)</i></p> <p><i>How does the proposal’s height and bulk relate to the height and bulk desired under the relevant controls?</i></p> </li> <li>Where the planning controls are aimed at preserving the existing character of an area, additional questions to be asked are:</li> </ul>

Objective	Proposed
	<p><i>Does the area have a predominant existing character and are the planning controls likely to maintain it?</i></p> <p><i>Does the proposal fit into the existing character of the area?</i></p> <ul style="list-style-type: none"> <li>• Where the planning controls are aimed at creating a new character, the existing character is of less relevance. The controls then indicate the nature of the new character desired. The question to be asked is: <p><i>Is the proposal consistent with the bulk and character intended by the planning controls?</i></p> <li>• Where there is an absence of planning controls related to bulk and character, the assessment of a proposal should be based on whether the planning intent for the area appears to be the preservation of the existing character or the creation of a new one. In cases where even this question cannot be answered, reliance on subjective opinion cannot be avoided. The question then is: <p><i>Does the proposal look appropriate in its context?</i></p> </li> </li></ul> <p>33 The above principles are supplementary to, and consistent with, the principles established in <i>Stockland Development Pty Ltd v Manly Council [2004] NSWLEC 472</i>.</p> <p>The character of the area relates to the rural residential context of Grasmere and to the Carrington Campus setting, but also the zoning of the land to permit residential development. As detailed in this variation request, we are of the opinion that the bulk and scale of the development is not inconsistent with the existing character of the Campus that provides for large buildings, such as Paling Court to the immediate west.</p> <p>The proposed scale of development relates to the built form envisaged by the planning controls, specifically building height, despite the relatively numerical departure from the height of buildings development standard. The proposed non-compliance will better achieve the aims of promoting modern senior's housing addressing the needs for such developments on this Campus site and for the ageing population, than would a scheme that strictly complied through the reduction in height.</p>

Objective	Proposed
	<p>The proposed height variation is above the maximum height limit and covers part of the top floor and the roof area and thus the proposed development is consistent with the scale of development developed in the context of the Campus and the adjacent buildings (Paling Court), notwithstanding the proposed non-compliance (refer to <b>Figure 5</b>).</p> <p>It is concluded that the design of the development is compatible with the character of the local area in the required sense of “capable of existing in harmony”.</p>
<p>(b) to minimise the visual impact, disruption of views, loss of privacy and loss of solar access,</p>	<p>Although the proposed development projects beyond the maximum building height plane (refer to <b>Figure 2</b>), it is submitted that there will be no adverse impact as follows:</p> <ul style="list-style-type: none"> <li>• Visual impact: The non-compliant element is a direct result of the level changes between the two levels. The roof feature arguably constitutes an architectural roof feature design under Clause 5.6 to reflect the design of other buildings such as Paling Court.</li> <li>• View loss: The extent of variation is numerically (71.56%) and the non-compliant element is not likely to impinge on any significant public or private views.</li> </ul> <p>It is noted that the maximum permitted building height on land adjoining the site is 9.5m.</p> <p>Therefore, the addition building height proposed will not obscure views from public or private areas. The proposed height variation does not impact on any significant view lines and vistas from the public domain. The potential view loss will be no greater than a compliant development. Variations to the elevation façades are proposed in the form of articulated design elements and the use of a variety of materials and finishes, which provide visual interest.</p> <p>This is consistent with the decision of Senior Commissioner Roseth in <i>Tenacity Consulting Pty Ltd V Warringah Council</i> (2004) NSWLEC 140.</p> <p>In this regard:</p> <ul style="list-style-type: none"> <li>• The proposed height variation does not impact on any significant view lines and vistas from the public domain. There is no significant view loss to St Johns Church Steeple, as addressed in the SoEE prepared by this firm.</li> </ul>

Objective	Proposed
	<ul style="list-style-type: none"> <li>Existing views are maintained from adjoining developments, which is noted by Commissioner Roseth in <i>Tenacity Consulting V Warringah Council (2004)</i> NSWLEC 140.</li> </ul> <p>Therefore, the addition building height proposed will not obscure views from public or private areas. The proposed height variation does not impact on any significant view lines and vistas from the public domain given the location central to the Campus.</p> <p>Despite the proposed variation, it is submitted that the development reflects the intended scale of development at the site, in that the variation is within the context and the scale of the proposal is not substantially different to that of a compliant scheme, particularly when perceived from within the Campus with roof features and articulation prominent in the design outcome.</p> <p>As described above, the additional building height will not result in any significant amenity impacts on neighbouring properties, or visual impacts in terms of how the building presents within the Campus. The proposal aligns with this objective, despite non-compliance.</p> <p>It is considered that the requirement for strict compliance with the control would be counterproductive to achieving the aims to support senior residential accommodation for the ageing population, particularly when the scale of development will not be perceptibly different to a strictly compliant proposal.</p> <p>Having regard to all of the above, it is our opinion that compliance with the height of buildings development standard is unnecessary in the circumstances of the case as the development meets the objectives of that standard and the zone objectives, as described in this written variation request.</p> <p>Compliance with the development standard is both unreasonable and unnecessary in this case given that the characteristics of the site and the circumstances of the proposed building allowing for the proposed height.</p> <p>Having regard to the above we consider that the approach taken serves the objects of the Act of promoting the orderly and economic use of land for senior's housing, with services and facilities to meet the aged cohort.</p>

Objective	Proposed
(c) to minimise the adverse impact of development on heritage conservation areas and heritage items.	The subject property is a heritage item and will have no impact on heritage items within the subject land, as detailed in the SoEE accompanying the application and shown on <b>Figure 6</b> .

FIGURE 6 - LOCATION OF HERITAGE PROPERTIES



In respect of the potential impacts of the proposed development on the heritage Item No 118, Extent have provided a statement of heritage impact at **Appendix M**. The assessment is summarised below:

**Built Heritage**

**Demolition**

The proposal seeks to demolish four existing single-storey residential structures, known as Erica Court. Erica Court forms part of the Mary Mackillop Precinct constructed in the 1990s. The proposed development will also remove landscape elements in the surrounding area including the roadway, timber lined terracing, and ornamental planting. The proposal requires this to accommodate the new development which will provide services that enable ‘ageing in place’ through the construction of one, a four (4) storey building comprising of forty-two (42) modern assisted living apartments.



The four residential structures and surrounding landscape features of Erica Court date to c.1994 and are of no identified heritage value. Demolition associated with the proposed works will be limited to contemporary fabric that does not contribute to the heritage values of the place. The proposal will see no change to significant built elements associated with the Carrington Hospital grounds. Based on the assessment outlined above, the proposed demolition will have no adverse heritage impacts on the heritage significance of Carrington Hospital.

### **New Building**

The proposed redevelopment intends to construct a four-storey apartment building with forty-two (42) Independent Living Units and undercroft parking.

While the proposed development is larger in size, scale and massing to the existing development, the design of the new apartment building will utilise the slope in the landscape to reduce the overall height and massing of the development. Through careful design and consideration of the existing environment the proposal will have a reduced visual impact on the heritage significance of Carrington Hospital. The new development maintains a sympathetic and appropriate distance from key heritage buildings such as main hospital building, Masonic Cottage Hospital, Grasmere Villa, and Riverside Cottage, and is sympathetically set within the undulating topography.

The proposal constitutes an acceptable level of heritage impact on the heritage significance of Carrington Hospital. The new development will have no direct or indirect physical or visual impacts to significant fabric, features, or landscape features associated with Carrington Hospital.

### **Views and Settings**

The proposed development is consistent with Article 8 of the Burra Charter which requires an appropriate setting for heritage items to be retained. The Burra Charter defines setting as:

*The immediate and extended environment of a place that is part of or contributes to its cultural significance and distinctive character.*

It further notes that:

*Setting may include: structures, spaces, land, water and sky; the visual setting including views to and from the place, and along a cultural route; and other sensory aspects of the setting such as smells and sounds. Setting may also include historical and contemporary relationships, such as use and activities, social and spiritual practices, and relationships with other places, both tangible and intangible.*

While the proposed development will be taller than surrounding buildings, it will be integrated into the existing topography with the undulating ground level and main entrance located along the southern elevation fronting Mackillop Circuit. The building's footprint will also respect the general topography of the subject site, utilising a skillion roof to reduce its overall visual prominence in the landscape.

The design of the new apartment building will utilise materials and colours which are visually recessive. This includes aluminium shutters which are perforated with a design emulating the surrounding native vegetation. The shutters will help soften the visual impact of the structure by limiting the amount of concrete and glass exposed along the elevations. Planter boxes and planted arbours will also be utilised on the façade and surrounding landscape to further reduce its overall visual prominence.

While the new development will be a visibly contemporary addition to the wider landscape of the Carrington Hospital grounds, views to the site from key heritage items are highly limited and, in most instances, obscured altogether. Views of the subject site cannot be obtained from the Masonic Cottage Hospital, Riverside Cottage, Grasmere Villa, and former mortuary. The new building will be visible from the main hospital building, however this will be limited to the upper extent of the new structure and highly screened by established landscaping and planting.

The considered siting, form, and materiality of the new apartment building will ensure the proposal is visually recessive within the wider landscape of the Carrington Hospital. Based on this analysis above, the proposal will have a **negligible impact** to the views and setting of the Carrington Hospital.

#### **Impact to views of St John's Anglican Church**

This report has assessed the potential visual impact of the proposed development on the heritage significance of St John's Anglican Church. St John's is located approximately 2.2 kilometres to the east of the site within the suburb of Camden. The church remains a highly visible feature within the town of Camden and has with landmark qualities for its prominent location at the junction of John Street and Menangle Road.

While the church is visible from the hospital grounds, the views are largely obscured and limited to an extremely narrow vista from the rear of the main hospital building. Further, views of the church are limited to the church spire from the main hospital building only. From St John's Anglican Church, there are no key views of the hospital and subject site remains a highly recessive element within the surrounding landscape.

Given the extremely minor extent and recessive nature of the views between the Carrington Hospital and St John's Anglican Church, it is not considered a key view from either site. Where the proposed new apartment building will be visible, it will be a minor addition to the broader landscape. This is demonstrated in the rendered images provided by Jackson Teece (Figure 38 and Figure 39) which indicates the proposed development will be situated below the canopy line of the horizon, with a lower presence than surrounding mature tree plantings. Views of the church will not be obscured by the new structure and will be maintained.

Due to its considered siting and design, the new apartment building will remain visually recessive as part of the wider views of the landscape. As such, the proposed works will have a **no impact** on the views and settings of the St John's Anglican Church.

#### **Conclusion**

The proposal will see the demolition of contemporary fabric of no identified heritage significance. The proposal constitutes an acceptable level of heritage impact on the heritage significance of Carrington Hospital, as the new development will have no direct or indirect physical or visual impacts to significant fabric, features, or landscape features associated with Carrington Hospital. The redevelopment forms part of a wider concept masterplan to develop modern residential accommodation in response to the changing nature of aged care at Carrington Hospital. The new apartment building will enable 'ageing in place', allowing residences to continue living within a community while maintaining some level of independence.

The new development will be a visibly contemporary addition to the broader landscape of the Carrington Hospital. Despite the increased massing and height, the new apartment building will sit comfortably within the existing landscape as it will be built into and respect the topography of the subject site. Views from the main hospital building will be limited to the upper extent of the new structure. This represents a minor amplification of an existing heritage impact. Overall, the proposed works are assessed as having **no impact** to the built heritage, and a **negligible impact** on the views and settings of the Carrington Hospital.

This report has also considered the potential impacts to the views and setting of the State heritage listed, St John's Anglican Church in Camden. Given the extremely minor extent and recessive nature of the views between the Carrington Hospital and St John's Anglican Church, there are no key views connecting the two heritage items. Where the proposed new development will be visible within the Carrington site, it will be a minor addition to the broader landscape. This is demonstrated in the rendered image provided by Jackson Teece (refer to Figure 38 and Figure 39) which indicates the proposed development will be situated below the canopy line of the horizon, with a lower presence than surrounding mature tree plantings. Views to the church will not be obscured by the new structure. As such, the proposal will have a **no impact** on the views and settings of the St John's Anglican Church.

## 2.2 CONCLUSION

Having regard to all of the above, it is our opinion that strict compliance with the height control standard is unnecessary in the circumstances of the case as the development meets the objectives of that standard and the zone, as described in this written variation request.

It is not considered that a variation to the development standard in these circumstances would act as a general planning change more appropriately dealt with under *Part 3 of the Environmental Planning & Assessment Act 1979*, as the variation to the height control of Cl4.3(2) being a 71.56% variation and will not be discernible from the public domain, noting that the development site is located central to the Campus and that there are several large buildings within the site that provided aged care facilities, with the Paling Court building located immediately to the west and is a larger building compared to the proposed building in height.

As such, it is considered that the variation request in this instance can be addressed under the current zoning regime applying to the subject property.

## 3 Objectives of the Zone

The objectives of the R5 zone are:

- To provide residential housing in a rural setting while preserving, and minimising impacts on, environmentally sensitive locations and scenic quality.
- To ensure that large residential lots do not hinder the proper and orderly development of urban areas in the future.
- To ensure that development in the area does not unreasonably increase the demand for public services or public facilities.
- To minimise conflict between land uses within this zone and land uses within adjoining zones.

Clause 4.6(4)(a)(ii) also requires that the consent authority be satisfied that the development is in the public interest because it is consistent with relevant zone objectives. The proposed development is consistent with the objectives of Zone R5 Large Lot Residential zone in that:

- The new building is considered to related to the rural context of the Campus that is located within a vegetated setting with open areas, particularly around the dam. The proposed development is permissible with development consent. The new building will be 'nestled' into the landscape and the property landscaped to complement the building. The subject property is not located within an environmental constraint or sensitive area or scenic protection area. It is not located in a scenic area and not located on a ridgeline. The property, however, is affected by flooding, bushfire and some topography constraints. However, these constraints do not affected the proposed building. The only constraint is the level changes between the ground floor area and the lower ground floor area, which has been addressed throughout this report.
- The proposed building will have no impact on the values of the area.
- Not applicable to the subject property, as the proposal replaces existing dwellings on the property with a purpose-built assisted living apartment complex that is specifically targeted to the older aged cohort, i.e. 80-years +. Carrington provides services and facilities on the Campus to meet the demands of its residents. These services are provided to this particular building in the form of meals, assistance with medical and allied services, as needed.
- Not applicable. Refer to above comments.

For these reasons the development proposal meets the objectives for development in Zone R5, despite non-compliance with the building height development standard.

#### 4 Sufficient Environmental Planning Grounds

**(B) that there are sufficient environmental planning grounds to justify contravening the development standard.**

The Land & Environment Court judgment in *Initial Action Pty Ltd v Woollahra Council* [2018] NSWLEC 2018, assists in considering whether there are sufficient environmental planning grounds to justify a variation from the development standard. Preston J observed:

*"...in order for there to be 'sufficient' environmental planning grounds to justify a written request under clause 4.6, the focus must be on the aspect or element of the development that contravenes the development standard and the environmental planning grounds advanced in the written request must justify contravening the development standard, not simply promote the benefits of carrying out the development as a whole; and ...there is no basis in Clause 4.6 to establish a test that the non-compliant development should have a neutral or beneficial effect relative to a compliant development"*

The proposed built form is a well-considered response to the particular constraints of the site, in particular the topography of the site and the height control map.

Having regard to the objectives of the *Environmental Planning and Assessment Act 1979* sufficient environmental planning grounds exist in this case to justify breaching the height standards. In particular the objects under section 1.3(a), (b), (c), (g) and (h) are pursued by this development. The objective seeking orderly and economic development of land and good design are clearly supported by approval of this development.

Part of the environmental planning grounds in this matter arise from the individual design aspects of that part of the dwelling in breach and they are supportive of the variation sought to the height control to allow variations of a minor nature (71.56%).

Clause 4.6(3)(b) requires that the written request to vary a development standard demonstrates that there are sufficient environmental planning grounds to justify contravening the development standard. In order to demonstrate that there are sufficient environmental planning grounds to justify varying the development standard and to satisfy objective (1)(b) of Clause 4.6 by demonstrating that the proposed variation allows for a better outcome for and from the development. The following discussion is provided:

- The discussion provided throughout this variation request demonstrates that the additional building height will not result in any adverse environmental impacts, in terms of amenity impacts, overshadowing nor will there be any adverse impacts given the nature of the departure and the location of the building within the Campus. It is submitted that there are sufficient environmental planning grounds to support the variation, particularly having regard to the level changes of the land, which has been detailed in this report and the Council planning documents that support residential development to a height of 9.5m. It is also noted that there are several buildings on the Campus that exceed the height control and provide accommodation in apartments and residential aged care facilities, with Paling Court being the latter.

In particular, the site has unique qualities relating to natural setting of the property in a rural setting, but also close to services located at the nearby Camden and Narellan and other nearby areas.

Exceedance of the height control is therefore not a prohibition, but more relating to development that may be developed in such a zone with height controls restricting development to 9.5m. As such the development offers a level of amenity suitable to the proposed development. The height non-compliance, on its own, has no impacts on any surrounding land or the public domain, as detailed in this request.

There is an absence of environmental harm arising from the contravention and positive planning benefits arising from the proposed development as outlined in detail above. These include:

- The proposal satisfies the general objectives in section 1.3 of the *Environmental Planning and Assessment Act 1979* in that it promotes the orderly and economic use and development of land and promotes good design and amenity of the built environment for residents.
- The proposed variation is 71.56% and on the minor portion of the roof at 6.4m worst-case scenario above the height control (refer to **Figure 2**).
- The main non-compliance is the top floor and the roof form, which will provide visual interest and a varied building façade and scale to the development, helping to differentiate the built elements and respond to the DCP requirement for well-articulated building forms.
- The proposed variation will not result in any unacceptable environmental impacts on the site. Based on the above, it has been demonstrated that there are sufficient environmental planning grounds to justify the proposed cl4.3(2) building height non-compliance in this instance.

Clause 4.6(3)(b) requires that the written request to vary a development standard demonstrates that there are sufficient environmental planning grounds to justify contravening the development standard.

The height control requirements under CLEP 2010 are, in the circumstances of this matter, unreasonable and unnecessary, as discussed in this submission.

The site is zoned R5 Large Lot Residential with a height control of 9.5m. Exceedance of the height control is therefore not a prohibition, but more relating to development that may be developed in R5 zones.

**(C) In addition, under cl 4.6(4)(a)(ii) of the LEP, the consent authority must also be satisfied that:**

- (1) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and with the objectives for the development within the zone in which the development is proposed to be carried out.

In the judgement within Initial Action, Preston CJ indicated that a consent authority only needs to be satisfied that an applicant has adequately addressed the matters within clause 4.6(3), and that, pursuant to 4.6(4)(a)(ii), the development is consistent with the objectives of the standard and consistent with the objectives of the zone. Although not strictly required, this variation has addressed the reasons that the development satisfies 4.6(4)(a)(ii).

The objectives of the height standard were addressed above. It is evident from the above that Objectives (i) to (iv) have been addressed. It is also evident that the existing locality referred to within the objectives, is eclectic and is not characterised by any particular homogenous built form, particularly having regard to the built form outcomes within the Carrington Campus that provides a variation of residential accommodation from independent living dwellings and units to high and low aged care. The latter are mainly accommodated in buildings such as Paling Court and Grasmere Terrace. These buildings are substantial and do not comply with the height control.

The public interest has been demonstrated in several sections of this report and is found to be consistent with the objectives of Clause 4.3 under CLEP 2010. Accordingly, the proposed development is in the public interest, as it is consistent with the overarching height objectives.

The proposed non-compliance with the building height standard will not raise any matter of significance for State or regional environmental planning. It has been demonstrated that the proposed variation is appropriate based on the specific circumstances of the case and would be unlikely to result in an unacceptable precedent for the assessment of other development proposals.

It is considered that the strict maintenance of the standard in this instance is not in the public interest, as the proposal will result in the public benefit by the delivery of high-quality residential accommodation close to services and facilities for persons seeking accommodation and services offered by Carrington for seniors.

The proposed development achieves the objectives of the building height standard despite the technical non-compliance.

There are no significant public disadvantages which would result from the proposed development and it is considered that there are no matters that warrant refusal of the proposal on grounds of the development being contrary to the public interest.

It is considered that this design represents an individual response which Clause 4.6 was intended to be available to set aside compliance with the generic controls as unreasonable or unnecessary in the circumstances of this particular case, as detailed in this variation request, including Clause 5.6.

The proposed development is therefore considered to be justified on public interest grounds.

#### 4.1 SUMMARY

Having regard to the judgement in *Wehbe*, the objectives of the *Environmental Planning and Assessment Act 1979*, the objectives of the zone and the objectives of the standard, sufficient environmental planning grounds exist in this case to justify breaching the height standard. The reasons for the variation can be summarised as follows:

- The subject development is compatible with the existing site context, consistent with both the existing and future character of the Campus in providing for seniors housing, and the proposal achieves the objectives of the development standard as provided in Clause 4.3 of CLEP 2010.
- Therefore, the underlying objective or purpose of the height control standard, primarily related to the existing scenic and rural character, would be defeated or thwarted if compliance was required and therefore compliance is unreasonable.
- The constraints and opportunities associated with the site have influenced the design of the proposal, and the proposal is a carefully considered response to these constraints detailed in this report.
- For this particular development site, there are no feasible or suitable design alternatives available that would result in a building which complied with the height control having regard to the design, in particular and the constraints of the site addressed in this report.
- Does not generate any unacceptable environmental impacts in respect of overshadowing, or material view loss, as detailed above in **Table 1**.
- The objectives of the zone are achieved notwithstanding non-compliance with the standard, particularly considering that compliance with the height development standard would actively discourage development that supports or complements the campus.
- Although the standard has not been abandoned or destroyed, the strict application of the standard in these circumstances is not appropriate.

The authority within the judgement in Initial Action has reaffirmed that the role for the consent authority is to determine whether the proposed development will be consistent with the objectives of the standard and the objectives of the zone. This involves a consideration of the "development" in its entirety, not just the proposed variation. It is clear that the development meets the objectives of the standard and of the zone.

This written request has demonstrated that strict compliance with the standard in this instance would be unnecessary and unreasonable and that there are environmental planning grounds to justify the contravention of the development standard and that the development is in the public interest.

---

90 Werombi Road, GRASMERE |

Given the above, it is considered that the requirements of Clause 4.6 have been satisfied and that the variation to the height development standard can be approved.

Attachment 10 CLPP01



# CARRINGTON CARE - WOODLAND ASSISTED LIVING APARTMENTS

ARCHITECTURE DRAWINGS - DA ISSUE FOR 90 WEROMBI ROAD, GRASMERE, NSW 2570

## DRAWING LIST

SHEET NO	SHEET NAME
DA-000	COVER SHEET
DA-010	SITE ANALYSIS - SITE CONTEXT
DA-011	SITE ANALYSIS - LOCALITY CONTEXT
DA-012	CONCEPT MASTERPLAN
DA-030	SITE PLAN
DA-090	DEMOLITION PLAN
DA-109	FLOOR PLAN - LOWER GROUND
DA-110	FLOOR PLAN - GROUND LEVEL
DA-111	FLOOR PLAN - LEVEL 01
DA-112	FLOOR PLAN - LEVEL 02
DA-113	FLOOR PLAN - ROOF PLAN
DA-190	PLANS - APARTMENT TYPES_01
DA-191	PLANS - APARTMENT TYPES_02
DA-201	ELEVATIONS
DA-202	ELEVATIONS
DA-203	ELEVATIONS
DA-300	SECTION
DA-301	SECTION
DA-302	SECTION
DA-303	SECTION
DA-304	SECTION
DA-400	BALCONY SCREEN CONCEPT
DA-401	ENTRY ARBOR CONCEPT DESIGN
DA-405	3D MASSING STUDY
DA-406	3D MASSING STUDY
DA-600	GFA AREA PLANS
DA-602	ADG COMPLIANCE/ YIELD & PARKING CALCULATIONS TABLE
DA-700	CROSS VENTILATION AND SOLAR ACCESS (2H) DIAGRAMS
DA-800	SHADOW DIAGRAMS 21 MARCH 9AM/12PM/3PM
DA-801	SHADOW DIAGRAMS 21 JUNE 9AM/12PM/3PM
DA-802	SHADOW DIAGRAMS 21 SEPTEMBER 9AM/12PM/3PM
DA-803	SHADOW DIAGRAMS 21 DECEMBER 9AM/12PM/3PM
DA-855	BUILDING HEIGHT PLANE STUDIES
DA-856	SECTION BUILDING HEIGHT STUDIES
DA-857	BUILDING HEIGHT PLANE SECTIONS
TOTAL:	35

## ABBREVIATION KEY

BAL	BALUSTRADE
BAL-G	BALUSTRADE GLASS
BCA	BUILDING CODE OF AUSTRALIA
BO-T	BOLLARD - TRAFFIC
BY	BICYCLE
CONC	CONCRETE
ENS	ENSUITE
EX	EXISTING
FEN	FENCE
FL	FLOOR LEVEL (FINISHED)
FSR	FLOOR SPACE RATIO
GC	GARBAGE CHUTE
GFA	GROSS FLOOR AREA
HR	HANDRAIL
LDRY	LAUNDRY
MC	MOTORCYCLE SPACE
PVP	PHOTOVOLTAIC PANEL
RL	REDUCED LEVEL
SC	STORAGE CAGE
SC-O	STORAGE CAGE - OVERHEAD
SKL	SKYLIGHT
TO/W	TOP OF WALL
Tn	TREE NUMBER (REFER TO ARBORIST REPORT)
VG	VERGOLA
WH	HIGHLIGHT WINDOW
+ BR APT	NO. BEDROOM APARTMENT



1 3D MASSING STUDY



2 LOCATION PLAN

Amendments	Notes
Rev. Desc/Rev	Issued By Date
01 REVISED PRE DA ISSUE	SR 07/07/22
02 DA ISSUE	TW 01/10/22
03 REVISED DESIGN	TW 04/10/22
04 REVISED DA ISSUE	TW 18/10/23

Legend

Client	Carrington LIVING-CARE-COMMUNITIES enabled to care
Project	WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE
Client	CARRINGTON CARE

Drawing Title	COVER SHEET
Scale @ A1	1 : 100
Sheet Created	JULY 2022
Project No.	2021050
Checked By	TW
Discipline	A
Approved By	JG
Drawing Number	DA-000
Drawn By	SR
Revision	3

Project Status	DA

**JACKSON TEECE**

Architects

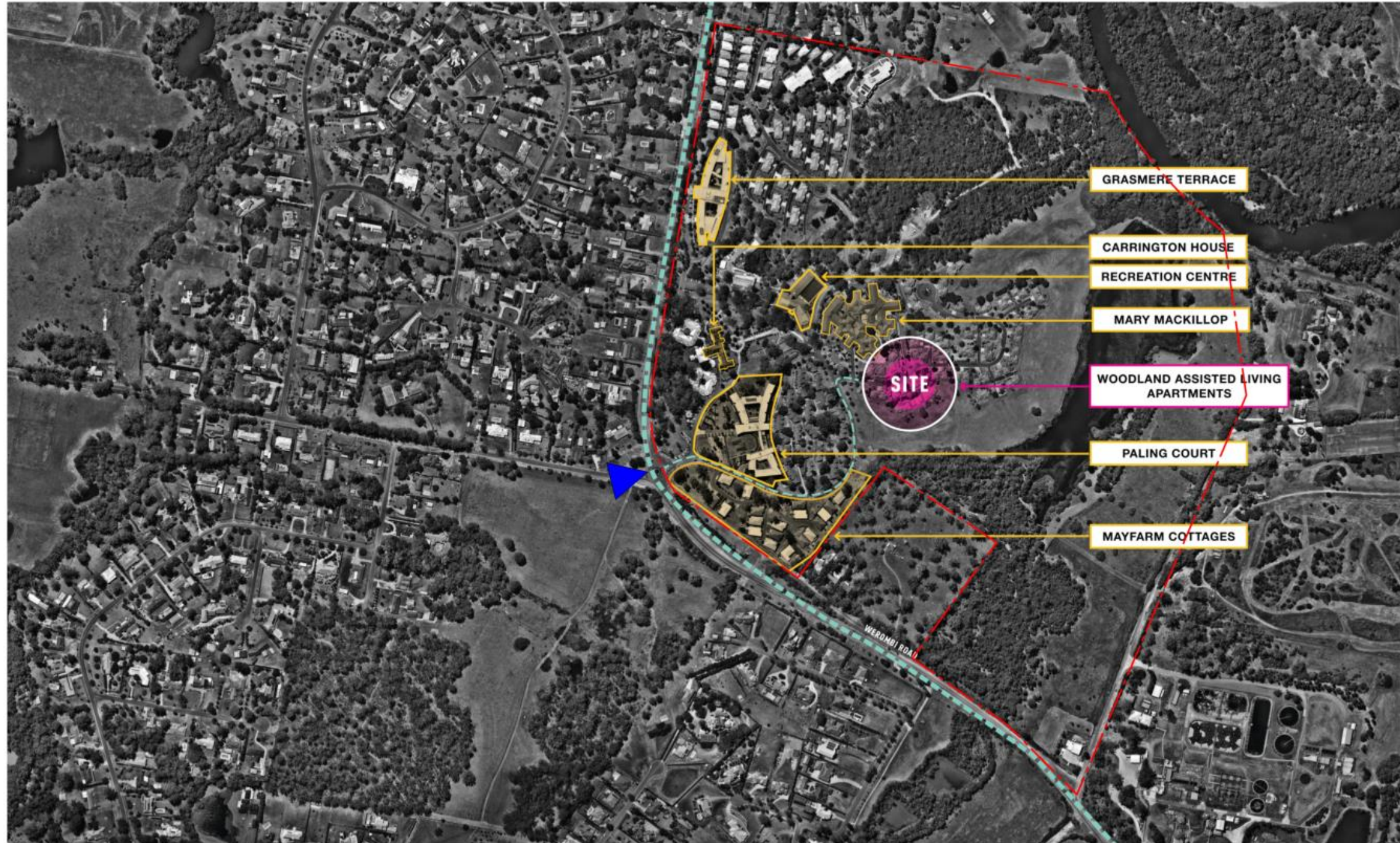
Level 20, 244 Queen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
Brisbane@jacksonteece.com

Sydney  
Level 1, Plot 9 & 23 Hickson Road  
Sydney, NSW 2000 Australia  
T +61 2 9296 2722  
Sydney@jacksonteece.com

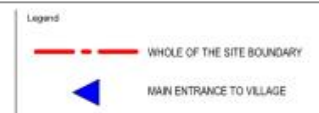
Jackson Teece Queensland  
Pty Ltd  
Trading as Jackson Teece  
ABN 67 113 571 812

Registered Architects  
Darren Barker (AAS), David Hudson (AAS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing to any specific dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



Amendments		Issued By	Date	Notes
Rev.	Desc/Rev	SR	27/01/22	
01	REVISED PRE DA ISSUE	TW	01/10/22	
02	DA ISSUE	TW	09/10/22	
03	REVISED DESIGN	TW	18/10/23	
04	REVISED DA ISSUE	TW	18/10/23	



Project  
**WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE**

Client  
**CARRINGTON CARE**

Drawing Title		Project Status	
<b>SITE ANALYSIS - SITE CONTEXT</b>		<b>DA</b>	
Scale @ A1	1 : 200	Sheet Created	JULY 2022
Checked By	TW	Approved By	JG
Discipline	A	Drawing Number	DA-010
Project No.	2021050	Revision	3

**JACKSON TEECE**

Architects

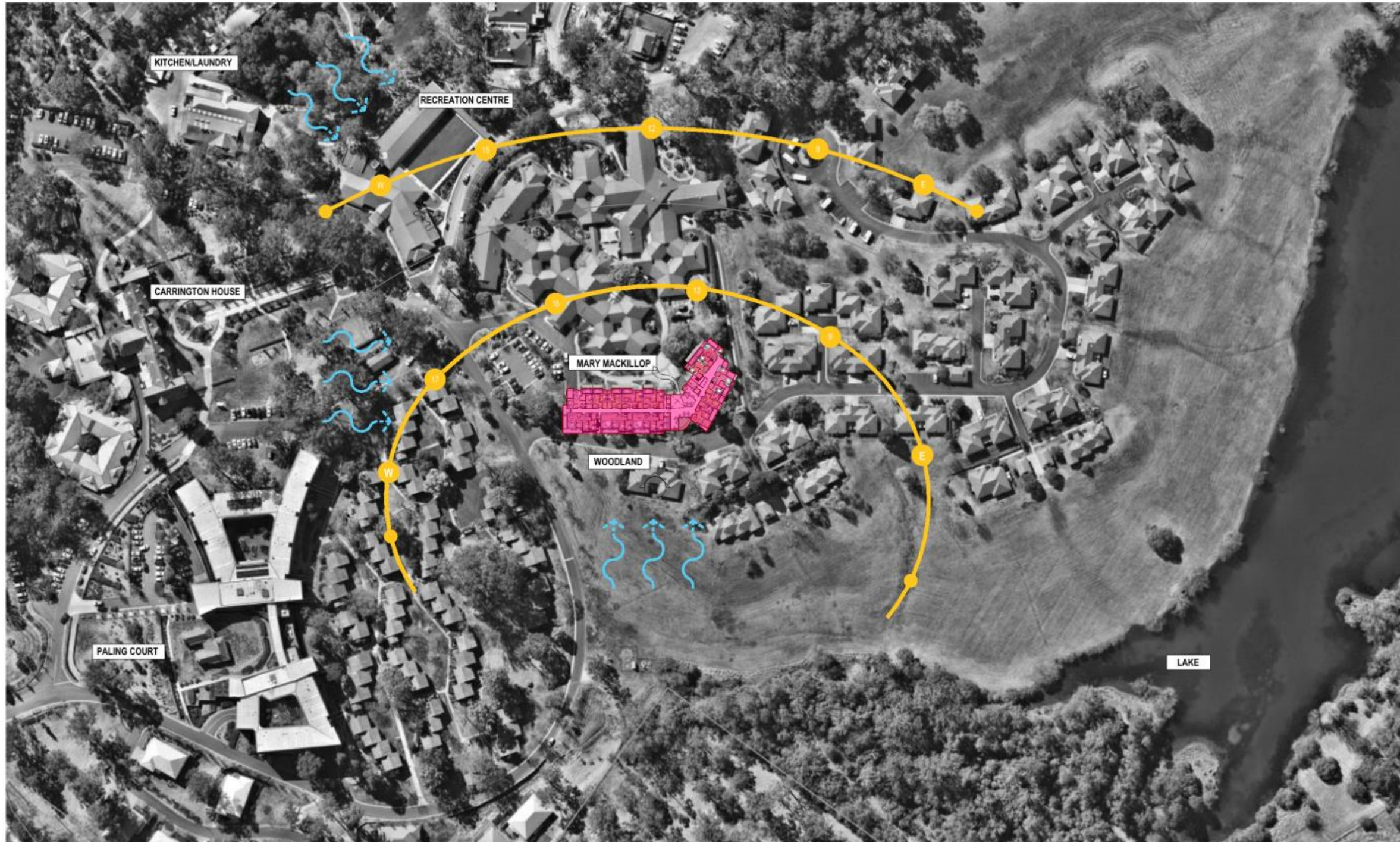
Level 20, 244 Queen Street  
 Brisbane, QLD 4000 Australia  
 T +61 7 3236 2771  
 F +61 7 3236 2388  
 brisbane@jacksonteece.com.au

Office  
 Level 1, For 8, 22 Holmeau Road  
 Sydney, NSW 2000 Australia  
 T +61 2 9296 2722  
 F +61 2 9296 1760  
 sydney@jacksonteece.com.au

Jackson Teece Queensland  
 Pty Ltd  
 Trading as Jackson Teece  
 ABN 67 113 571 812

Responsible Architects  
 Damien Barker (AAS), David Hudson (AAS)

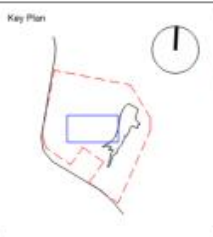
Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing, use digital dimensions only. Verify all project dimensions before construction on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



Rev.	Desc/Rev	Issued By	Date
01	REVISED PRE DA ISSUE	SW	27/07/22
1	DA ISSUE	TW	01/10/22
2	REVISED DESIGN	TW	09/10/23
3	REVISED DA ISSUE	TW	18/10/23

Notes

Legend



Client  
 Carrington  
 LIVING-CARE-COMMUNITIES  
 enabled to care

Project  
**WOODLAND ASSISTED LIVING APARTMENTS**  
**WEROMBI RD - GRASMERE**

Client  
**CARRINGTON CARE**

Drawing Title		Project Status	
<b>SITE ANALYSIS - LOCALITY CONTEXT</b>		<b>DA</b>	
Scale @ A1	As indicated	Sheet Created	Checked By
		<b>JULY 2022</b>	<b>TW</b>
		Approved By	Drawn By
		<b>JG</b>	<b>HF</b>
Project No.	Discipline	Drawing Number	Revision
<b>2021050</b>	<b>A</b>	<b>DA-011</b>	<b>3</b>

**JACKSON TEECE**

Brisbane: Level 20, 244 Queen Street, Brisbane, QLD 4000 Australia  
 Sydney: Level 19, 2000 Sydney, NSW 2000 Australia  
 Perth: Level 1, 100 St James Street, Perth, WA 6000 Australia  
 Melbourne: Level 1, 100 Collins Street, Melbourne, VIC 3000 Australia  
 Auckland: Level 1, 100 Queen Street, Auckland, NZ 1010  
 Wellington: Level 1, 100 The Quadrant, Wellington, NZ 6142

Jackson Teece (AHS), Equal Housing (HZE)  
 Copyright © 2022 Jackson Teece. All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, without the prior written permission of Jackson Teece.



KEY PLAN

**LEGEND - LAND USE**

- EXISTING TO RETAIN
- NEW ILUs
- ASSISTED LIVING
- NEW RECREATIONAL FACILITIES
- NEW RAC
- NEW VILLAS
- UNDER CONSTRUCTION
- NEW SERVICES

Amendments	Issued By	Date
1 DA ISSUE	TW	01/10/22
2 REVISED DESIGN	TW	08/10/22
3 REVISED DA ISSUE	TW	18/10/23

Notes

- Legend**
- WOODLAND LANDSCAPE CHARACTER
  - FUTURE STAGED DEVELOPMENT FOR NEW SENIORS HOUSING ASSET REMOVAL
  - PROPOSED ROAD ALTERATIONS



**Project**  
**WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE**

**Client**  
 CARRINGTON CARE

Drawing Title		Project Status	
<b>CONCEPT MASTERPLAN</b>		<b>DA</b>	
Scale @ A1	As indicated	Sheet Created	Checked By
SEPT 2022	TW	Approved By	JG
Project No.	Discipline	Drawing Number	Revision
2021050	A	DA-012	3

**JACKSON TEECE**

**Head Office:**  
 Level 20, 244 Queen Street  
 Brisbane, QLD 4000 Australia  
 T +61 7 3206 0771  
 F +61 7 3206 0388  
 brisbane@jacksonteece.com.au

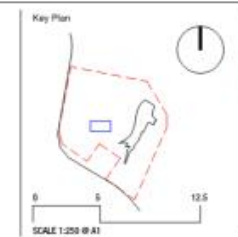
**Office:**  
 Lot 1, Plot 9 & 23 Hocking Road  
 Sydney, NSW 2000 Australia  
 T +61 2 8206 0722  
 F +61 2 8206 1100  
 sydney@jacksonteece.com.au

**Jackson Teece Queensland Pty Ltd**  
 Trading as Jackson Teece  
 ABN 67 113 577 812

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing; use figure dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



Amendments		Notes	
No.	Description	Issued By	Date
1	REVISED PRE DA ISSUE	SR	27/07/22
2	DA ISSUE	TW	01/10/22
3	REVISED DESIGN	TW	09/10/22
	REVISED DA ISSUE	TW	18/10/23



Client

Carrington  
LIVING-CARE-COMMUNITIES  
enabled to care

Project

**WOODLAND ASSISTED LIVING APARTMENTS**  
**WEROMBI RD - GRASMERE**

Client  
CARRINGTON CARE

Drawing Title

**SITE PLAN**

Scale @ A1	Project Status		
	DA		
Sheet Created	Checked By	Approved By	Drawn By
JULY 2022	TW	JG	SR
Project No.	Discipline	Drawing Number	Revision
2021050	A	DA-030	3

**JACKSON TEECE**

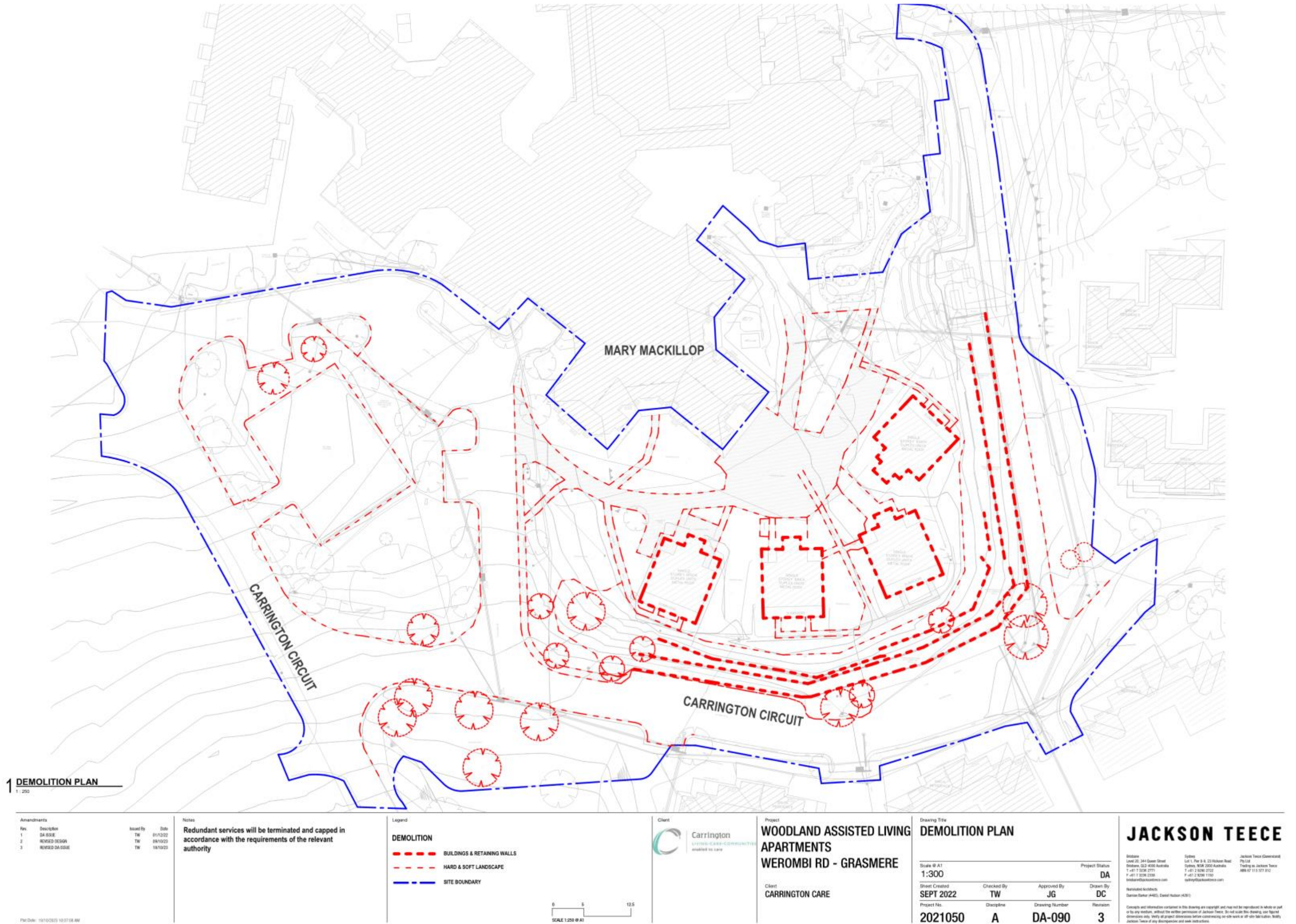
Business  
Level 20, 244 Queen Street  
Melbourne, VIC 3000 Australia  
T +61 3 9296 0771  
F +61 3 9296 0388  
melbourne@jacksonteece.com.au

Office  
Lot 1, Per 9 & 23 Hocking Road  
Spotswood, VIC 3042 Australia  
T +61 3 9296 0722  
F +61 3 9296 1190  
spotswood@jacksonteece.com.au

Jackson Teece Queensland  
Pty Ltd  
Trading as Jackson Teece  
AMN/QT 113 577 812

Registered Architects  
Darren Barker (AHS), David Hudson (NSR)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing, use Nominal dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



**1 DEMOLITION PLAN**  
1:250

Amendments		Issued By	Date
1	DA ISSUE	TW	01/10/22
2	REVISED DESIGN	TW	09/10/23
3	REVISED DA ISSUE	TW	18/10/23

**Notes**  
Redundant services will be terminated and capped in accordance with the requirements of the relevant authority

**Legend**

- DEMOLITION**
- - - BUILDINGS & RETAINING WALLS
- · - · - HARD & SOFT LANDSCAPE
- - - SITE BOUNDARY

0 5 12.5  
SCALE 1:250 @ A1

**Client**  
Carrington  
LIVING-CARE-COMMUNITIES  
assisted to care

**Project**  
WOODLAND ASSISTED LIVING APARTMENTS  
WEROMBI RD - GRASMERE

**Client**  
CARRINGTON CARE

**Drawing Title**  
DEMOLITION PLAN

Scale @ A1  
1:300

Sheet Created  
SEPT 2022

Project No.  
2021050

Checked By  
TW

Discipline  
A

Approved By  
JG

Drawing Number  
DA-090

Project Status  
DA

Drawn By  
DC

Revision  
3

**JACKSON TEECE**

Building Level 20, 244 Queen Street  
Melbourne, VIC 3000 Australia  
T +61 3 9296 0771  
F +61 3 9296 0388  
melbourne@jacksonteece.com.au

Office Level 1, For 8, 22 Hokeby Road  
Sydney, NSW 2000 Australia  
T +61 2 8296 0722  
F +61 2 8296 1192  
sydney@jacksonteece.com.au

Jackson Teece Queensland  
Pty Ltd  
Trading as Jackson Teece  
ABN 67 113 577 812

Registered Architects  
Darren Barker (AAS), David Nelson (AAS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing, use 'As Shown' dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



**1 FLOOR PLAN - LOWER GROUND**  
1:150

Rev.	Description	Issued By	Date
P2	REVISED PRE DA ISSUE	SH	07/01/22
1	DA ISSUE	TW	01/10/22
2	CONVOC. #1 2 DA2023-153-1 RESPONSE	TW	19/06/23
3	REVISED DESIGN	TW	08/10/23
4	REVISED DA ISSUE	TW	18/10/23

**Notes**  
FOR GROUND WORKS  
REFER LANDSCAPE DOCUMENTS



**Client**  
Carrington  
LIVING-CARE-COMMUNITIES  
enabled to care

**Project**  
WOODLAND ASSISTED LIVING  
APARTMENTS  
WEROMBI RD - GRASMERE

**Client**  
CARRINGTON CARE

**Drawing Title**  
FLOOR PLAN - LOWER GROUND

Scale @ A1 As indicated	Project Status DA
Sheet Created FEB 2022	Checked By TW
Project No. 2021050	Approved By JG
Discipline A	Drawn By HF
Drawing Number DA-109	Revision 4

**JACKSON TEECE**

Architects  
Darwin Darke (AKED), Enfield (AKED)

Office  
Level 20, 244 Dover Street  
Melbourne, VIC 3000 Australia  
T +61 7 3206 0771  
F +61 7 3206 2388  
melbourne@jacksonteece.com.au

Office  
Lot 1, For 9 & 23 Hickson Road  
Sydney, NSW 2000 Australia  
T +61 2 8086 0722  
F +61 2 8086 1190  
sydney@jacksonteece.com.au

Project Manager  
Phy Lill  
Tracy Lee  
ANN 02 113 377 812

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or in any medium, without the written permission of Jackson Teece. Do not scale this drawing, use Nominat dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



1 FLOOR PLAN - GROUND LEVEL  
1 - 150

Amendments		Notes		Legend		Client		Project		Drawing Title		JACKSON TEECE	
Rev.	Desc/Rev	Issued By	Date										
1	REVISED PRE DA ISSUE	SW	07/01/22		--- SITE BOUNDARY	Carrington	WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE	FLOOR PLAN - GROUND LEVEL	As Indicated	DA	Jackson Teece Level 20, 244 Ocean Street Melbourne, VIC 3000 Australia T +61 3 9296 0771 F +61 3 9296 0388 melbourne@jacksonteece.com www.jacksonteece.com		
2	DA ISSUE	TW	01/10/22						Checked By	Approved By	Drawn By	Jackson Teece Level 20, 244 Ocean Street Melbourne, VIC 3000 Australia T +61 3 9296 0771 F +61 3 9296 0388 melbourne@jacksonteece.com www.jacksonteece.com	
3	DA REVISED	TW	26/04/23						TW	JG	HF	Jackson Teece Level 20, 244 Ocean Street Melbourne, VIC 3000 Australia T +61 3 9296 0771 F +61 3 9296 0388 melbourne@jacksonteece.com www.jacksonteece.com	
4	COUNCIL RFI 2 (DA022-153-1) RESPONSE	TW	18/06/23						Discipline	Drawing Number	Revision	Jackson Teece Level 20, 244 Ocean Street Melbourne, VIC 3000 Australia T +61 3 9296 0771 F +61 3 9296 0388 melbourne@jacksonteece.com www.jacksonteece.com	
5	REVISED DESIGN	TW	09/10/23						A	DA-110	5	Jackson Teece Level 20, 244 Ocean Street Melbourne, VIC 3000 Australia T +61 3 9296 0771 F +61 3 9296 0388 melbourne@jacksonteece.com www.jacksonteece.com	
6	REVISED DA ISSUE	TW	16/10/23									Jackson Teece Level 20, 244 Ocean Street Melbourne, VIC 3000 Australia T +61 3 9296 0771 F +61 3 9296 0388 melbourne@jacksonteece.com www.jacksonteece.com	





Rev.	Desc/Rev	Issued By	Date
P2	REVISED PRE DA ISSUE	SH	27/01/22
1	DA ISSUE	TW	01/10/22
2	REVISED DESIGN	TW	09/10/23
3	REVISED DA ISSUE	TW	18/10/23

Notes

Legend



**WOODLAND ASSISTED LIVING APARTMENTS**  
**WEROMBI RD - GRASMERE**  
 Client: CARRINGTON CARE

Drawing Title			
<b>FLOOR PLAN - LEVEL 01</b>			
Scale @ A1	Project Status		
1 : 150	DA		
Sheet Created	Checked By	Approved By	Drawn By
FEB 2022	TW	JG	HF
Project No.	Discipline	Drawing Number	Revision
2021050	A	DA-111	3

**JACKSON TEECE**

Brisbane: Level 20, 244 Queen Street  
 Brisbane, QLD 4000 Australia  
 T +61 7 3236 2771  
 Brisbane@jacksonteece.com  
 Sydney: Level 19, 225 Victoria Road  
 Sydney, NSW 2000 Australia  
 T +61 2 9292 0722  
 P +61 2 9292 1700  
 sydney@jacksonteece.com

Jackson Teece Queensland  
 Pty Ltd  
 Trading as Jackson Teece  
 ABN 62 113 577 812

Registered Architects  
 Damien Barker (AAS), Ewald Nelson (AAS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part  
 or by any means, without the written permission of Jackson Teece. Do not scale this drawing and report  
 dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify  
 Jackson Teece of any discrepancies and seek instructions.

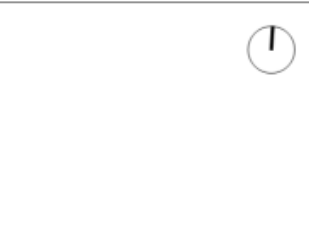


**1 FLOOR PLAN - LEVEL 02**  
1:150

Rev.	Description	Issued By	Date
P2	REVISED PRE DA ISSUE	SR	27/01/22
1	DA ISSUE	TW	01/10/22
2	COUNCIL, RPI 2 DA2023-153-1 RESPONSE	TW	19/06/23
3	REVISED DESIGN	TW	08/10/23
4	REVISED DA ISSUE	TW	18/10/23

**Notes**

1. TERRACE EDGE LANDSCAPING TO LIMIT HORIZONTAL VIEWS TO PROVIDE PRIVACY TO ADJACENT RESIDENCES.



**Client**  
CARRINGTON CARE

**Project**  
WOODLAND ASSISTED LIVING APARTMENTS  
WEROMBI RD - GRASMERE

Drawing Title		Project Status	
FLOOR PLAN - LEVEL 02		DA	
Scale @ A1	As indicated	Checked By	Approved By
		TW	JG
Sheet Created	FEB 2022	Discipline	Drawing Number
		A	DA-112
Project No.	2021050	Revision	4

**JACKSON TEECE**

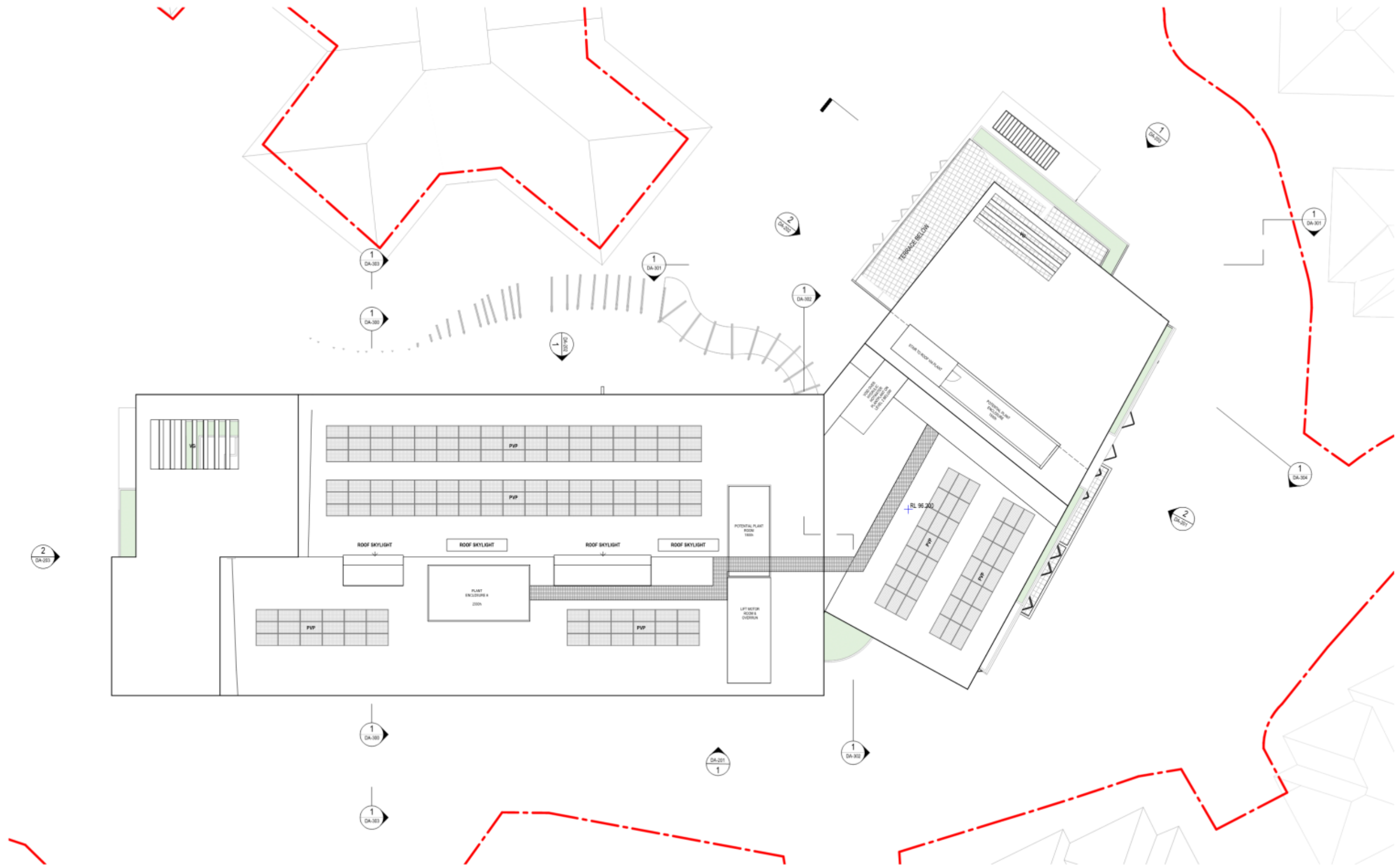
Brisbane  
Level 20, 244 Queen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
F +61 7 3236 2399  
brisbane@jacksonteece.com

Sydney  
Lot 1, For 9 & 23 Hickson Road  
Sydney, NSW 2000 Australia  
T +61 2 9296 0722  
F +61 2 9296 1190  
sydney@jacksonteece.com

Jackson Teece Queensland  
Pty Ltd  
Trading as Jackson Teece  
ABN/AC 113 371 812

Notified Architects  
Darren Barker (AHS), David Hudson (AHS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or in any medium, without the written permission of Jackson Teece. Do not scale this drawing, use Nominal dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



**1 ROOF PLAN**  
1 : 150

Amendments		Issued By	Date	Notes
Rev.	Desc/Rev	SR	27/01/22	
P2	REVISED PRE DA ISSUE	TW	01/10/22	
1	DA ISSUE	TW	09/10/22	
2	REVISED DESIGN	TW	09/10/22	
3	REVISED DA ISSUE	TW	18/10/23	

Legend	
	SITE BOUNDARY
	VERGOLA
	ROOF FALL
	SOLAR PANEL

Client: Carrington  
LIVING-CARE-COMMUNITIES  
enabled to care

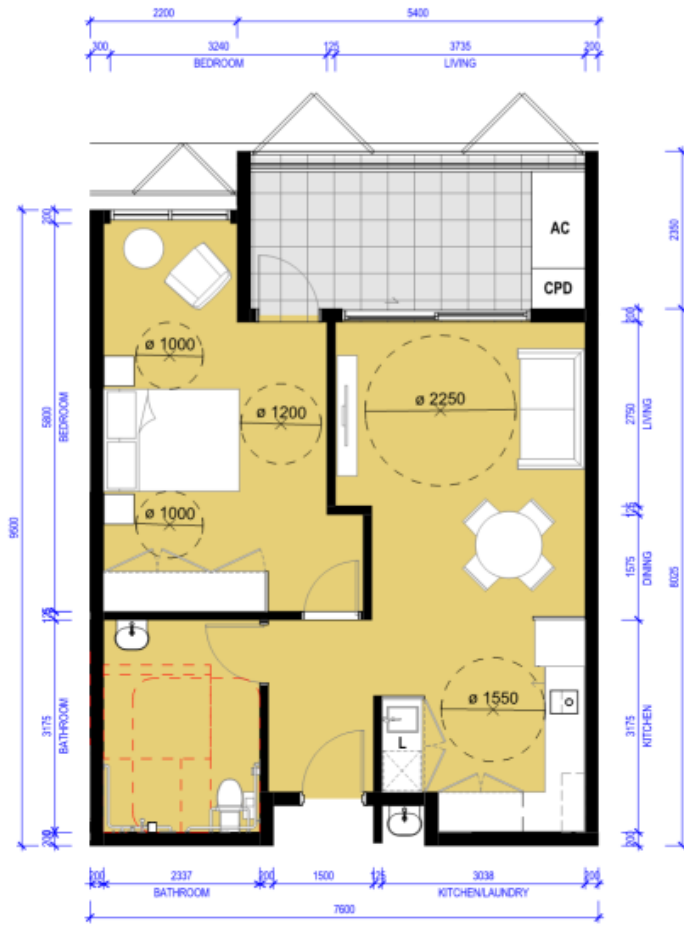
Project: **WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE**

Client: **CARRINGTON CARE**

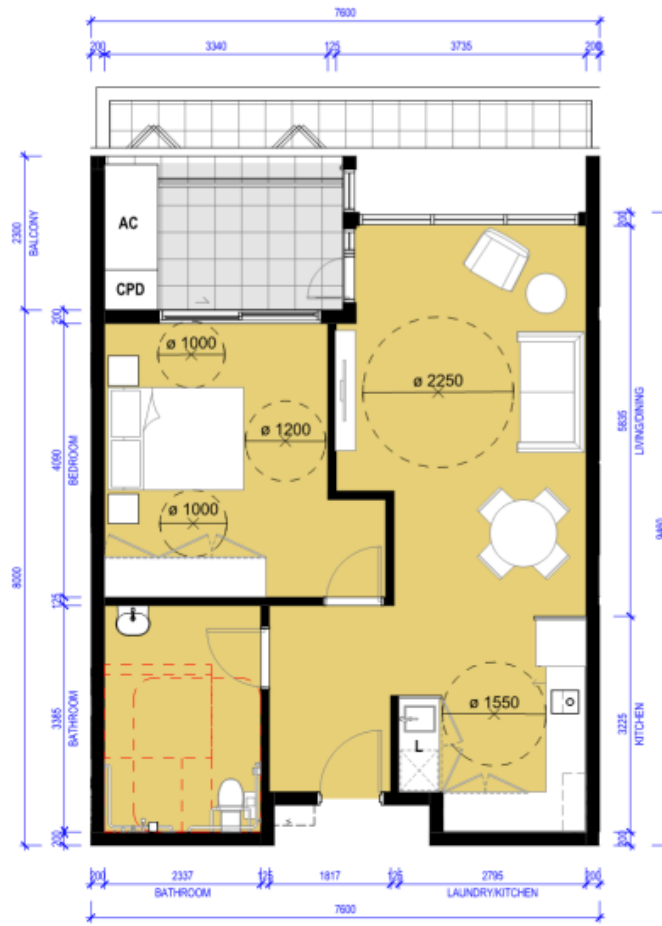
Drawing Title		Project Status	
<b>FLOOR PLAN - ROOF PLAN</b>		<b>DA</b>	
Scale @ A1	As indicated	Sheet Created	FEB 2022
Checked By	TW	Approved By	JG
Discipline	A	Drawing Number	DA-113
Project No.	2021050	Revision	3

JACKSON TEECE	
Brisbane Level 20, 244 Queen Street Brisbane, QLD 4000 Australia T +61 7 3236 2771 F +61 7 3236 2388 brisbane@jacksonteece.com	Sydney Lot 1, For 9 & 23 Hickson Road Sydney, NSW 2000 Australia T +61 2 8086 0722 F +61 2 8086 1190 sydney@jacksonteece.com

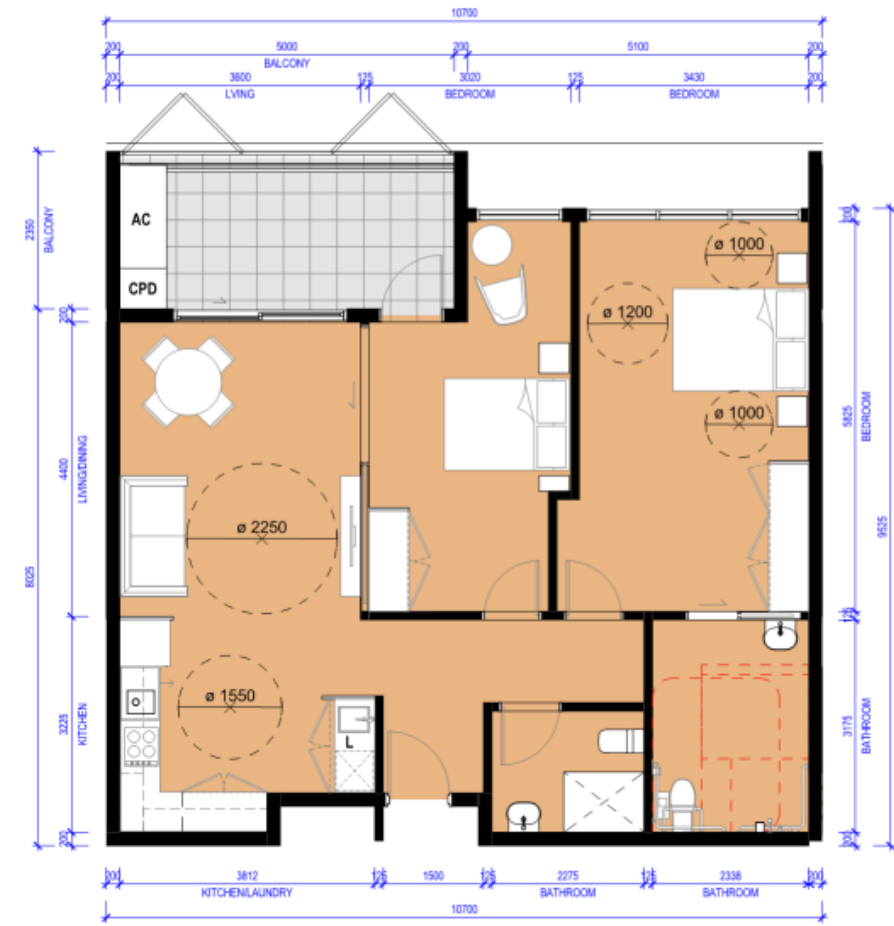
Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing, use Nominal dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



1 TYPE 1A TYPICAL 1 BED CLEARANCES PLAN  
1:50



2 TYPE 1B TYPICAL 1 BED CLEARANCES PLAN  
1:50

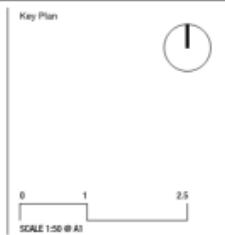


3 TYPE 2A TYPICAL 2 BED CLEARANCES PLAN  
1:50

Rev.	Description	Issued By	Date
1	REVISED DESIGN	TW	04/10/23
2	REVISED DA ISSUE	TW	18/10/23

Notes

Legend



Client  
Carrington  
LIVING-CARE-COMMUNITIES  
enabled to care

Project  
**WOODLAND ASSISTED LIVING APARTMENTS**  
**WEROMBI RD - GRASMERE**  
Client  
CARRINGTON CARE

Drawing Title		Project Status	
PLANS - APARTMENT TYPES_01		DA	
Scale @ A1	1:50	Sheet Created	OCT 2023
Checked By	TW	Approved By	JG
Discipline	A	Drawing Number	DA-150
Project No.	2021050	Revision	2

**JACKSON TEECE**

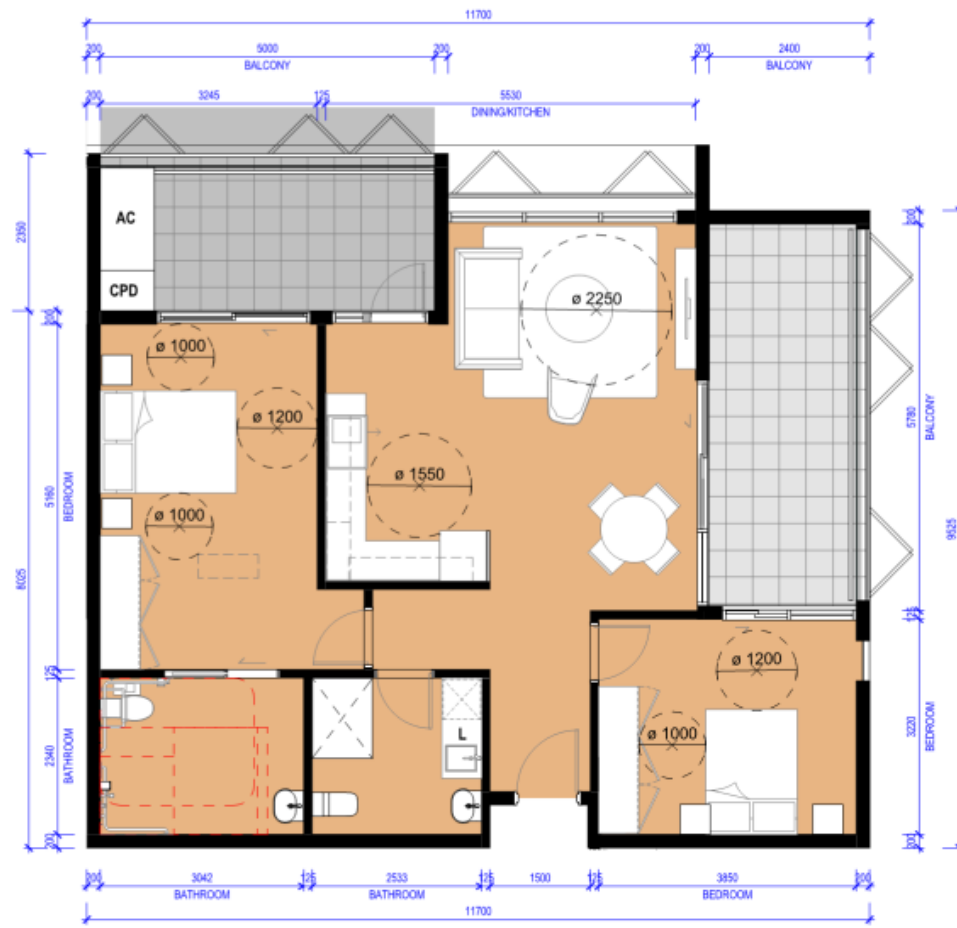
Brisbane  
Level 20, 244 Queen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
Brisbane@jacksonteece.com

Sydney  
Lot 1, For 9/4, 23 Hickson Road  
Sydney, NSW 2000 Australia  
T +61 2 8266 0722  
F +61 2 8266 1190  
sydney@jacksonteece.com

Jackson Teece Queensland  
Pty Ltd  
Trading as Jackson Teece  
ABN 67 113 371 812

Notified Architects  
Darren Barker (AHS), David Nelson (AHS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing, use Ngned dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.

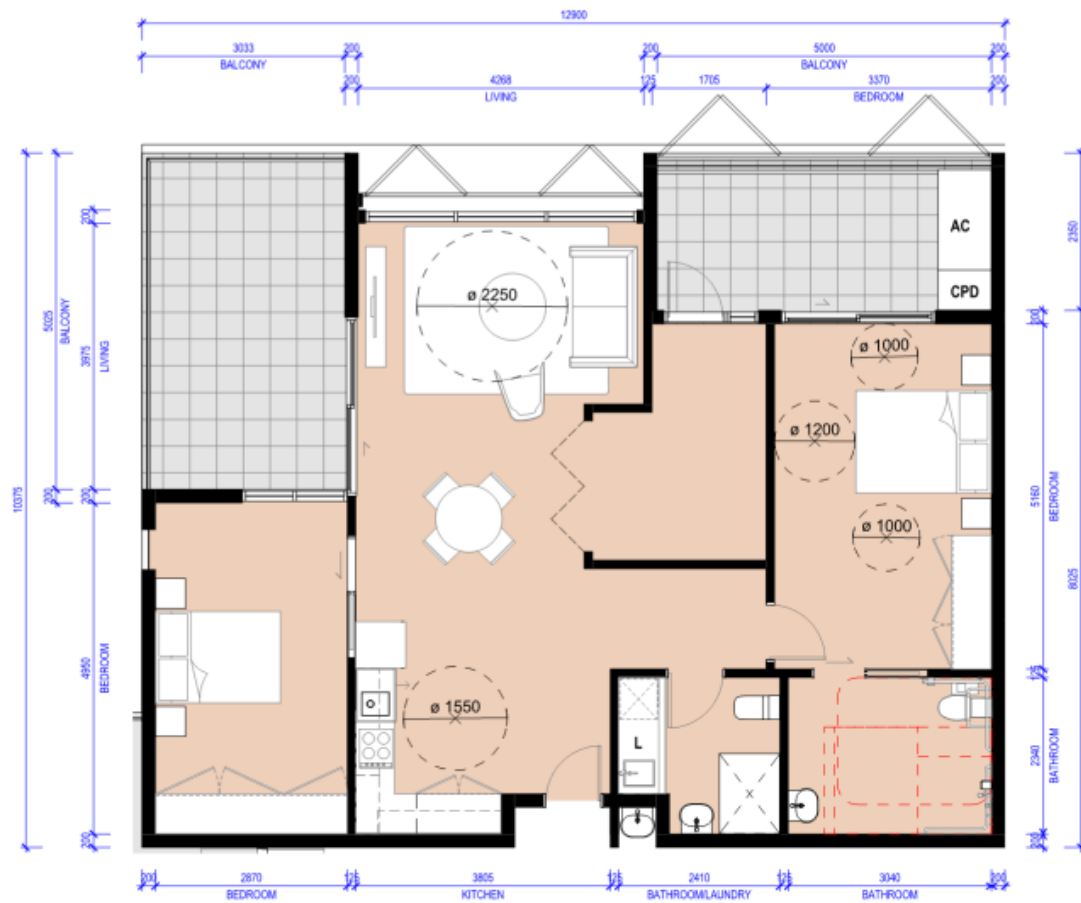


**4 TYPE 2B TYPICAL 2 BED CLEARANCES PLAN**  
1:50

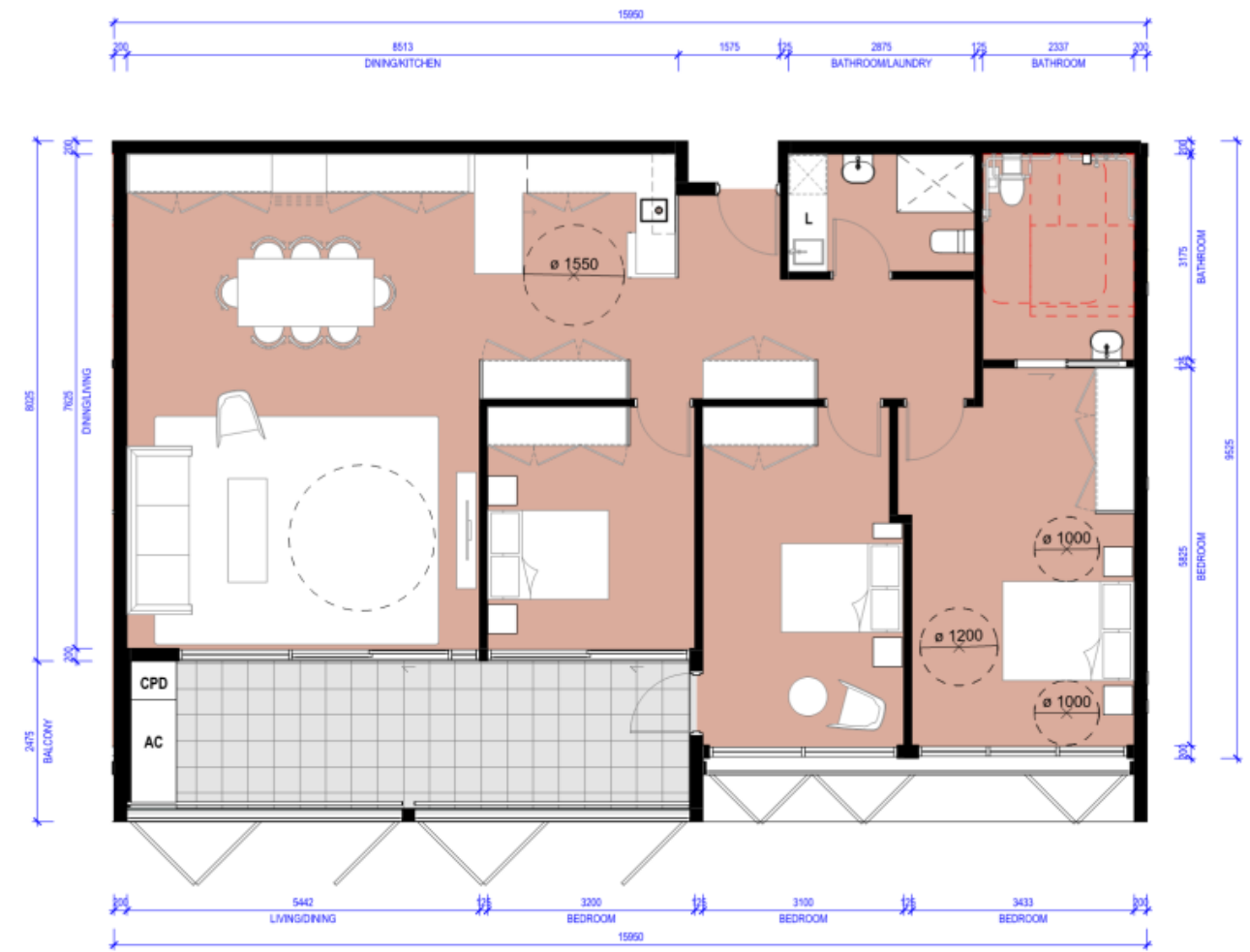


**5 TYPE 2C TYPICAL 2 BED CLEARANCES PLAN**  
1:50

<b>Amendments</b> <table border="1"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Issued By</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>REVISED DA ISSUE</td> <td>TW</td> <td>18/10/23</td> </tr> </tbody> </table>		Rev.	Description	Issued By	Date	1	REVISED DA ISSUE	TW	18/10/23	<b>Notes</b> 	<b>Legend</b> 	<b>Key Plan</b> 	<b>Client</b> 	<b>Project</b> <b>WOODLAND ASSISTED LIVING APARTMENTS</b> <b>WEROMBI RD - GRASMERE</b> <b>Client</b> <b>CARRINGTON CARE</b>	<b>Drawing Title</b> <b>PLANS - APARTMENT TYPES_02</b> <b>Scale @ A1</b> <b>1:50</b> <b>Sheet Created</b> <b>OCT 2022</b> <b>Project No.</b> <b>2021050</b>	<b>Project Status</b> <b>DA</b> <b>Checked By</b> <b>Checker</b> <b>Approved By</b> <b>Approver</b> <b>Discipline</b> <b>A</b> <b>Drawing Number</b> <b>DA-151</b>	<b>Drawn By</b> <b>Author</b> <b>Revision</b> <b>1</b>	<b>JACKSON TEECE</b> <small>                 Brisbane: Level 20, 244 Queen Street, Brisbane, QLD 4000 Australia                  Sydney: Level 19, 224 Victoria Road, Sydney, NSW 2000 Australia                  Perth: Level 19, 224 Victoria Road, Perth, WA 6000 Australia                  Melbourne: Level 19, 224 Victoria Road, Melbourne, VIC 3000 Australia                  Jackson Teece Queensland Pty Ltd                  Trading as Jackson Teece                  ABN 67 113 371 812                  Brisbane: Level 20, 244 Queen Street, Brisbane, QLD 4000 Australia                  Sydney: Level 19, 224 Victoria Road, Sydney, NSW 2000 Australia                  Perth: Level 19, 224 Victoria Road, Perth, WA 6000 Australia                  Melbourne: Level 19, 224 Victoria Road, Melbourne, VIC 3000 Australia                  Jackson Teece Queensland Pty Ltd                  Trading as Jackson Teece                  ABN 67 113 371 812                  Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing, use figure dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.             </small>
Rev.	Description	Issued By	Date															
1	REVISED DA ISSUE	TW	18/10/23															



**6 TYPE 2D TYPICAL 2 BED + STUDY CLEARANCES PLAN**  
1:50



**7 TYPE 3A TYPICAL 2 BED CLEARANCES PLAN**  
1:50

Rev.	Description	Issued By	Date
1	REVISED DA ISSUE	TW	18/10/23

Notes

Legend



Project  
**WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE**

Client  
**CARRINGTON CARE**

Drawing Title		Project Status	
<b>PLANS - APARTMENT TYPES_03</b>		<b>DA</b>	
Scale @ A1	1:50	Sheet Created	Checked By
		Approved By	Drawn By
Project No.	2021050	Discipline	A
Drawing Number	DA-152	Revision	1

**JACKSON TEECE**

Architects  
Darren Barker (AAS), David Hudson (ARC)

Collaborators  
Carrington Living-Care-Communities

Site Address  
Level 20, 244 Dwyer Street  
Sydney, NSW 2000 Australia  
T +61 2 9238 2771  
F +61 2 9238 2388  
jteece@jacksonteece.com.au

Project Address  
Lot 1, For 9 & 23 Hickson Road  
Sydney, NSW 2000 Australia  
T +61 2 9238 0722  
F +61 2 9238 1190  
ap@jacksonteece.com.au

Project Manager  
Phy Lill  
Trading as Jackson Teece  
ABN 67 113 371 812

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing, use Ngned dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



1 SOUTH ELEVATION  
1:150



2 SOUTH EAST ELEVATION  
1:150

MATERIAL PALETTE



Rev.	Description	Issued By	Date
01	REVISED PRE DA ISSUE	SR	07/07/22
02	DA ISSUE	TW	09/10/22
03	REVISED DESIGN	TW	09/10/22
04	REVISED DA ISSUE	TW	18/10/23

**Notes**

- LANDSCAPE IS NOW SHOW FULL ELEVATION VIEW. REFER TO LANDSCAPE DOCUMENTS FOR NEW & EXISTING PLANTINGS.
- COLOURS ON THE ELEVATIONS ARE INDICATIVE TO ASSIST INTERPRETATION OF MATERIAL DIFFERENCES. REFER TO THE MATERIAL PALETTE ON SHEET.
- MAXIMUM HEIGHT CONTROL PLANES ARE NOT SHOWN ON ELEVATIONS. FOR ADDITIONAL HEIGHT PLANE INFORMATION REFER TO DA-300, DA-301, DA-302, DA-303, DA34 & RELEVANT SECTIONS
- ALL FACADE WINDOWS TO APARTMENTS ARE TYPICALLY DOUBLE-GLAZED AWNING WINDOWS, EXCEPT FOR GLAZED SLIDING DOOR & GLAZED FIXED PANELS.
- REFER TO RELEVANT PHOTO MONTAGE FOR REALISTIC RENDER

Legend

Symbol	Description
(Symbol)	EXISTING GROUND LINE
(Symbol)	PROPOSED GROUND LINE



**Project**  
WOODLAND ASSISTED LIVING APARTMENTS  
WEROMBI RD - GRASMERE

**Client**  
CARRINGTON CARE

Drawing Title		Project Status	
ELEVATIONS		DA	
Scale @ A1	As indicated	Sheet Created	JUNE 2022
Checked By	JG	Approved By	JG
Discipline	A	Drawing Number	DA-201
Project No.	2021050	Revision	3

**JACKSON TEECE**

Architects

Level 20, 244 Owen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3206 0771  
F +61 7 3206 0388  
brisbane@jacksonteece.com.au

Level 1, Per 9 & 23 Holman Road  
Sydney, NSW 2000 Australia  
T +61 2 8206 0722  
F +61 2 8206 1100  
sydney@jacksonteece.com.au

Jackson Teece Queensland  
 Pty Ltd  
 Trading as Jackson Teece  
 ABN 67 113 571 812

Registered Architects  
 (Sydney Office) (NSW)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Shaded areas show drawings with typical dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



1 NORTH WEST ELEVATION  
1:150



2 NORTH ELEVATION  
1:150

MATERIAL PALETTE



Rev.	Description	Issued By	Date
01	REVISED PRE DA ISSUE	TM	07/07/22
02	DA ISSUE	TW	01/10/22
03	REVISED DESIGN	TW	04/10/23
04	REVISED DA ISSUE	TW	18/10/23

**Notes**

- LANDSCAPE IS NOW SHOW FULL ELEVATION VIEW. REFER TO LANDSCAPE DOCUMENTS FOR NEW & EXISTING PLANTING.
- COLOURS ON THE ELEVATIONS ARE INDICATIVE TO ASSIST INTERPRETATION OF MATERIAL DIFFERENCES. REFER TO THE MATERIAL PALETTE ON SHEET.
- MAXIMUM HEIGHT CONTROL PLANES ARE NOT SHOWN ON ELEVATIONS. FOR ADDITIONAL HEIGHT PLANE INFORMATION REFER TO DA-300, DA-301, DA-302, DA-303, DA34 & RELEVANT SECTIONS
- ALL FACADE WINDOWS TO APARTMENTS ARE TYPICALLY DOUBLE-GLAZED AWNING WINDOWS, EXCEPT FOR GLAZED SLIDING DOOR & GLAZED FIXED PANELS.
- REFER TO RELEVANT PHOTO MONTAGE FOR REALISTIC RENDER

Legend

Symbol	Description
(Symbol)	Client
(Symbol)	Project
(Symbol)	Drawing Title
(Symbol)	Scale
(Symbol)	Sheet Created
(Symbol)	Project No.
(Symbol)	Discipline
(Symbol)	Approved By
(Symbol)	Drawn By
(Symbol)	Revision

**Client**  
Carrington  
LIVING-CARE-COMMUNITIES  
enabled to care

**Project**  
WOODLAND ASSISTED LIVING APARTMENTS  
WEROMBI RD - GRASMERE

**Client**  
CARRINGTON CARE

**Drawing Title**  
ELEVATIONS

Scale @ A1  
As indicated

Sheet Created  
JUNE 2022

Project No.  
2021050

Discipline  
A

Approved By  
JG

Drawn By  
JG

Revision  
3

**JACKSON TEECE**

Building Level 20, 244 Queen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
W www.jacksonteece.com.au

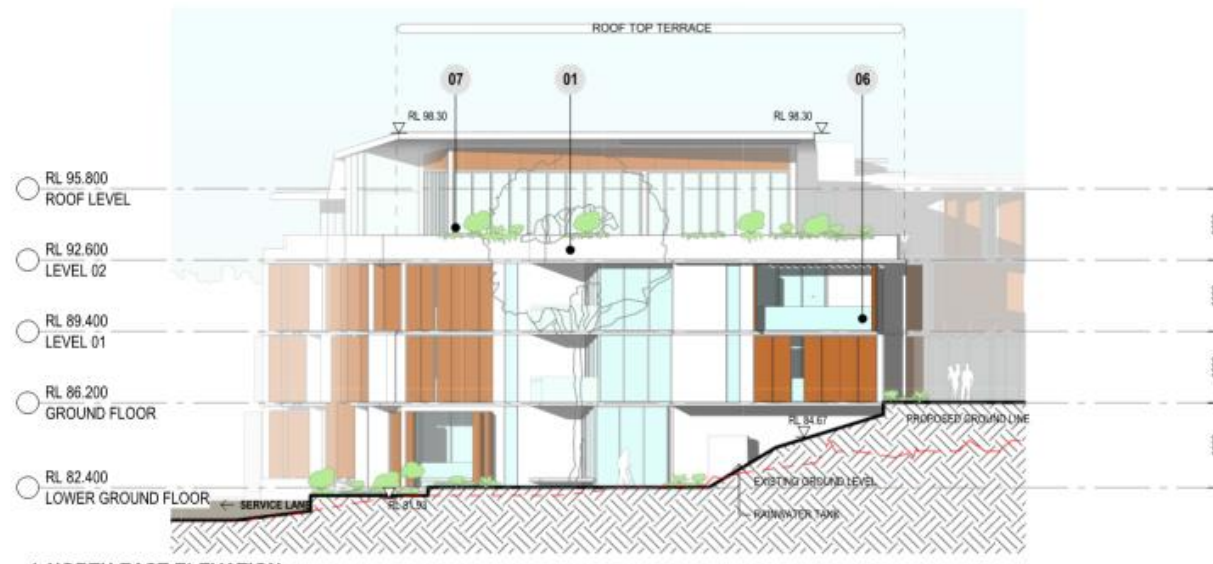
Office Level 1, Box 94, 22 Hildesheim Road  
Sydney, NSW 2000 Australia  
T +61 2 8296 2722  
F +61 2 8296 1192  
info@jacksonteece.com.au

Jackson Teece Queensland  
 Pty Ltd  
 Trading as Jackson Teece  
 ABN 47 113 571 812

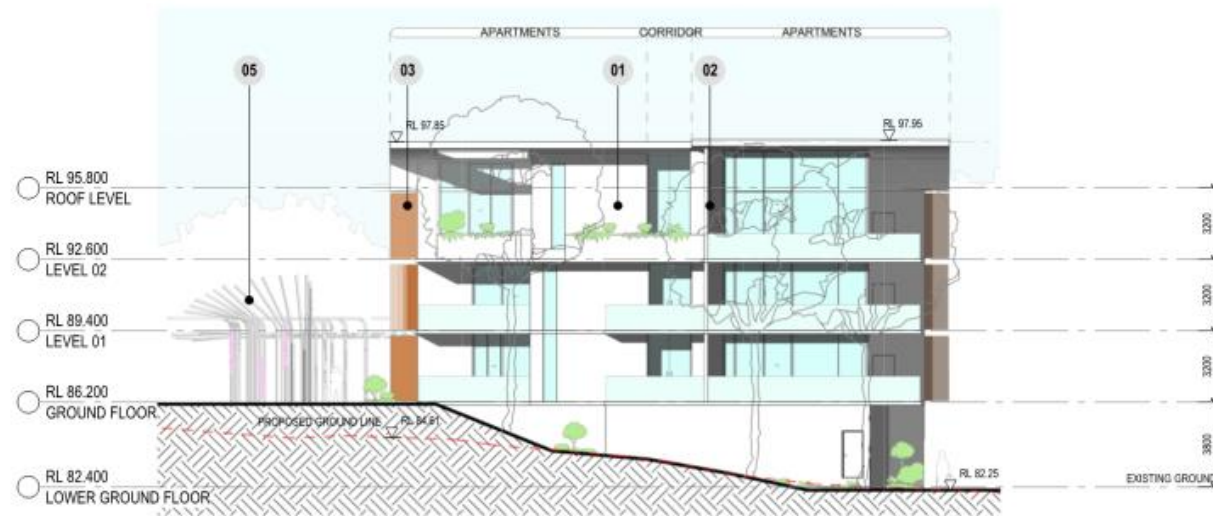
Registered Architects  
Gordon Barker (AHS), David Nelson (AHS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Shaded areas show drawings are conceptual dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.





1 NORTH EAST ELEVATION  
1:150



2 WEST ELEVATION  
1:150

MATERIAL PALETTE



Rev.	Description	Issued By	Date
01	REVISED PRE DA ISSUE	SW	07/01/22
02	DA ISSUE	TW	01/10/22
03	REVISED DESIGN	TW	04/10/23
04	REVISED DA ISSUE	TW	18/10/23

**Notes**

- LANDSCAPE IS NOW SHOW FULL ELEVATION VIEW. REFER TO LANDSCAPE DOCUMENTS FOR NEW & EXISTING PLANTING.
- COLOURS ON THE ELEVATIONS ARE INDICATIVE TO ASSIST INTERPRETATION OF MATERIAL DIFFERENCES. REFER TO THE MATERIAL PALETTE ON SHEET.
- MAXIMUM HEIGHT CONTROL PLANES ARE NOT SHOWN ON ELEVATIONS. FOR ADDITIONAL HEIGHT PLANE INFORMATION REFER TO DA-300, DA-301, DA-302, DA-303, DA304 & RELEVANT SECTIONS
- ALL FACADE WINDOWS TO APARTMENTS ARE TYPICALLY DOUBLE-GLAZED AWNING WINDOWS, EXCEPT FOR GLAZED SLIDING DOOR & GLAZED FIXED PANELS.

**Legend**



**Client**  
CARRINGTON CARE

**Project**  
WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE

**Client**  
CARRINGTON CARE

**Drawing Title**  
ELEVATIONS

Scale @ A1  
As indicated

Sheet Created  
SEPT 22

Project No.  
2021050

Discipline  
A

Checked By  
TW

Approved By  
JG

Drawing Number  
DA-203

Project Status  
DA

Drawn By  
DC

Revision  
3

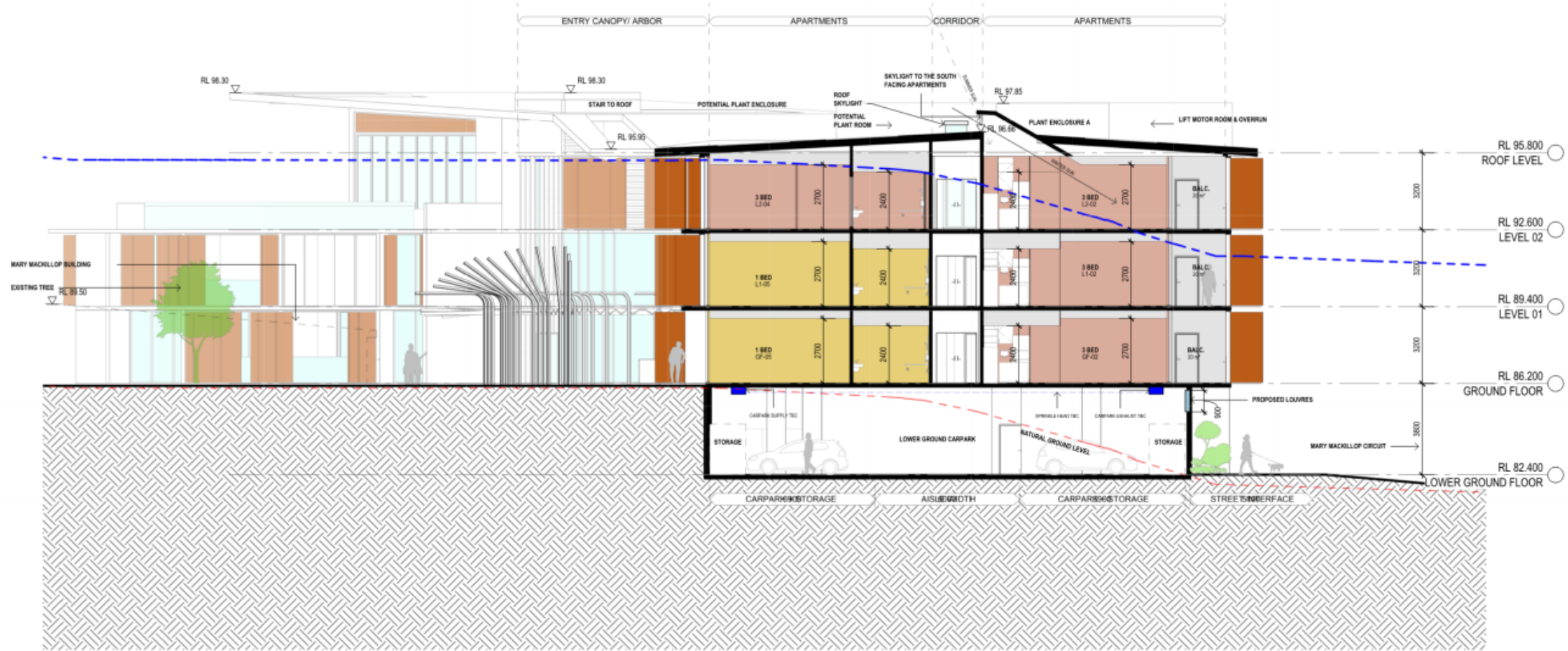
**JACKSON TEECE**

Building Level 20, 244 Queen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
F +61 7 3236 2388  
jacksonteece.com.au

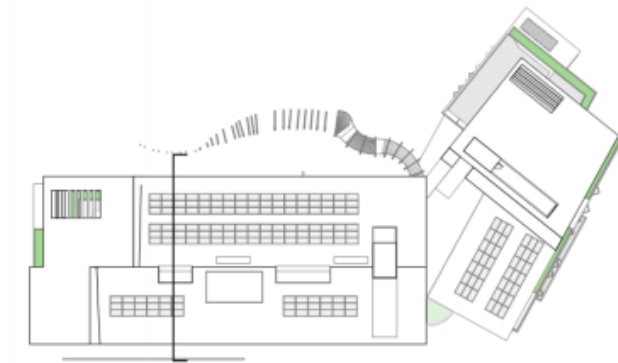
Office Level 1, For 8, 22 Holman Road  
Sydney, NSW 2000 Australia  
T +61 2 9296 0722  
F +61 2 9296 1190  
info@jacksonteece.com

Jackson Teece Queensland Pty Ltd  
Trading as Jackson Teece  
ABN 47 113 571 812

File Date: 18/10/2023 13:10:26 AEST



1 SECTION  
1:100



2 KEY PLAN

Rev.	Description	Issued By	Date
P2	REVISED PRE DA ISSUE	SH	27/01/22
1	DA ISSUE	TW	01/10/22
2	REVISED DESIGN	TW	09/10/23
3	REVISED DA ISSUE	TW	18/10/23

Plot Date: 18/10/2023 10:21:14 AM

Legend
EXISTING GROUND LEVEL
9.5m HEIGHT LIMIT



Project  
**WOODLAND ASSISTED LIVING APARTMENTS**  
**WEROMBI RD - GRASMERE**

Client  
**CARRINGTON CARE**

Drawing Title  
**SECTION**

Scale @ A1  
**As indicated**

Sheet Created  
**JUNE 2022**

Project No.  
**2021050**

Project Status  
**DA**

Checked By  
**TW**

Discipline  
**A**

Approved By  
**JG**

Drawing Number  
**DA-300**

Drawn By  
**HF**

Revision  
**3**

**JACKSON TEECE**

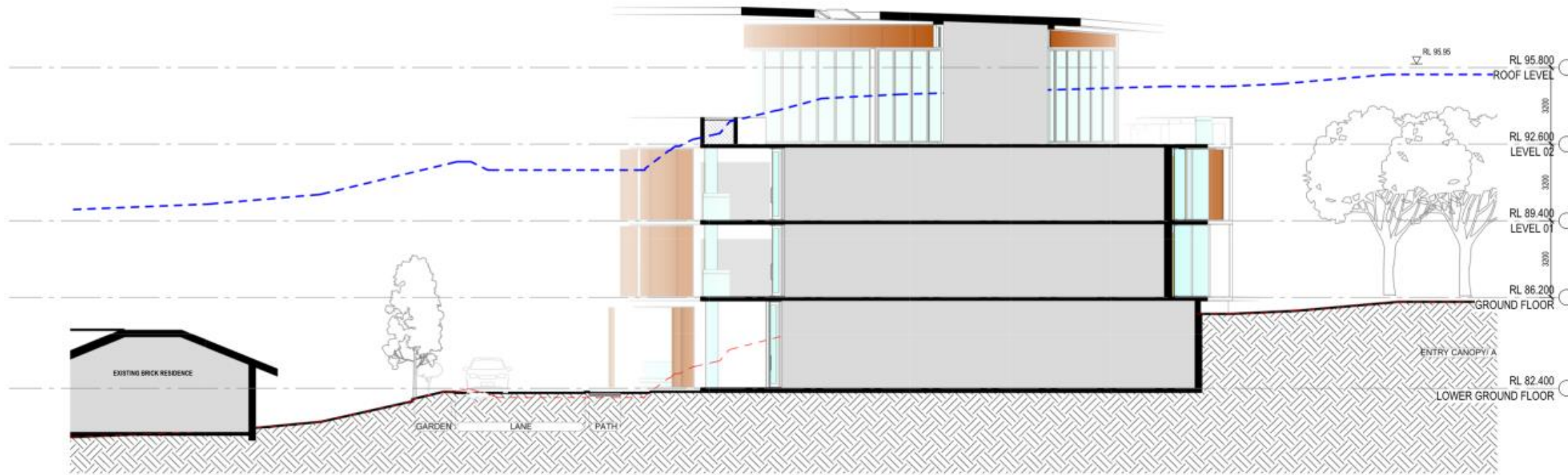
Brisbane  
Level 20, 244 Queen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
Brisbane@jacksonteece.com.au

Sydney  
Lot 1, For 9-11, 23 Hickson Road  
Sydney, NSW 2000 Australia  
T +61 2 8206 0722  
F +61 2 8206 1190  
sydney@jacksonteece.com.au

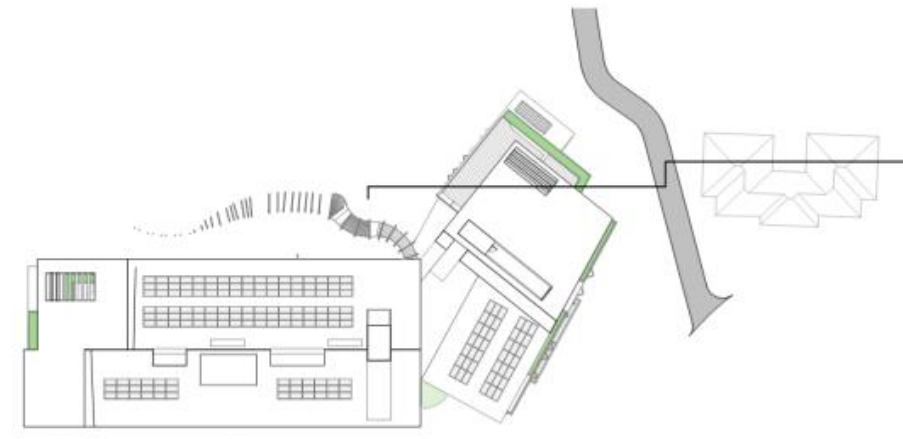
Jackson Teece Queensland  
Pty Ltd  
Trading as Jackson Teece  
ABN 67 113 377 812

Notified Architects  
Darren Barker (AAAS), David Hudson (ARC)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing, use Ngned dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



1 SECTION  
1:100



2 KEY PLAN

Rev.	Desc/Rev	Issued By	Date
01	REVISED PRE DA ISSUE	SR	27/01/22
1	DA ISSUE	TW	01/10/22
2	COUNCIL RFI 2 DA2023-153-1 RESPONSE	TW	19/06/23
3	REVISED DESIGN	TW	28/10/23
4	REVISED DA ISSUE	TW	18/10/23

Plot Data: 19/10/2023 10:22:54 AM

Legend
EXISTING GROUND LEVEL
9.5m HEIGHT LIMIT



Client  
**CARRINGTON CARE**

Project  
**WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE**

Project No.  
**2021050**

Drawing Title  
**SECTION**

Scale @ A1  
**As indicated**

Sheet Created  
**JUNE 2022**

Project No.  
**2021050**

Checked By  
**TW**

Discipline  
**A**

Approved By  
**JG**

Drawing Number  
**DA-301**

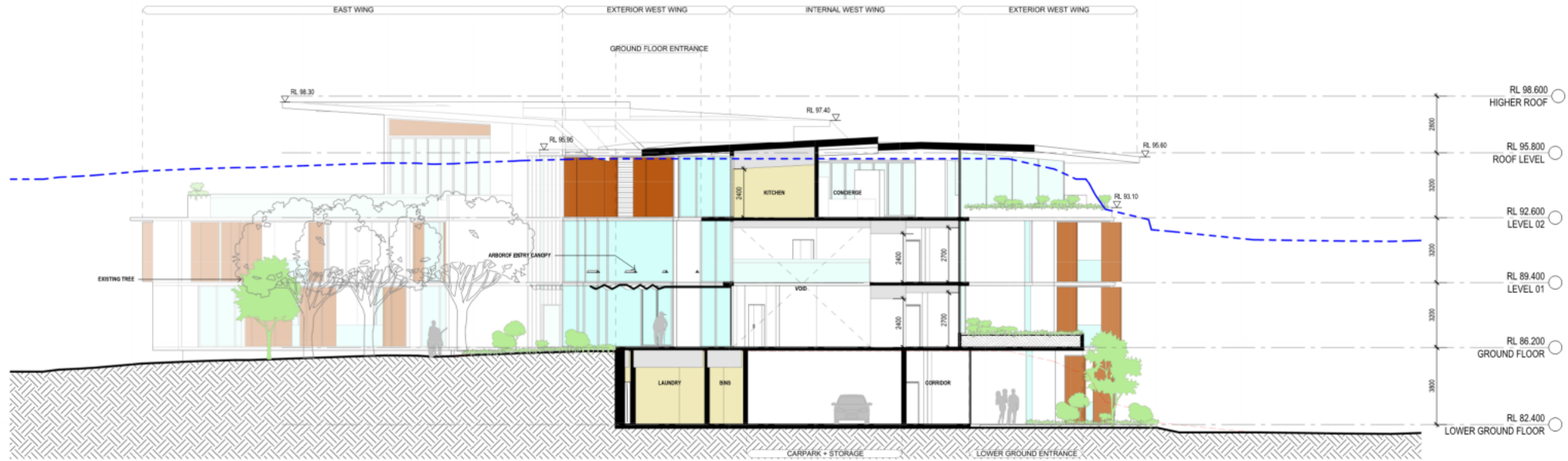
Drawn By  
**SR**

Revision  
**4**

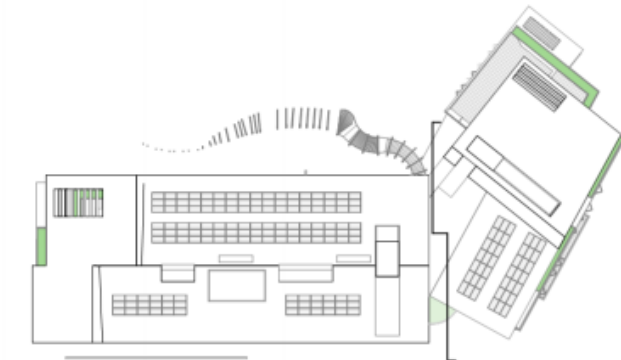
**JACKSON TEECE**

Brisbane: Level 20, 244 Queen Street, Brisbane, QLD 4000 Australia. T +61 7 3206 2771, F +61 7 3206 2388, brisbane@jacksonteece.com.au  
 Sydney: Lot 1, Plot 9 & 23 Hickey Road, Sydney, NSW 2000 Australia. T +61 2 8206 2722, F +61 2 8206 1190, sydney@jacksonteece.com.au  
 Jackson Teece Queensland Pty Ltd, Trading as Jackson Teece, ABN 67 113 577 812

Notwithstanding to whomsoever, the copyright in this drawing shall remain the property of Jackson Teece. No part of this drawing shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, without the written permission of Jackson Teece. Do not scale this drawing; use the dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



1 ENTRY/FOYER SECTION  
1:100



2 KEY PLAN

Rev.	Description	Issued By	Date
P2	REVISED PRE DA ISSUE	SR	27/01/22
1	DA ISSUE	TW	01/10/22
2	REVISED DESIGN	TW	09/10/23
3	REVISED DA ISSUE	TW	18/10/23

Plot Date: 18/10/2023 10:24:16 AM

Legend
EXISTING GROUND LEVEL
9.5m HEIGHT LIMIT



Client  
**CARRINGTON CARE**

Project  
**WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE**

Drawing Title		Project Status	
<b>SECTION</b>		<b>DA</b>	
Scale @ A1	As indicated	Sheet Created	Checked By
		<b>JULY 2022</b>	<b>TW</b>
Project No.	Discipline	Approved By	Drawn By
<b>2021050</b>	<b>A</b>	<b>JG</b>	<b>SR</b>
		Drawing Number	Revision
		<b>DA-302</b>	<b>3</b>

**JACKSON TEECE**

Brisbane  
Level 20, 244 Queen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
F +61 7 3236 2388  
brisbane@jacksonteece.com

Sydney  
Lot 1, For 9 & 23 Hickson Road  
Sydney, NSW 2000 Australia  
T +61 2 8206 0722  
F +61 2 8206 1190  
sydney@jacksonteece.com

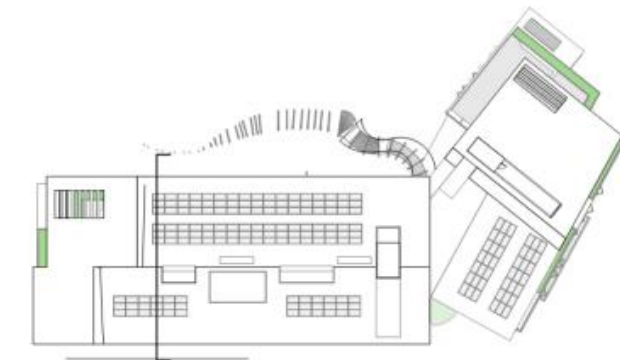
Jackson Teece Queensland  
Pty Ltd  
Trading as Jackson Teece  
ABN 67 113 371 812

Notified Architects  
Darren Barker (AAS), David Hudson (AAS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing, use Nominated dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



1 SECTION  
1:100



2 KEY PLAN

Rev.	Description	Issued By	Date
P2	REVISION	TW	01/10/22
1	DA ISSUE	TW	01/10/22
2	REVISED DESIGN	TW	04/10/23
3	REVISED DA ISSUE	TW	18/10/23

Notes

Legend
EXISTING GROUND LEVEL
9.5m HEIGHT LIMIT



Project  
**WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE**

Client  
**CARRINGTON CARE**

Drawing Title  
**SECTION**

Scale @ A1  
**As indicated**

Sheet Created

Project No.  
**2021050**

Checked By  
**TW**

Discipline  
**A**

Approved By  
**JG**

Drawing Number  
**DA-303**

Drawn By  
**DC**

Revision  
**3**

**JACKSON TEECE**

Head Office: Level 20, 244 Queen Street, Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
F +61 7 3236 2388  
jteece@jacksonteece.com.au

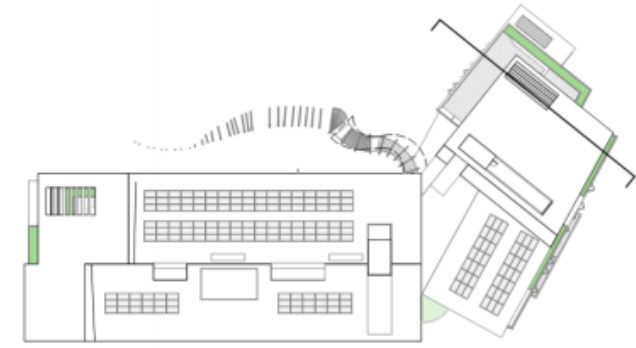
Sydney Office: Lot 1, For 8, 22 Hickson Road, Sydney, NSW 2000 Australia  
T +61 2 8266 2722  
F +61 2 8266 1700  
sydney@jacksonteece.com.au

Jackson Teece Queensland Pty Ltd  
Trading as Jackson Teece  
ABN 42 113 577 812

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing; use named dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



Section 04  
1:100



Amendments			
Rev.	Desc/Rev	Issued By	Date
P2	REVISED PRE DA ISSUE	SR	27/01/22
1	DA ISSUE	TW	01/10/22
2	REVISED DESIGN	TW	09/10/23
3	REVISED DA ISSUE	TW	18/10/23

**Legend**

- EXISTING GROUND LEVEL
- - - 9.5m HEIGHT LIMIT

0 2 5  
SCALE 1:100 @ A1

**Client**  
Carrington  
LIVING-CARE-COMMUNITIES  
enabled to care

**Project**  
WOODLAND ASSISTED LIVING  
APARTMENTS  
WEROMBI RD - GRASMERE

**Client**  
CARRINGTON CARE

Drawing Title		Project Status	
SECTION		DA	
Scale @ A1	As indicated	Sheet Created	Checked By
		JUNE 2022	TW
Project No.	Discipline	Approved By	Drawn By
2021050	A	JG	SR
		Drawing Number	Revision
		DA-304	3

**JACKSON TEECE**

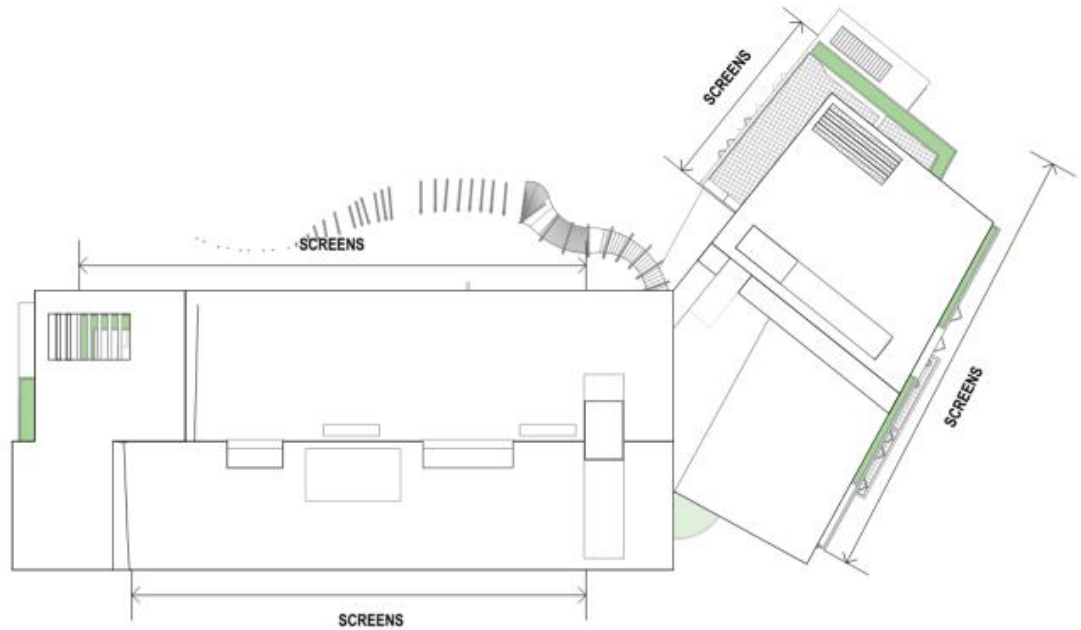
Brisbane  
Level 20, 244 Queen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
Brisbane@jacksonteece.com

Sydney  
Lot 1, For 9 & 23 Hickson Road  
Sydney, NSW 2000 Australia  
T +61 2 8266 2722  
F +61 2 8266 1190  
sydney@jacksonteece.com

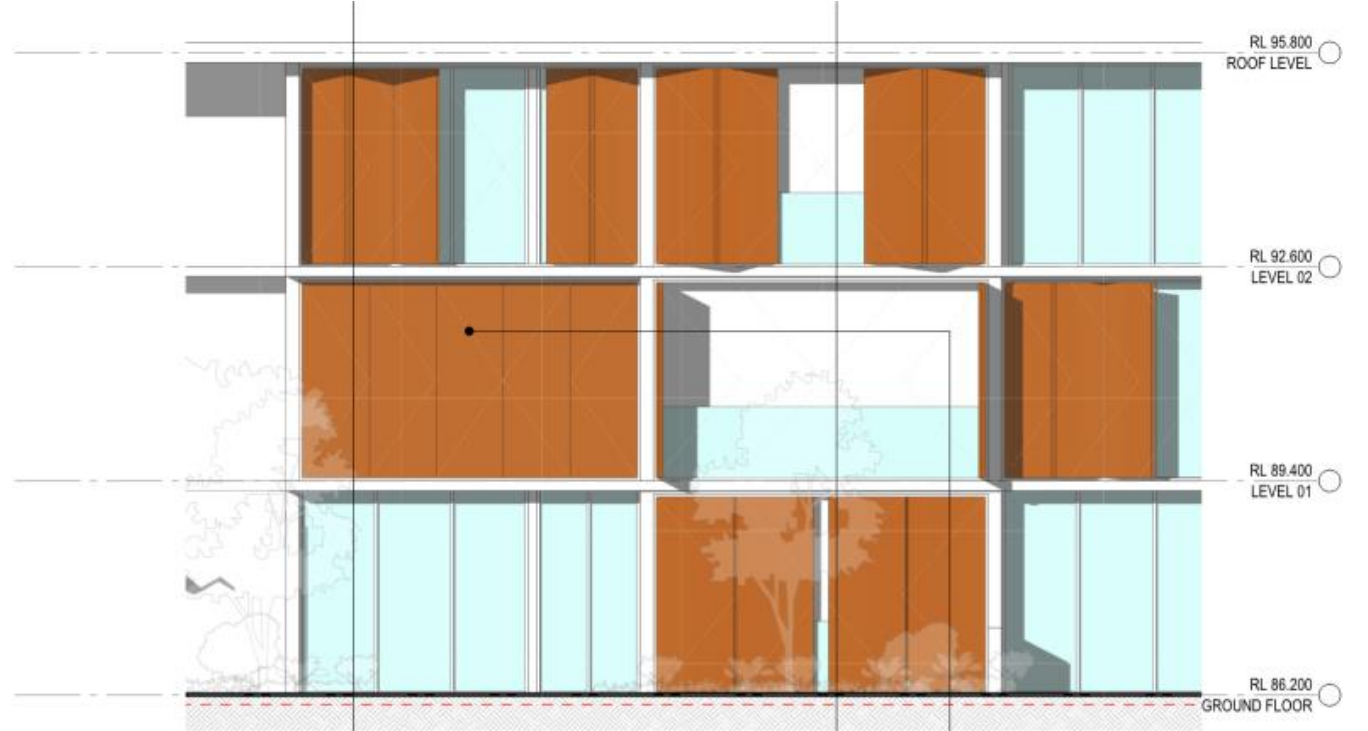
Jackson Teece Queensland  
Pty Ltd  
Trading as Jackson Teece  
ABN/AC 113 377 812

Notified Architects  
Darren Barker (AAAS), David Hudson (AAAS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing; use Nominated dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



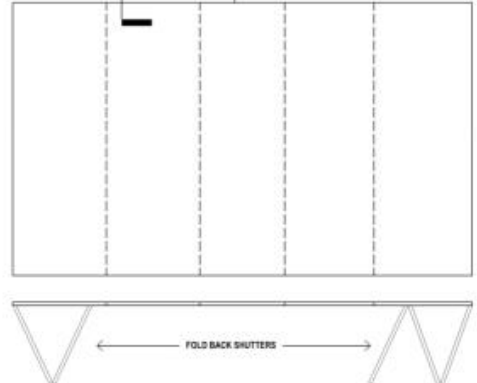
1 SCREENS LOCATION PLAN



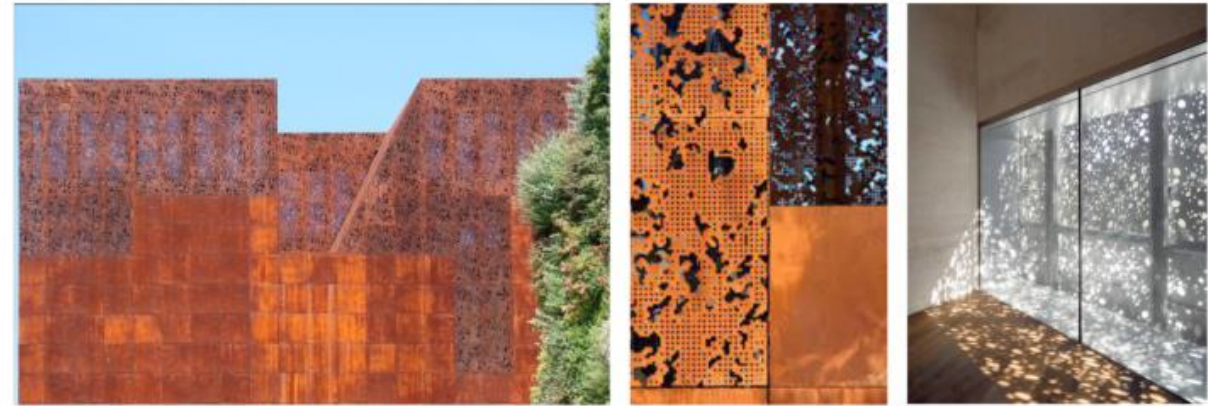
3 ELEVATION - SCREENS COMPOSITION

**THE CONCEPT**

Woodland Assisted Living takes its name from the sites bushland character and includes architectural elements such as the balcony screens and northern entrance canopy adopting landscape imagery to reflect the sites "woodland" vegetated landscape on the site pre colonization.



2 NORTHWEST ELEVATION SCREENS



Rev.	Desc/Rev	Issued By	Date
1	REVISED PRE DA ISSUE	SW	27/01/22
2	DA ISSUE	TW	01/10/22
3	REVISED DESIGN	TW	09/10/22
4	REVISED DA ISSUE	TW	18/10/23

Legend	Key Plan

Client	Project	Drawing Title
Carrington LIVING-CARE-COMMUNITIES enabled to care	WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE	BALCONY SCREEN CONCEPT

Scale @ A1	Project Status
As indicated	DA

Sheet Created	Checked By	Approved By	Drawn By
JUNE 2022	TW	JG	HF

Project No.	Discipline	Drawing Number	Revision
2021050	A	DA-400	3

**JACKSON TEECE**

Architects  
Level 20, 244 Queen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
F +61 7 3236 2388  
brisbane@jacksonteece.com

Office  
Lot 1, Per 9 & 23 Hocking Road  
Sydney, NSW 2000 Australia  
T +61 2 9296 0722  
F +61 2 9296 1190  
sydney@jacksonteece.com

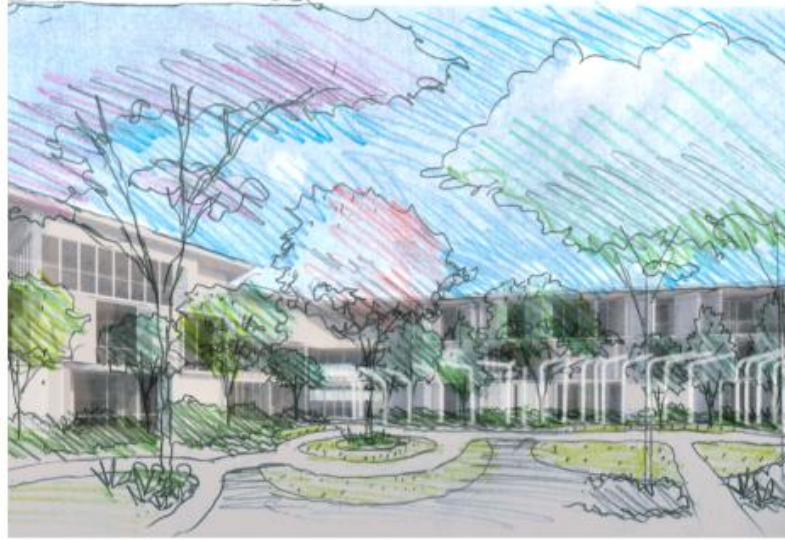
Jackson Teece Queensland  
Pty Ltd  
Trading as Jackson Teece  
ABN 67 113 577 812

Residential Architects  
Darren Barker (AAS), Einfeld Nelson (AAS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing and report dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



1 WOODLAND ENTRY ARBOR CONCEPT DESIGN



Amendments		Issued By	Date
Rev.	Description		
1	REVISED PRE DA ISSUE	SH	07/07/22
2	DA ISSUE	TW	01/10/22
3	REVISED DESIGN	TW	04/10/22
	REVISED DA ISSUE	TW	18/10/23

Notes	
AWNING - RAIN/SUN SHELTER SUPPORTED FROM ARBOR FRAMING	AWNING TRANSITIONS TO ARBOR TRANSITIONS TO SCREEN TRANSITIONS TO POLE

ARBOR  
- WIRE + RODS FOR  
PLANTING  
- STEEL POWDER COATED  
COLUMN FRAME SUPPORT

Legend



Project  
**WOODLAND ASSISTED LIVING APARTMENTS**  
**WEROMBI RD - GRASMERE**

Client  
**CARRINGTON CARE**

Drawing Title  
**ENTRY ARBOR CONCEPT DESIGN**

Scale	As Indicated	Project Status	DA
Sheet Created	JUNE 2022	Checked By	TW
Approved By	JG	Discipline	A
Drawn By	HF	Drawing Number	DA-401
Revision	3	Project No.	2021050

**JACKSON TEECE**

Business  
Level 20, 244 Owen Street  
Melbourne, VIC 3000 Australia  
T +61 3 9396 0771  
F +61 3 9396 0388  
www.jacksonteece.com.au

Office  
Level 1, Plot 9 & 23 Hocking Road  
Spotswood, VIC 3042 Australia  
T +61 3 9396 0722  
F +61 3 9396 1190  
sp@jacksonteece.com.au

Jackson Teece Queensland  
Pty Ltd  
Trading as Jackson Teece  
ABN 67 113 577 812

Registered Architects  
Darren Barker (AAS), David Hudson (AAS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing as stated dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.






1 VIEW FROM NORTH WEST (MARY MACKILLOP FORECOURT)

Amendments		Issued By	Date	Notes
Rev.	Desc/Rev	SW	27/07/22	
1	REVISED PRE DA ISSUE	TW	01/10/22	
2	DA ISSUE	TW	09/10/22	
3	REVISED DESIGN	TW	18/10/23	
4	REVISED DA ISSUE	TW	18/10/23	

Legend	

Client



**Carrington**  
LIVING - CARE - COMMUNITY  
enabled to care

Project

**WOODLAND ASSISTED LIVING APARTMENTS  
WEROMBI RD - GRASMERE**

Client  
**CARRINGTON CARE**

Drawing Title

**3D MASSING STUDY**

Scale @ A1  
**1 : 100**

Sheet Created  
**JULY 2022**

Project No.  
**2021050**

Checked By  
**TW**

Discipline  
**A**

Approved By  
**JG**

Drawing Number  
**DA-405**

Drawn By  
**HF**

Revision  
**3**

**JACKSON TEECE**

Head Office  
Level 20, 244 Queen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
F +61 7 3236 2388  
brisbane@jacksonteece.com

Office  
Level 1, Per 9 & 23 Hickson Road  
Sydney, NSW 2000 Australia  
T +61 2 8296 2722  
F +61 2 8296 1192  
sydney@jacksonteece.com

Jackson Teece Queensland  
Pty Ltd  
Trading as Jackson Teece  
ABN 47 113 571 812

Responsible Architects  
Darren Barker (AAS), David Hudson (AAS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing, use 'As per' dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



1 VIEW FROM SOUTH EAST LOOKING WEST ALONG MACKILLOP CIRCUIT (LOWER GROUND ENTRANCE RHS)

Rev.	Description	Issued By	Date
01	REVISED PRE-DA ISSUE	SH	27/07/22
1	DA ISSUE	TW	01/10/22
2	REVISED DESIGN	TW	09/10/22
3	REVISED DA ISSUE	TW	18/10/23

Notes

Legend

Client  
 Carrington  
 LIVING-CARE-COMMUNITIES  
 enabled to care

Project  
**WOODLAND ASSISTED LIVING APARTMENTS**  
**WEROMBI RD - GRASMERE**

Client  
**CARRINGTON CARE**

Drawing Title  
**3D MASSING STUDY**

Scale @ A1  
**1 : 100**

Sheet Created  
**JULY 2022**

Project No.  
**2021050**

Checked By  
**TW**

Discipline  
**A**

Approved By  
**JG**

Drawing Number  
**DA-406**

Drawn By  
**HF**

Revision  
**3**

**JACKSON TEECE**

Architect

Address: Level 20, 244 Queen Street, Brisbane, QLD 4000 Australia  
 Phone: +61 7 3236 2771  
 Website: jacksonteece.com.au

Office: Level 1, Per 9 & 23 Hickson Road, Sydney, NSW 2000 Australia  
 Phone: +61 2 8296 2722  
 Email: info@jacksonteece.com.au

Project Status  
**DA**

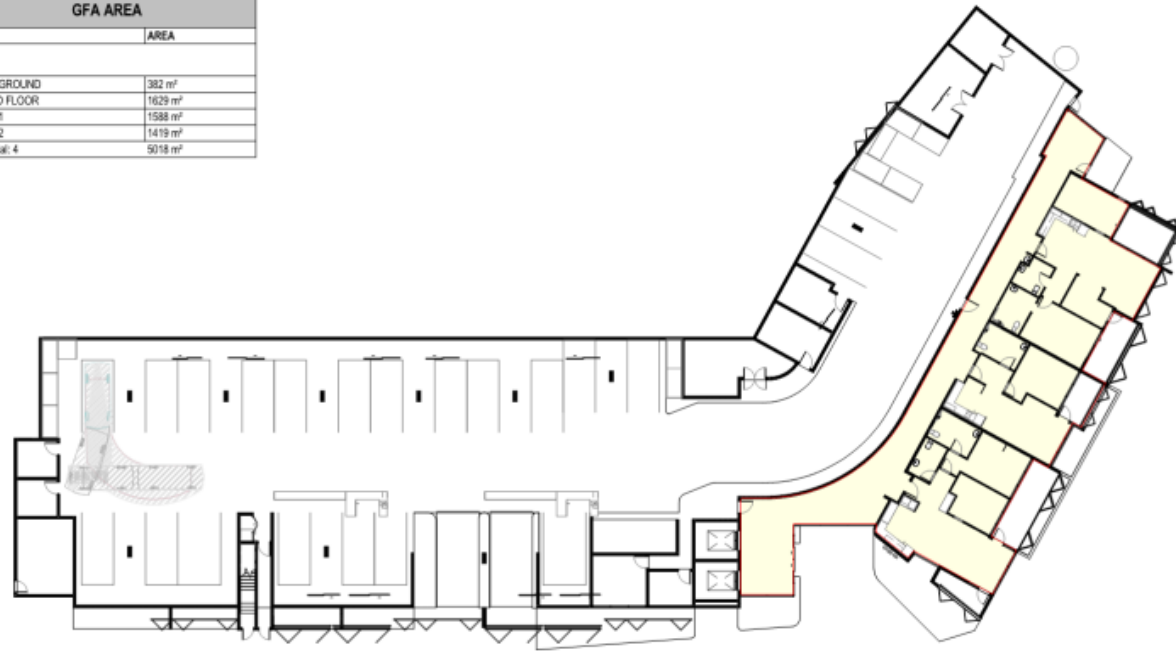
Project Lead  
 Jackson Teece  
 AMB/21 113 577 812

Responsible Architects  
 Damien Barker (AAS), David Hudson (AAS)

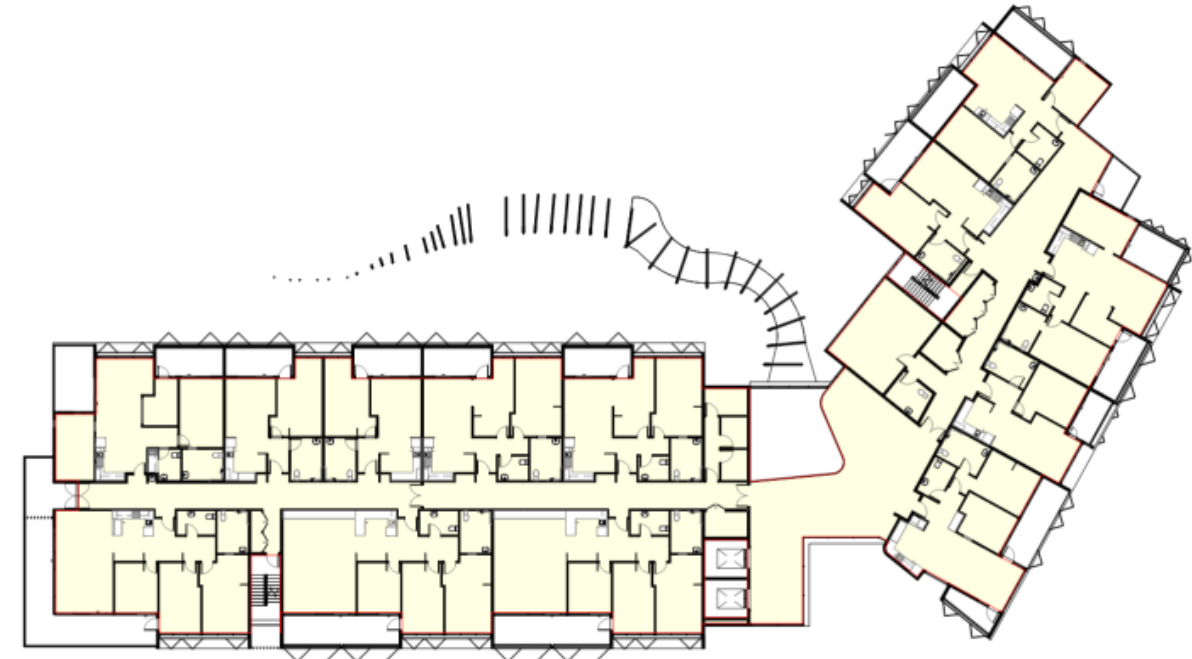
Copyright and information contained in this drawing are copyright and may not be reproduced in whole or in part or by any means, without the written permission of Jackson Teece. Do not scale this drawing to any specific dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.

**SITE AREA**  
8253 m<sup>2</sup>

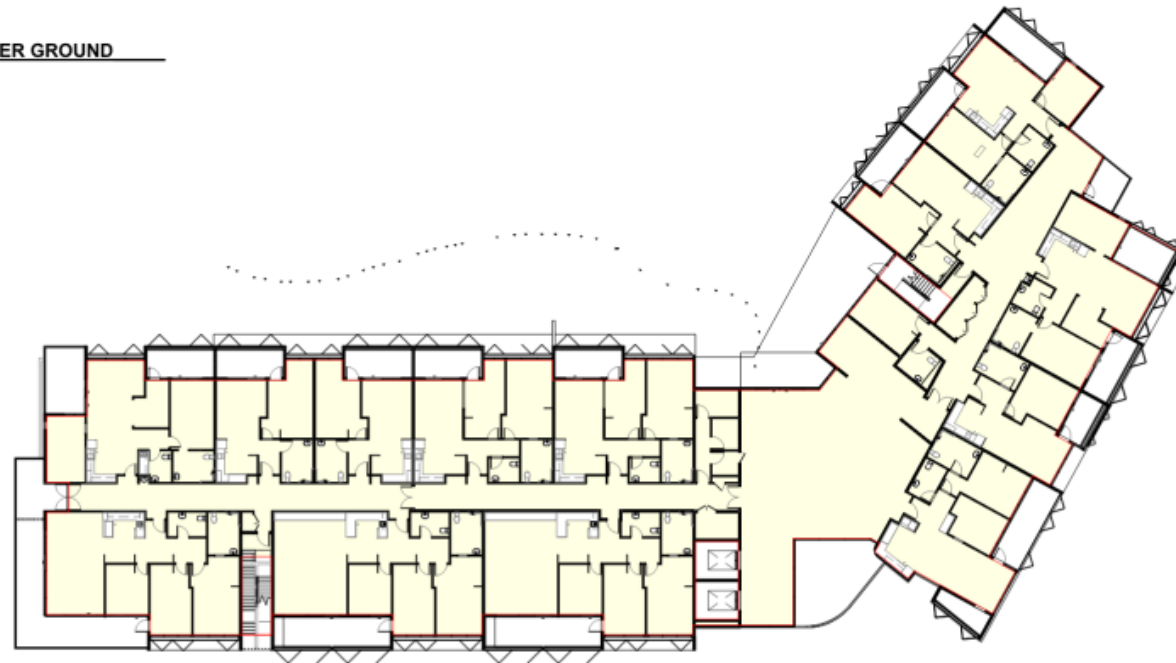
GFA AREA	
LEVEL	AREA
GFA	
LOWER GROUND	382 m <sup>2</sup>
GROUND FLOOR	1629 m <sup>2</sup>
LEVEL 01	1588 m <sup>2</sup>
LEVEL 02	1419 m <sup>2</sup>
Grand total: 4	5018 m <sup>2</sup>



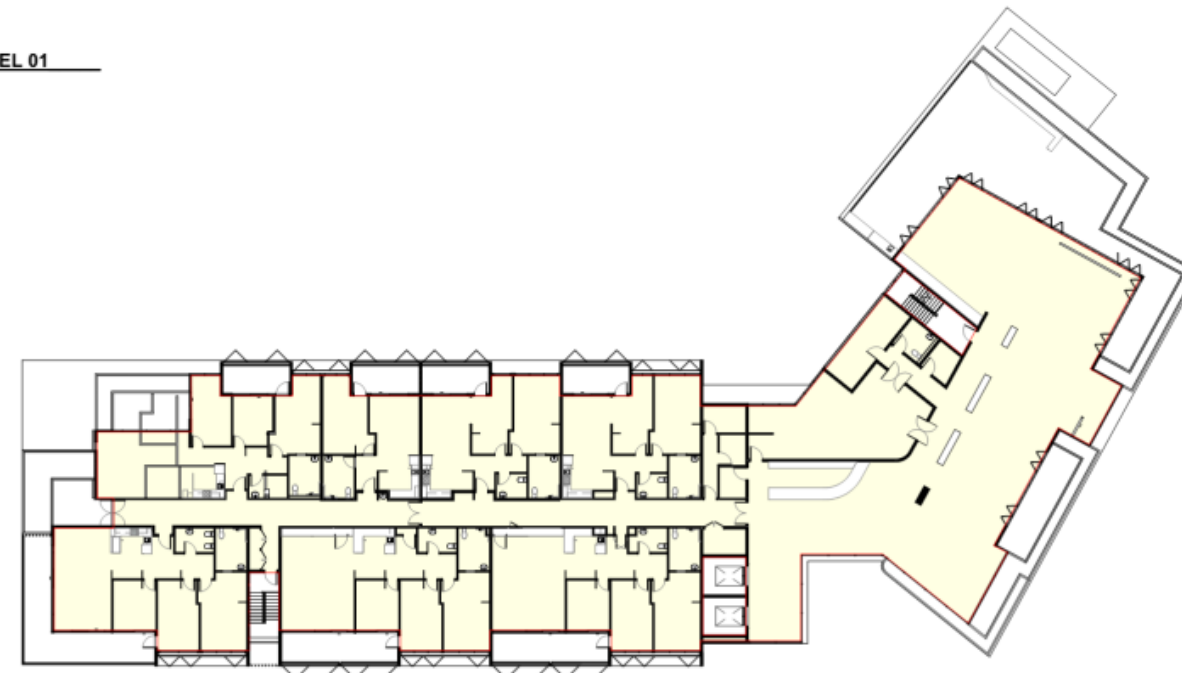
**1 LOWER GROUND**  
1 : 250



**2 LEVEL 01**  
1 : 250



**3 GROUND FLOOR**  
1 : 250



**4 LEVEL 02**  
1 : 250

<p><b>Amendments</b></p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Issued By</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>DA ISSUE</td> <td>TW</td> <td>01/10/22</td> </tr> <tr> <td>2</td> <td>REVISED DESIGN</td> <td>TW</td> <td>09/10/22</td> </tr> <tr> <td>3</td> <td>REVISED DA ISSUE</td> <td>TW</td> <td>18/10/22</td> </tr> </tbody> </table>	No.	Description	Issued By	Date	1	DA ISSUE	TW	01/10/22	2	REVISED DESIGN	TW	09/10/22	3	REVISED DA ISSUE	TW	18/10/22	<p><b>Notes</b></p> <p>**Deep Soil located elsewhere within forested area of campus site</p>	<p><b>Legend</b></p>	<p><b>Key Plan</b></p>	<p><b>Client</b></p> <p>Carrington LIVING-CARE-COMMUNITIES enabled to care</p>	<p><b>Project</b></p> <p><b>WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE</b></p> <p>Client: CARRINGTON CARE</p>	<p><b>Drawing Title</b></p> <p><b>GFA AREA PLANS</b></p> <p>Scale: 1 : 250</p> <p>Sheet Created: OCT 2022</p> <p>Project No.: 2021050</p>	<p><b>Project Status</b></p> <p>DA</p> <table border="1"> <thead> <tr> <th>Checked By</th> <th>Approved By</th> <th>Drawn By</th> <th>Author</th> </tr> </thead> <tbody> <tr> <td>CHK</td> <td>APR</td> <td></td> <td></td> </tr> </tbody> </table> <p>Discipline: A</p> <p>Drawing Number: DA-600</p> <p>Revision: 3</p>	Checked By	Approved By	Drawn By	Author	CHK	APR			<p><b>JACKSON TEECE</b></p> <p>Brisbane: Level 20, 244 Queen Street, Brisbane, QLD 4000 Australia T +61 7 3236 2771 F +61 7 3236 2388 brisbane@jacksonteece.com</p> <p>Sydney: Lot 1, For 9 &amp; 23 Hickson Road, Sydney, NSW 2000 Australia T +61 2 8266 0722 F +61 2 8266 1190 sydney@jacksonteece.com</p> <p>Jackson Teece Queensland Pty Ltd Trading as Jackson Teece ABN/AC 113 377 812</p> <p>Registered Architects Darren Barker (A482), David Hudson (A362)</p> <p><small>Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any medium, without the written permission of Jackson Teece. Do not scale this drawing, use Nominated dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.</small></p>
No.	Description	Issued By	Date																													
1	DA ISSUE	TW	01/10/22																													
2	REVISED DESIGN	TW	09/10/22																													
3	REVISED DA ISSUE	TW	18/10/22																													
Checked By	Approved By	Drawn By	Author																													
CHK	APR																															

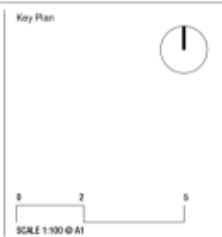
APT. TYPE	NUMBER APT.	INT. AREA	EXT. AREA
1 BED	16 APARTMENTS	57.48m <sup>2</sup>	11m <sup>2</sup>
2 BED	11 APARTMENTS	81.48m <sup>2</sup>	11.5m <sup>2</sup>
2 BED + STUDY	5 APARTMENTS	93.105m <sup>2</sup>	27m <sup>2</sup>
3 BED	16 APARTMENTS	110.127m <sup>2</sup>	28.43m <sup>2</sup>
<b>TOTAL</b>	<b>42 APARTMENTS</b>	<b>3277m<sup>2</sup></b>	<b>773m<sup>2</sup></b>

APARTMENT DESIGN GUIDE						
APT. NO	APT. TYPE	INTERNAL AREA	STORAGE			POS AREA
			INTERNAL	BASEMENT	TOTAL PROVIDED	
		MINIMUM 1B-50m <sup>2</sup> 2B-70m <sup>2</sup> 3B-90m <sup>2</sup>	MINIMUM 1B-6m <sup>2</sup> 2B-8m <sup>2</sup> 3B-10m <sup>2</sup>	MINIMUM 50% OF TOTAL STORAGE		MINIMUM -BALCONIES 1B-8m 2B-10m 3B-12m  -COURTYARD 15m
<b>LOWER GROUND</b>						
LG-01	2 BED	88	4.5	4.5	9	21
LG-02	1 BED	57	3.5	3.5	7	17
LG-03	2 BED + S	93	4	4	8	10
<b>GROUND FLOOR</b>						
48						
G-01	3 BED	127	14.9	3.5	18.4	20
G-02	3 BED	127	14.9	3.5	18.4	20
G-03	3 BED	120	12.3	3.5	15.8	41
G-04	2 BED + S	105	4	4	8	37
G-05	1 BED	68	3.5	3.5	7	21
G-06	1 BED	68	3.5	3.5	7	21
G-07	2 BED	85	4.5	4.5	9	21
G-08	2 BED	85	4.5	4.5	9	21
G-09	1 BED	60	3.5	3.5	7	21
G-10	2 BED	81	4.5	4.5	9	34
G-11	2 BED + S	93	4	4	8	22
G-12	1 BED	57	3.5	3.5	7	57
G-13	2 BED	88	4.5	4.5	9	19
<b>LEVEL 01</b>						
355						
L1-01	3 BED	127	14.9	3.5	18.4	20
L1-02	3 BED	127	14.9	3.5	18.4	20
L1-03	3 BED	120	12.3	3.5	15.8	41
L1-04	2 BED + S	105	4	4	8	27
L1-05	1 BED	68	3.5	3.5	7	11
L1-06	1 BED	68	3.5	3.5	7	11
L1-07	2 BED	85	4.5	4.5	9	11
L1-08	2 BED	85	4.5	4.5	9	11
L1-09	1 BED	60	3.5	3.5	7	11
L1-10	2 BED	81	4.5	4.5	9	24
L1-11	2 BED + S	93	4	4	8	22
L1-12	1 BED	57	3.5	3.5	7	8
L1-13	2 BED	88	4.5	4.5	9	13
<b>LEVEL 02</b>						
230						
L2-01	3 BED	127	14.9	3.5	18.4	20
L2-02	3 BED	127	14.9	3.5	18.4	20
L2-03	3 BED	120	12.3	3.5	15.8	40
L2-04	3 BED	110	12.3	3.5	15.8	27
L2-05	1 BED	57	3.5	3.5	7	11
L2-06	2 BED	85	4.5	4.5	9	11
L2-07	2 BED	85	4.5	4.5	9	11

140

Amendments		Notes	
No.	Description	Issued By	Date
1	REVISED DA-602E	TW	10/10/23

Legend



Client  
 Carrington  
 LIVING-CARE-COMMUNITIES  
 enabled to care

Project  
**WOODLAND ASSISTED LIVING APARTMENTS**  
**WEROMBI RD - GRASMERE**

Client  
 CARRINGTON CARE

Drawing Title  
**ADG COMPLIANCE/ YIELD & PARKING CALCULATIONS TABLE**

Scale @ A1  
**1 : 500**

Checked By	Approved By	Discipline	Drawing Number
		A	DA-602

Project No. **2021050**

**JACKSON TEECE**

Architects  
 Level 20, 244 Swan Street  
 Brisbane, QLD 4000 Australia  
 T +61 7 3236 2771  
 F +61 7 3236 2538  
 www.jacksonteece.com.au

Sydney  
 Level 1, For 8-9, 23 Hickson Road  
 Sydney, NSW 2008 Australia  
 T +61 2 9290 2722  
 F +61 2 9290 1150  
 sydney@jacksonteece.com.au

Jackson Teece (Sydney)  
 Pty Ltd  
 Trading as: Jackson Teece  
 ABN 87 113 377 612

Authorised Architects  
 Damien Barker (1962), Daniel Ruben (1921)

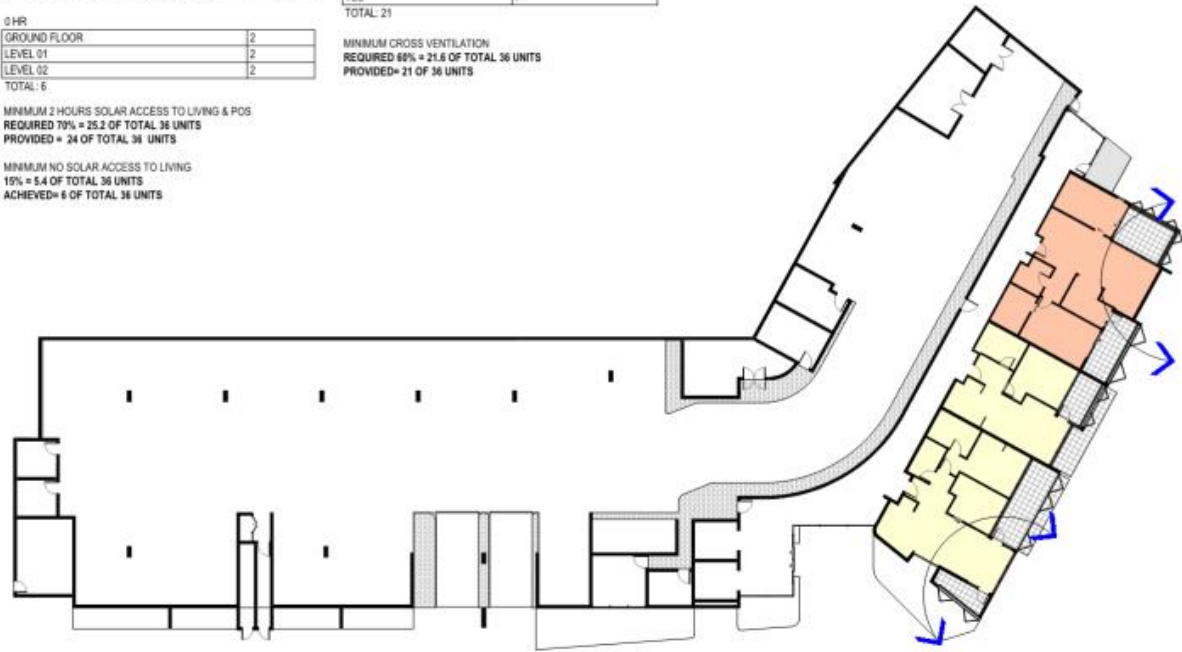
Project Status  
**DA**

Drawn By  
**Author**

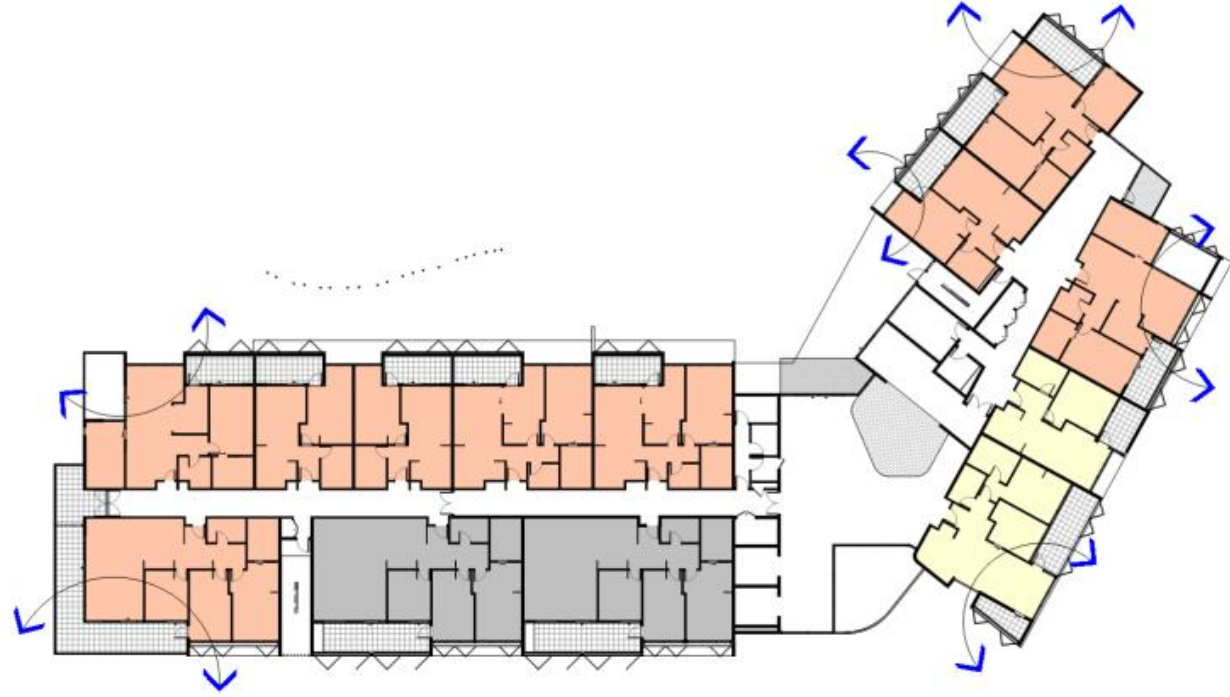
Revision  
**1**

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or in any medium, without the written permission of Jackson Teece. Do not scale this drawing, use square dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.

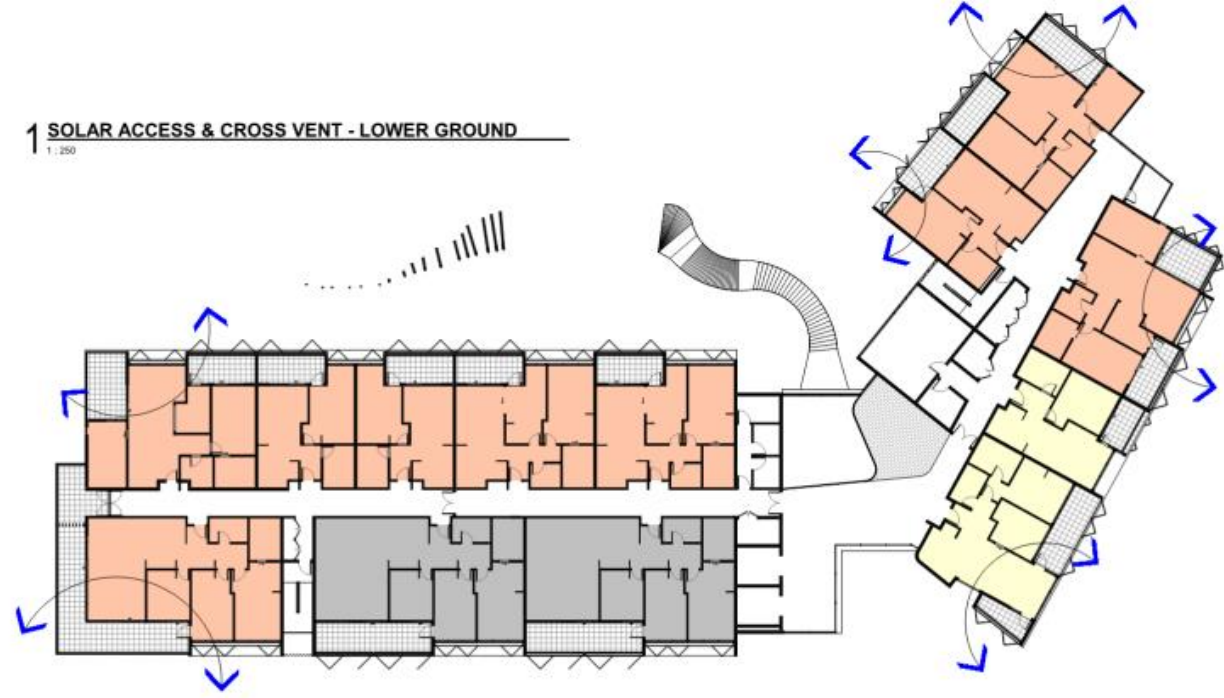
OVERALL SOLAR COMPLIANCE		OVERALL CROSS VENTILATION COMPLIANCE	
2 HOURS SOLAR ACCESS TO LIVING & POS	Count	CROSS VENTILATION	COMPLIANCE
<b>2HR</b>			
LOWER GROUND	1	LOWER GROUND	2
GROUND FLOOR	9	GROUND FLOOR	6
LEVEL 01	9	LEVEL 01	6
LEVEL 02	5	LEVEL 02	6
TOTAL 24		TOTAL 21	
<b>0HR</b>			
GROUND FLOOR	2	MINIMUM CROSS VENTILATION	
LEVEL 01	2	REQUIRED 85% = 21.6 OF TOTAL 36 UNITS	
LEVEL 02	2	PROVIDED = 21 OF TOTAL 36 UNITS	
TOTAL 6			
MINIMUM 2 HOURS SOLAR ACCESS TO LIVING & POS			
REQUIRED 70% = 25.2 OF TOTAL 36 UNITS			
PROVIDED = 24 OF TOTAL 36 UNITS			
MINIMUM NO SOLAR ACCESS TO LIVING			
15% = 5.4 OF TOTAL 36 UNITS			
ACHIEVED = 6 OF TOTAL 36 UNITS			



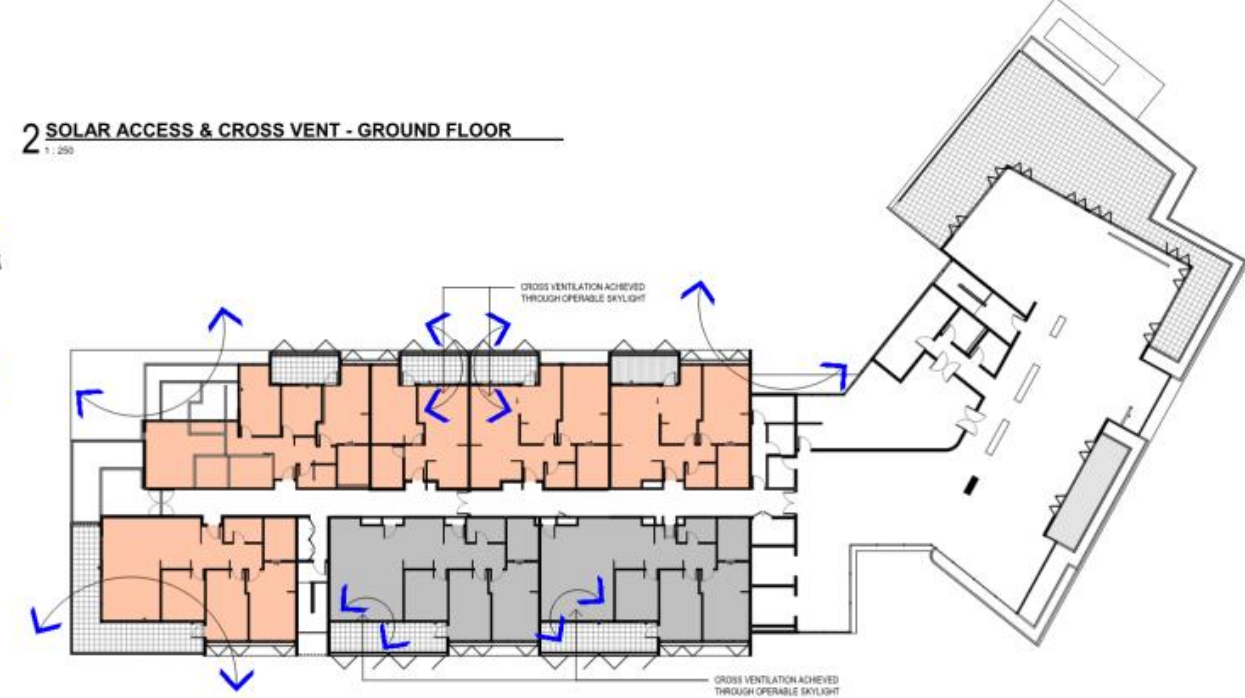
1 SOLAR ACCESS & CROSS VENT - LOWER GROUND  
1:250



2 SOLAR ACCESS & CROSS VENT - GROUND FLOOR  
1:250



3 SOLAR ACCESS & CROSS VENT - LEVEL 01  
1:250



4 SOLAR ACCESS & CROSS VENT - LEVEL 02  
1:250

Rev	Description	Issued By	Date
1	REVISED DESIGN	TW	08/10/23
2	REVISED 0A ISSUE	TW	18/10/23

Notes

**Legend**

- CROSS VENTILATION
- APARTMENTS RECEIVE DIRECT SUN BETWEEN 9AM & 3PM (MINIMUM 2 HOURS)
- APARTMENTS RECEIVE LESS THAN 2 HOURS OF DIRECT SUN BETWEEN 9AM & 3PM
- APARTMENTS DON'T RECEIVE DIRECT SUN BETWEEN 9AM & 3PM

**Key Plan**

SCALE 1:100 @ A1

**Client**

Carrington  
LIVING-CARE-COMMUNITIES  
enabled to care

**Project**

WOODLAND ASSISTED LIVING APARTMENTS  
WEROMBI RD - GRASMERE

**Client**  
CARRINGTON CARE

**Drawing Title**  
CROSS VENTILATION AND SOLAR ACCESS (2H) DIAGRAMS

Scale @ A1  
As indicated

Sheet Created OCT 2023	Checked By TW	Approved By JG	Drawn By TK
Project No. 2021050	Discipline A	Drawing Number DA-700	Revision 2

**JACKSON TEECE**

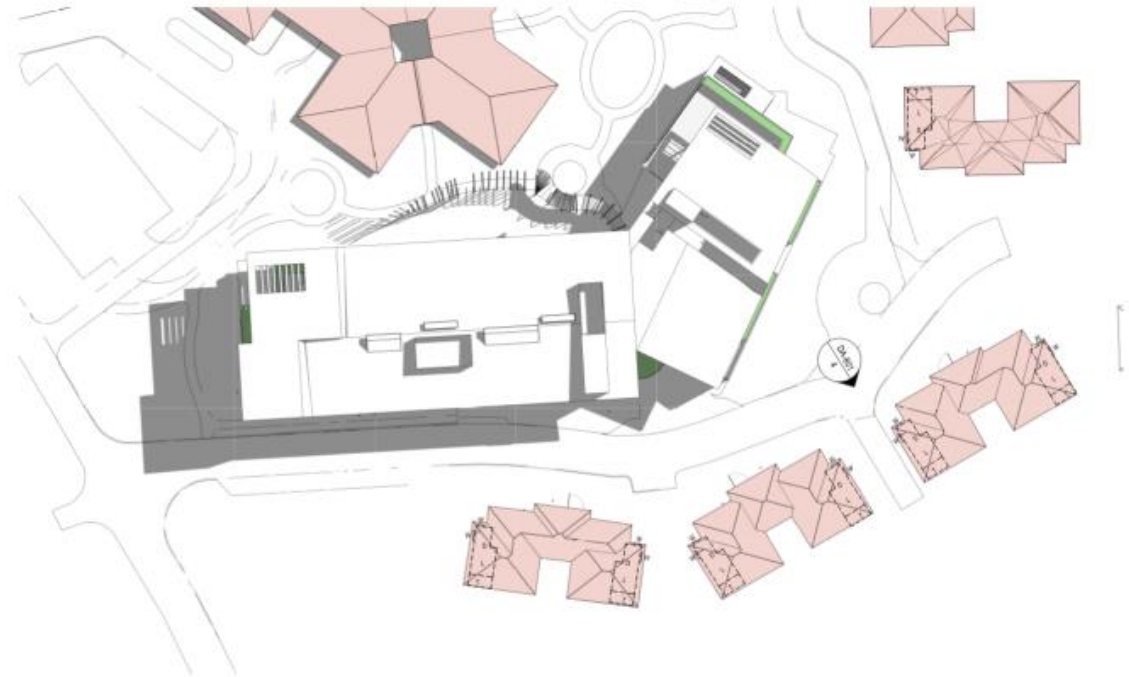
Building  
Level 20, 244 Owen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3206 0771  
F +61 7 3206 0388  
www.jacksonteece.com.au

Office  
Lot 1, Per 9 & 23 Hocking Road  
Spines, NSW 2000 Australia  
T +61 2 8096 0722  
F +61 2 8096 1100  
info@jacksonteece.com.au

Jackson Teece Queensland  
 Pty Ltd  
 Trading as Jackson Teece  
 ABN 67 113 571 812

Registered Architects  
Darren Barker (AAS), David Nelson (AAS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or in any manner, without the written permission of Jackson Teece. Shaded areas show drawings and related dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



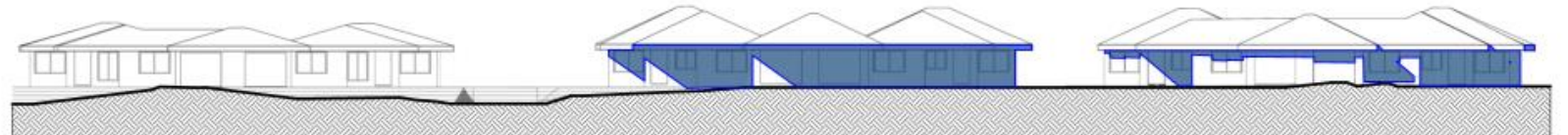
1 DAFP - A - DATUM - SUN 21 MAR 0900H  
1:500



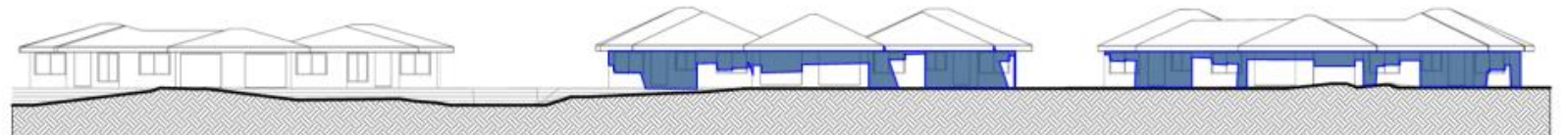
2 DAFP - A - DATUM - SUN 21 MAR 1200H  
1:500



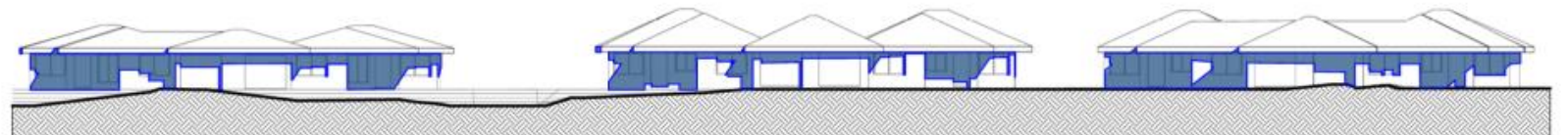
3 DAFP - A - DATUM - SUN 21 MAR 1500H  
1:500



4 MACKILLOP CIRCUIT ELEVATION 21ST MARCH 0900H



5 MACKILLOP CIRCUIT ELEVATION 21ST MARCH 1200H



6 MACKILLOP CIRCUIT ELEVATION 21ST MARCH 1500H

Rev.	Description	Issued By	Date
1	DA ISSUE	TW	01/10/22
2	REVISED DESIGN	TW	09/10/23
3	REVISED DA ISSUE	TW	19/10/23

Notes

Legend	COTTAGE
SHADOW - PROPOSED	LIVING ROOM WINDOW
SHADOW - EXISTING	D DRIVING
	L LIVING
	T TERRACE

Client  
 Carrington  
 LIVING CARE COMMUNITIES  
 enabled to care

Project  
**WOODLAND ASSISTED LIVING APARTMENTS**  
**WEROMBI RD - GRASMERE**

Client  
 CARRINGTON CARE

Drawing Title  
**SHADOW DIAGRAMS 21 MARCH**  
**9AM/12PM/3PM**

Scale @ A1  
 As indicated

Sheet Created	Checked By	Approved By	Drawn By
SEPT 22	TW	JG	DC
Project No.	Discipline	Drawing Number	Revision
2021050	A	DA-800	3

**JACKSON TEECE**

Business  
 Level 20, 244 Queen Street  
 Brisbane, QLD 4000 Australia  
 T +61 7 3236 2771  
 Brisbane@jacksonteece.com

Office  
 Lot 1, Plot 9 & 23 Hocking Road  
 Sydney, NSW 2000 Australia  
 T +61 2 9296 0722  
 Sydney@jacksonteece.com

Jackson Teece Queensland  
 Pty Ltd  
 Trading as Jackson Teece  
 ABN 67 113 577 812

Notated Architects  
 Daniel Barker (AHS), Daniel Hudson (AHS)

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or in part or by any means, without the written permission of Jackson Teece. Shaded areas show drawings with typical dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



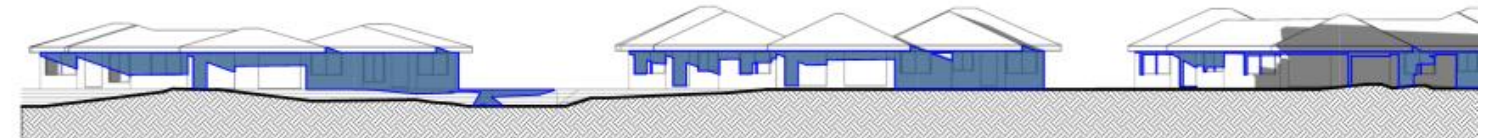
1 SUN ANALYSIS 21ST JUNE 0900h  
1:500



2 SUN ANALYSIS 21ST JUNE 1200h  
1:500



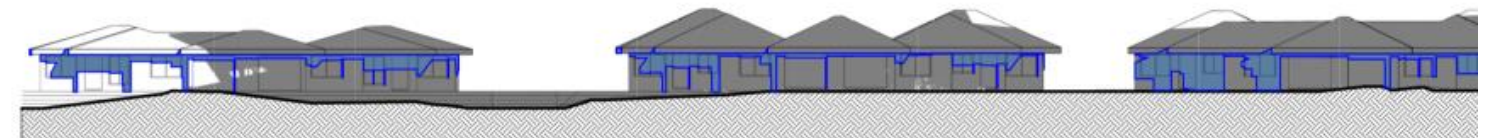
3 SUN ANALYSIS 21ST JUNE 1500h  
1:500



4 MACKILLOP CIRCUIT ELEVATION 21ST JUNE 0900H



5 MACKILLOP CIRCUIT ELEVATION 21ST JUNE 1200H



6 MACKILLOP CIRCUIT ELEVATION 21ST JUNE 1500H

Rev.	Description	Issued By	Date
1	DA ISSUE	TW	01/12/22
2	REVISED DESIGN	TW	04/10/23
3	REVISED DA ISSUE	TW	16/10/23

Notes

Legend		COTTAGE	
	SHADOW - PROPOSED		D DINING
	SHADOW - EXISTING		L LIVING
			T TERRACE



Project  
**WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE**

Client  
**CARRINGTON CARE**

Drawing Title  
**SHADOW DIAGRAMS 21 JUNE 9AM/12PM/3PM**

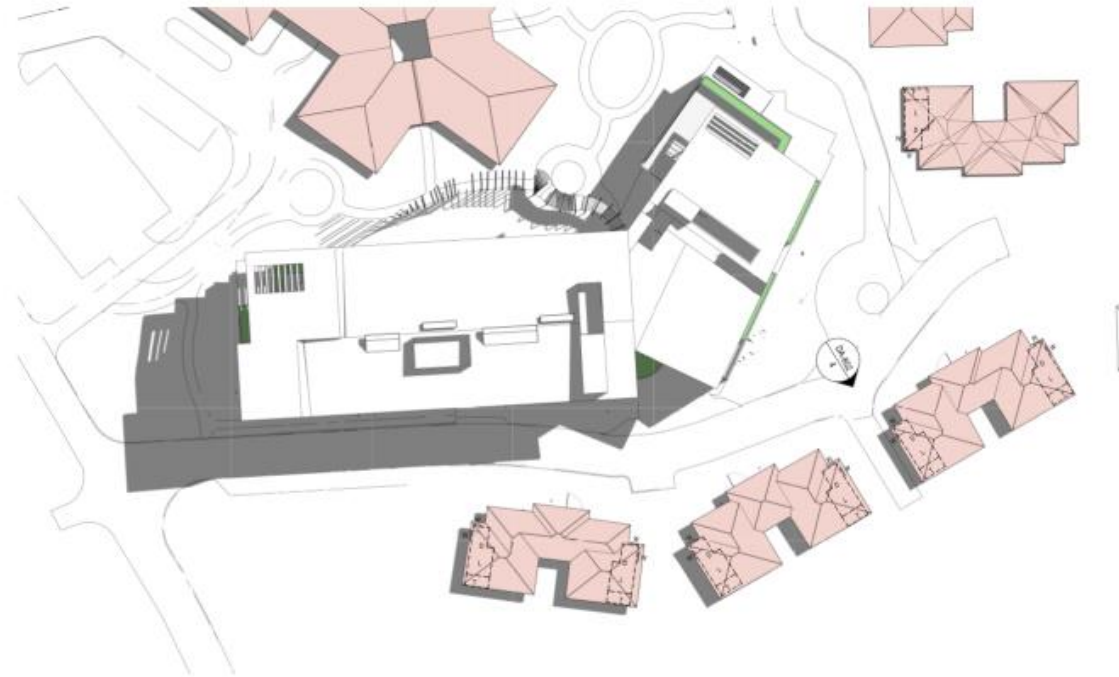
Scale @ A1	Project Status
As Indicated	DA
Sheet Created <b>JULY 2022</b>	Checked By <b>TW</b>
Project No. <b>2021050</b>	Approved By <b>JG</b>
Discipline <b>A</b>	Drawn By <b>DC</b>
Drawing Number <b>DA-801</b>	Revision <b>3</b>

**JACKSON T**

Bradley Lane 30, 144 Queen Street  
Sydney, NSW 2000 Australia  
T +61 2 9296 2771  
F +61 2 9296 2338  
jackson@jackson.com.au  
www.jackson.com.au

Solway Lot 1, Pier 4 & 23 Hickson Road  
Solway, NSW 2205 Australia  
T +61 2 9296 1772  
F +61 2 9296 1108  
jackson@solway.com.au  
www.solway.com.au

Copyright and information contained in this drawing are copyright and may not be reproduced, without the written permission of Jackson Tones. In such circumstances only, verify all project dimensions before commencing on site or Jackson Tones or any subcontractors and note instructions.



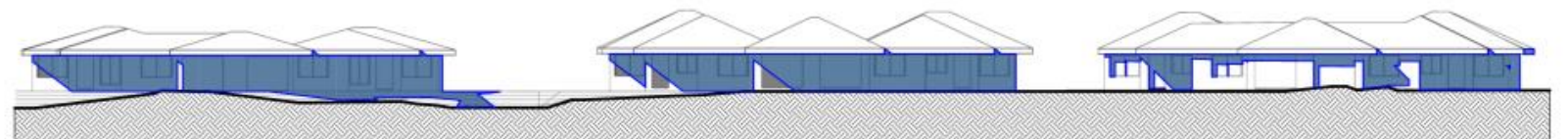
1 SUN ANALYSIS 21ST SEPTEMBER 0900h  
1:500



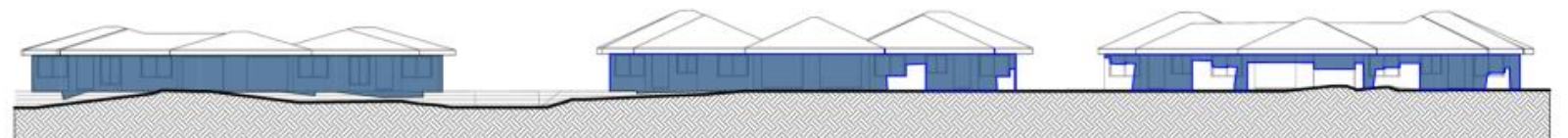
2 SUN ANALYSIS 21ST SEPTEMBER 1200h  
1:500



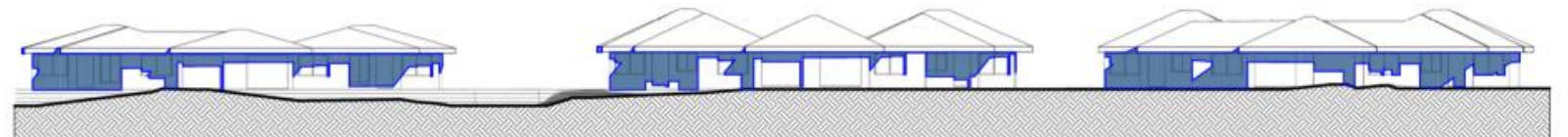
3 SUN ANALYSIS 21ST SEPTEMBER 1500h  
1:500



4 MACKILLOP CIRCUIT ELEVATION 2 21ST SEPTEMBER 0900H



5 MACKILLOP CIRCUIT ELEVATION 2 21ST SEPTEMBER 1200H



6 MACKILLOP CIRCUIT ELEVATION 2 21ST SEPTEMBER 1500H

Rev.	Description	Issued By	Date
1	DA ISSUE	TW	01/10/22
2	REVISED DESIGN	TW	09/10/22
3	REVISED DA ISSUE	TW	19/10/22

Notes	

Legend	
	SHADOW - PROPOSED
	SHADOW - EXISTING

COTTAGE	
	LIVING ROOM WINDOW
	D DINING
	L LIVING
	T TERRACE

Key Plan

Client  
 Carrington  
 LIVING CARE COMMUNITIES  
 enabled to care

Project  
**WOODLAND ASSISTED LIVING APARTMENTS**  
**WEROMBI RD - GRASMERE**

Client  
 CARRINGTON CARE

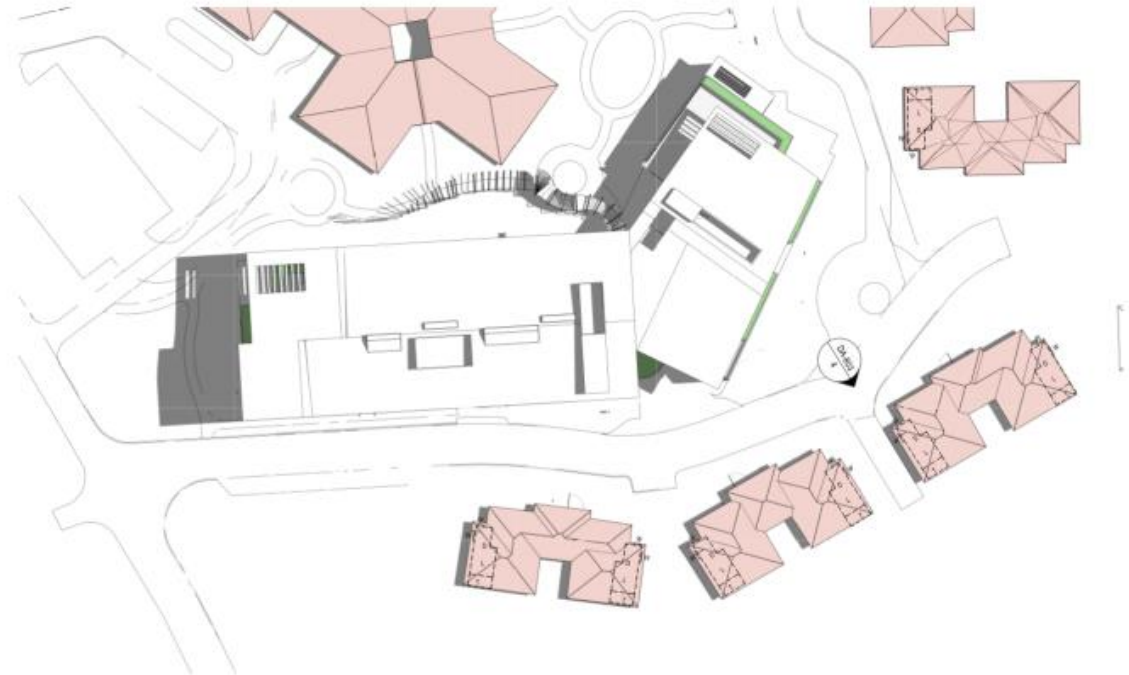
Drawing Title			
<b>SHADOW DIAGRAMS 21 SEPTEMBER 9AM/12PM/3PM</b>			
Scale @ A1	Project Status		
As Indicated	DA		
Sheet Created	Checked By	Approved By	Drawn By
JULY 2022	TW	JG	DC
Project No.	Discipline	Drawing Number	Revision
2021050	A	DA-802	3

**JACKSON TEECE**

Brisbane: Level 20, 244 Queen Street, Brisbane, QLD 4000 Australia  
 Sydney: Level 10, 200 Kent Street, Sydney, NSW 2000 Australia  
 Perth: Level 10, 100 St Georges Terrace, Perth, WA 6000 Australia  
 Melbourne: Level 10, 100 Collins Street, Melbourne, VIC 3000 Australia  
 Auckland: Level 10, 100 Queen Street, Auckland, NZ 1010  
 Wellington: Level 10, 100 The Terrace, Wellington, NZ 6144  
 Christchurch: Level 10, 100 Cashmere Road, Christchurch, NZ 8001  
 Dunedin: Level 10, 100 Princes Street, Dunedin, NZ 9001  
 Jackson Teece (NZ) Ltd  
 Trading as Jackson Teece  
 AMNZ 113 571 812

Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Shaded areas show drawings and design dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.





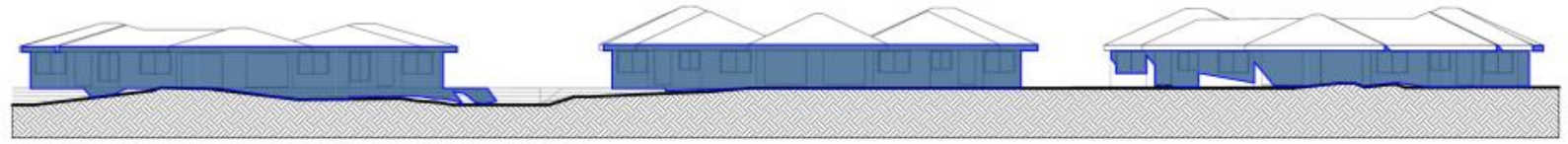
1 SUN ANALYSIS 21ST DECEMBER 0900h  
1:500



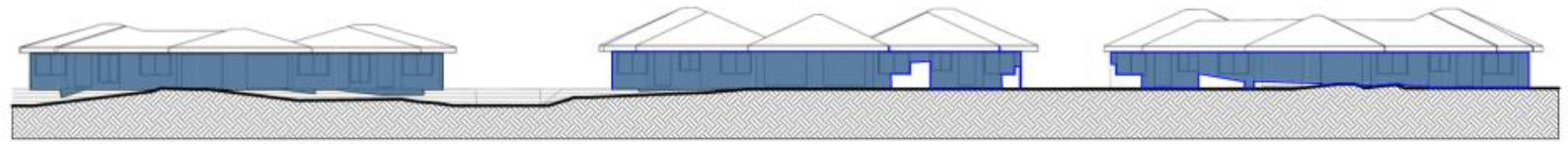
2 SUN ANALYSIS 21ST DECEMBER 1200h  
1:500



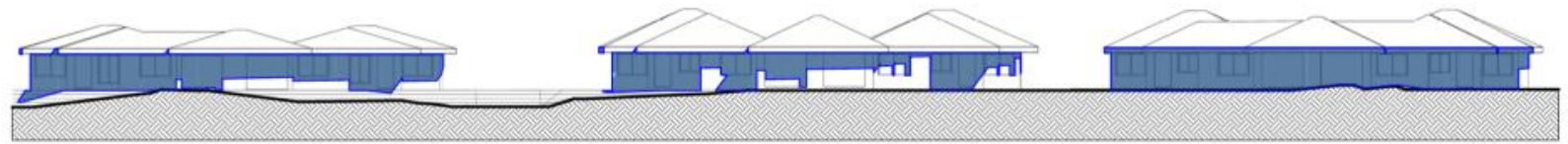
3 SUN ANALYSIS 21ST DECEMBER 1500h  
1:500



4 MACKILLOP CIRCUIT ELEVATION 2 21ST DECEMBER 0900H



5 MACKILLOP CIRCUIT ELEVATION 2 21ST DECEMBER 1200H



6 MACKILLOP CIRCUIT ELEVATION 2 21ST DECEMBER 1500H

Amendments		Issued By	Date	Notes
1	DA ISSUE	TW	01/10/22	
2	REVISED DESIGN	TW	09/10/22	
3	REVISED DA ISSUE	TW	18/10/22	

Legend		COTTAGE	
■	SHADOW - PROPOSED	□	LIVING ROOM WINDOW
■	SHADOW - EXISTING	□	D DINING
		□	L LIVING
		□	T TERRACE

Client: Carrington  
LIVING CARE COMMUNITIES  
enabled to care

Project: WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE

Client: CARRINGTON CARE

Drawing Title: SHADOW DIAGRAMS 21 DECEMBER 9AM/12PM/3PM

Scale: @ A1

As Indicated

Sheet Created	Checked By	Approved By	Drawn By
JULY 2022	TW	HF	DC
Project No.	Discipline	Drawing Number	Revision
2021050	A	DA-803	3

**JACKSON TEECE**

Architects

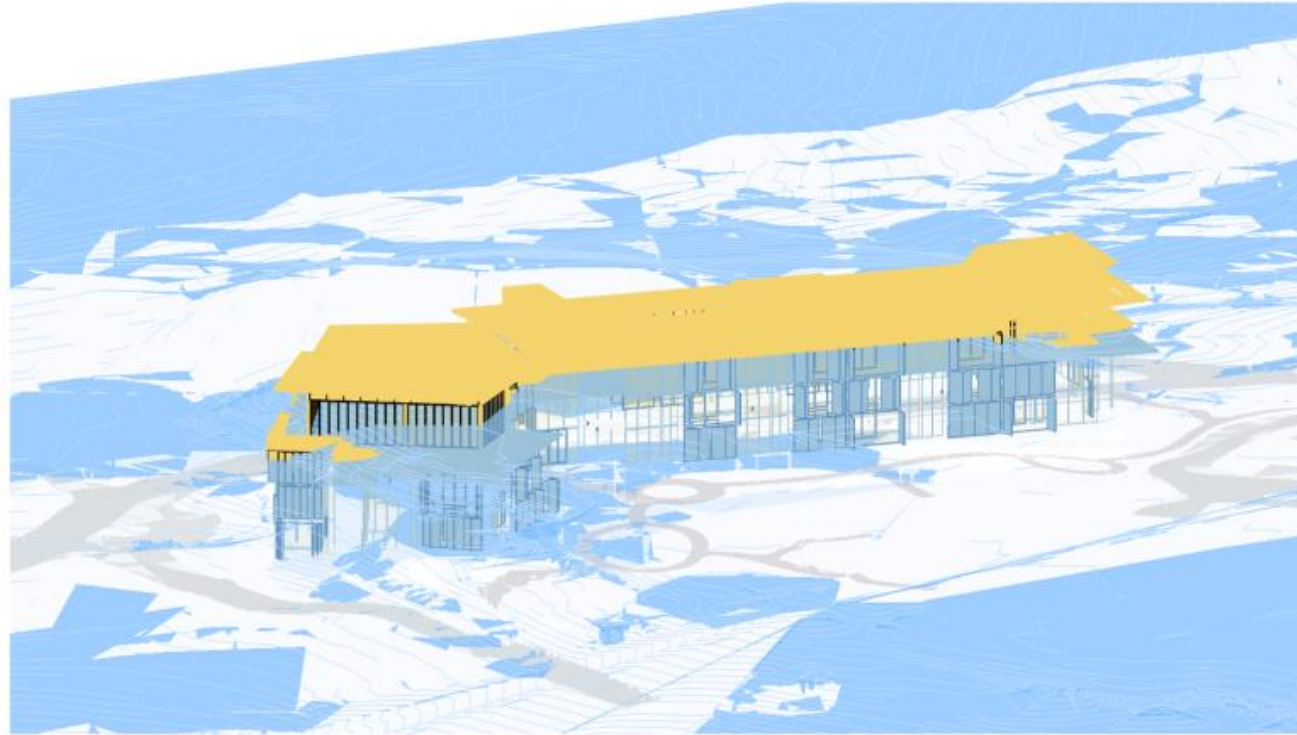
Level 20, 244 Queen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
www.jacksonteece.com.au

Level 1, For 8 & 22 Hokea Road  
Sydney, NSW 2000 Australia  
T +61 2 9296 0722  
F +61 2 9296 1190  
info@jacksonteece.com.au

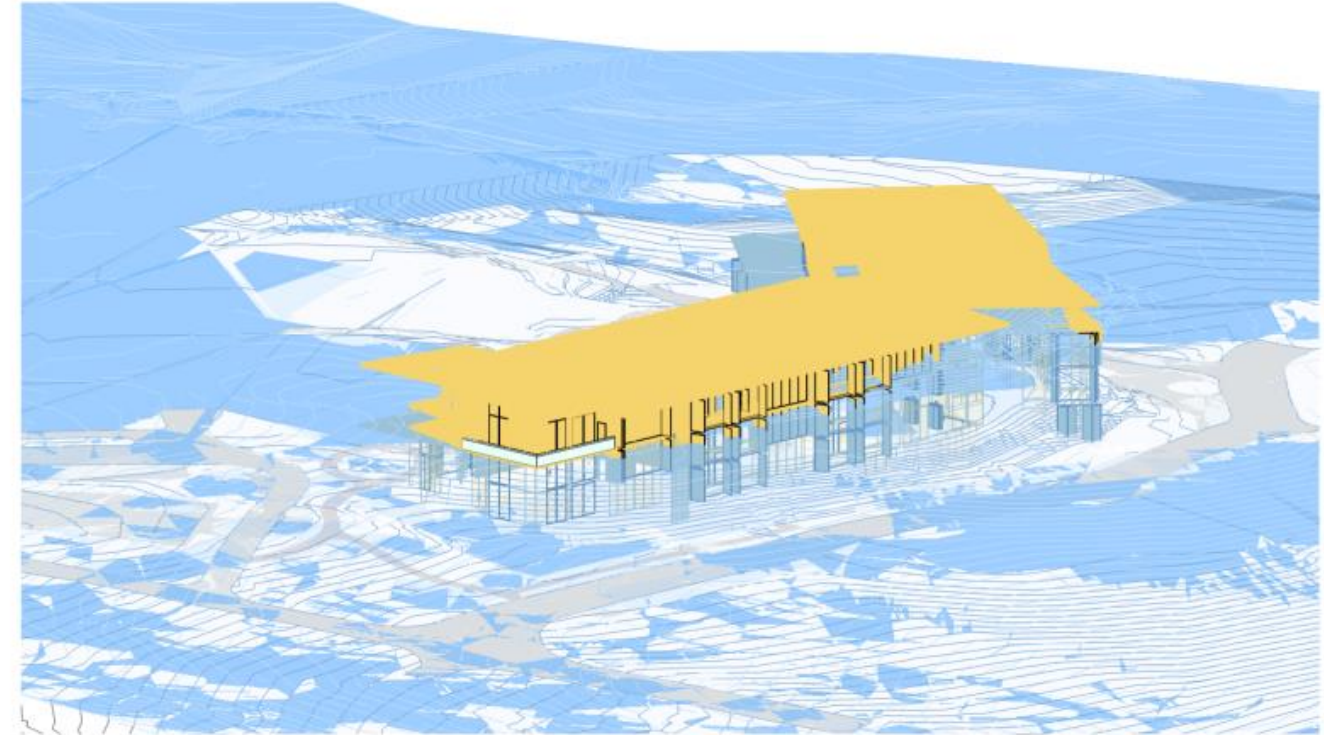
Jackson Teece Queensland  
 Pty Ltd  
 Trading as Jackson Teece  
 AMR/21 113 577 812

Registered Architects  
Darren Barker (AHS), David Hudson (AHS)

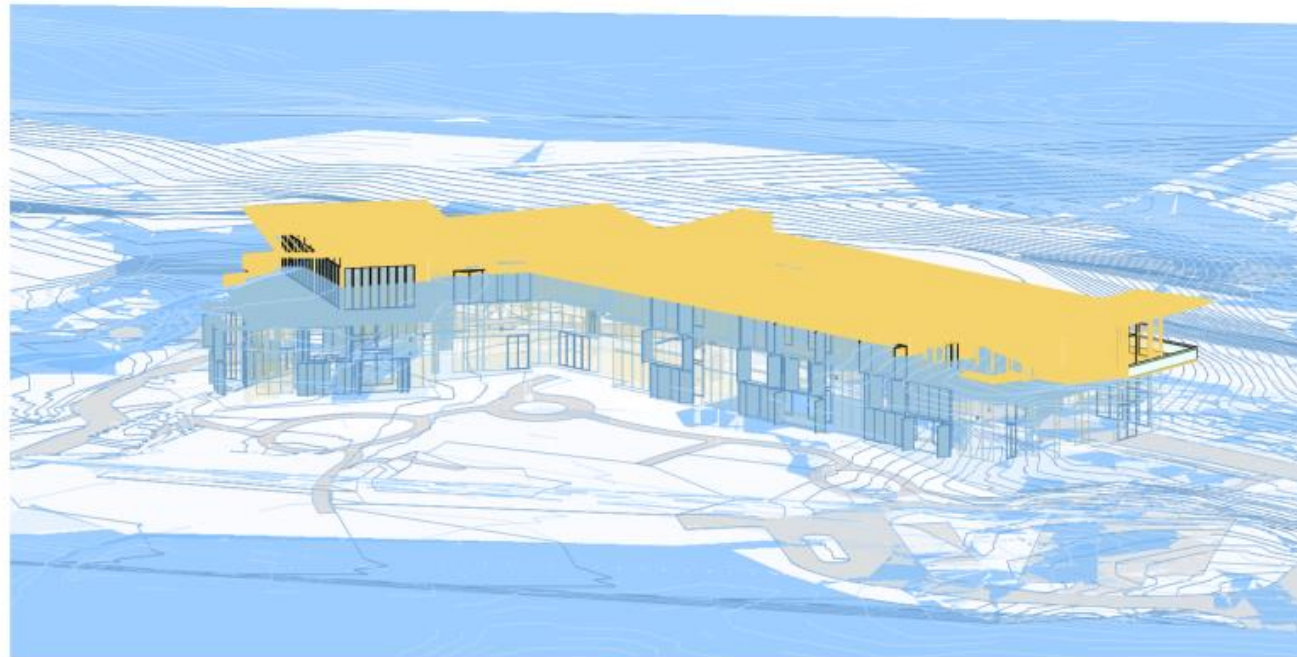
Copyright and information contained in this drawing are copyright and may not be reproduced in whole or in part by any means, without the written permission of Jackson Teece. Shaded areas show drawings to scale. Dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.



1 3D VIEW - 9.5M HEIGHT CONTROL PLANE VIEW 1



2 3D VIEW - 9.5M HEIGHT CONTROL PLANE VIEW 2

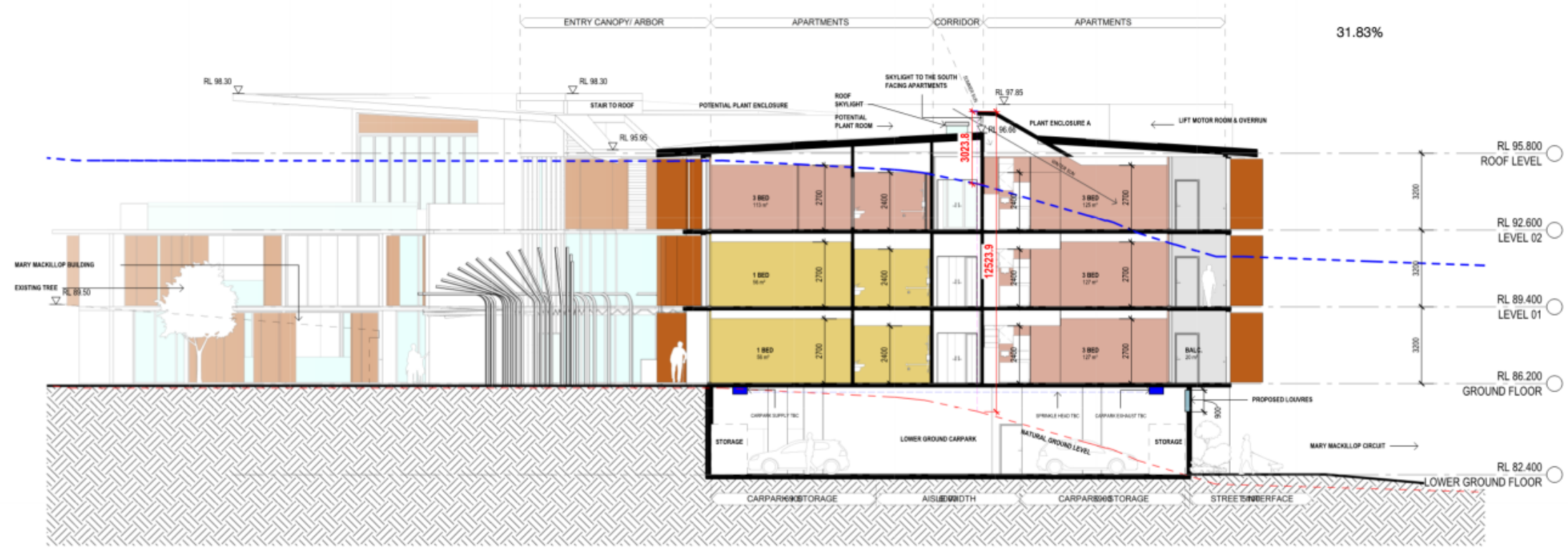


3 3D VIEW - 9.5M HEIGHT CONTROL PLANE VIEW 3



4 3D VIEW - 9.5M HEIGHT CONTROL PLANE VIEW 4

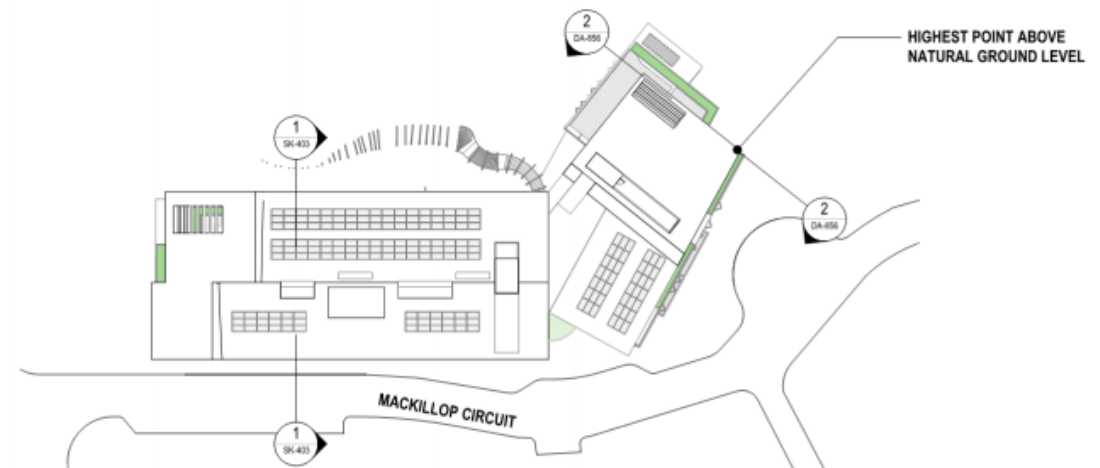
<p><b>Amendments</b></p> <table border="1"> <thead> <tr> <th>Rev.</th> <th>Description</th> <th>Issued By</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>DA ISSUE</td> <td>TW</td> <td>01/10/22</td> </tr> <tr> <td>2</td> <td>REVISED DESIGN</td> <td>TW</td> <td>08/10/22</td> </tr> <tr> <td>3</td> <td>REVISED DA ISSUE</td> <td>TW</td> <td>18/10/23</td> </tr> </tbody> </table>	Rev.	Description	Issued By	Date	1	DA ISSUE	TW	01/10/22	2	REVISED DESIGN	TW	08/10/22	3	REVISED DA ISSUE	TW	18/10/23	<p><b>Notes</b></p> <ul style="list-style-type: none"> <li><span style="color: yellow;">■</span> BUILDING PROTRUDING ABOVE 9.5m MAX BUILDING HEIGHT PLANE</li> <li><span style="color: blue;">■</span> BUILDING BELOW THE 9.5m MAX BUILDING HEIGHT PLANE</li> </ul>	<p><b>Legend</b></p>	<p><b>Client</b> Carrington LIVING-CARE-COMMUNITIES enabled to care</p> <p><b>Project</b> WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE</p> <p><b>Client</b> CARRINGTON CARE</p>	<p><b>Drawing Title</b> BUILDING HEIGHT PLANE STUDIES</p> <p>Scale @ A1 As indicated</p> <p>Project Status DA</p> <table border="1"> <thead> <tr> <th>Sheet Created</th> <th>Checked By</th> <th>Approved By</th> <th>Drawn By</th> </tr> </thead> <tbody> <tr> <td>OCT 2022</td> <td>TW</td> <td>JG</td> <td>DC</td> </tr> </tbody> </table> <p>Project No. 2021050    Discipline A    Drawing Number DA-855    Revision 3</p>	Sheet Created	Checked By	Approved By	Drawn By	OCT 2022	TW	JG	DC	<p><b>JACKSON TEECE</b></p> <p><small>Business Level 20, 244 Queen Street Brisbane, QLD 4000 Australia T +61 7 3236 2711 F +61 7 3236 2388 brisbane@jacksonteece.com</small></p> <p><small>Sydney Level 1, Per 9 &amp; 23 Hickson Road Sydney, NSW 2000 Australia T +61 2 8296 2722 F +61 2 8296 1760 sydney@jacksonteece.com</small></p> <p><small>Jackson Teece Queensland Pty Ltd Trading as Jackson Teece ABN 67 113 577 812</small></p> <p><small>Notified Architects Gordon Barker (AAS), David Hudson (AAS)</small></p> <p><small>Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or by any means, without the written permission of Jackson Teece. Do not scale this drawing to any specific dimensions only. Verify all project dimensions before commencing on site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.</small></p>
Rev.	Description	Issued By	Date																										
1	DA ISSUE	TW	01/10/22																										
2	REVISED DESIGN	TW	08/10/22																										
3	REVISED DA ISSUE	TW	18/10/23																										
Sheet Created	Checked By	Approved By	Drawn By																										
OCT 2022	TW	JG	DC																										



1 SECTION 01 - HEIGHT PLANE STUDIES  
1:100



2 SECTION 02 - HEIGHT PLANE STUDIES  
1:100



Rev.	Description	Issued By	Date
1	DA ISSUE	TW	01/10/22
2	REVISED DESIGN	TW	09/10/23
3	REVISED DA ISSUE	TW	18/10/23

Notes

Legend
<span style="color: red;">█</span> HIGHEST POINT OF THE BUILDING FROM NATURAL GROUND LEVEL
<span style="color: red;">---</span> EXISTING GROUND LEVEL
<span style="color: blue;">---</span> 9.5m HEIGHT LIMIT

Client  
 Carrington  
 LIVING-CARE-COMMUNITIES  
 enabled to care

Project  
**WOODLAND ASSISTED LIVING APARTMENTS**  
**WEROMBI RD - GRASMERE**

Client  
 CARRINGTON CARE

Drawing Title  
**SECTION BUILDING HEIGHT STUDIES**

Scale @ A1  
 As indicated

Sheet Created  
 NOV 2022

Project No.  
 2021050

Discipline  
 A

Checked By  
 TW

Approved By  
 JG

Drawing Number  
 DA-856

Project Status  
 DA

Drawn By  
 DC

Revision  
 3

**JACKSON TEECE**

Brisbane  
 Level 20, 244 Queen Street  
 Brisbane, QLD 4000 Australia  
 T +61 7 3236 2771  
 F +61 7 3236 2399  
 brisbane@jacksonteece.com.au

Sydney  
 Lot 1, For 9 & 23 Hickson Road  
 Sydney, NSW 2000 Australia  
 T +61 2 8266 0722  
 F +61 2 8266 1190  
 sydney@jacksonteece.com.au

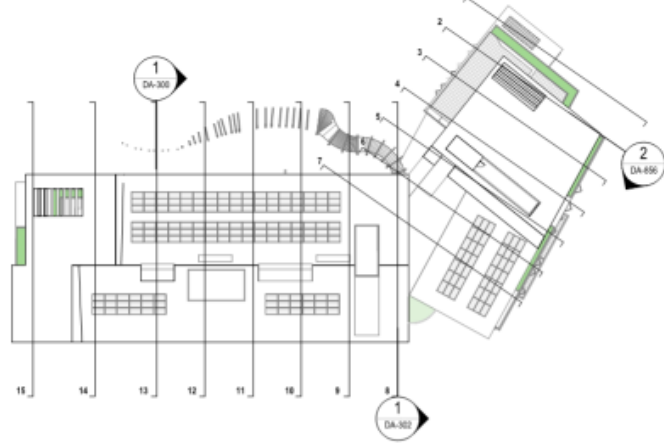
Jackson Teece Queensland  
 Pty Ltd  
 Trading as Jackson Teece  
 ABRN 62 113 371 812

Notified Architects  
 Damien Barker (AAS), David Hudson (AAS)

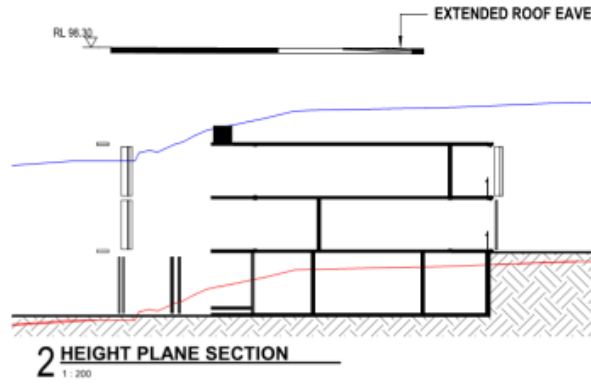
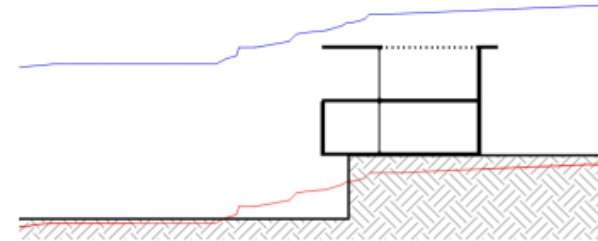
Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or in any medium, without the written permission of Jackson Teece. Do not scale this drawing, use Natural dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.

Plot Date: 18/10/2023 10:50:58 AM

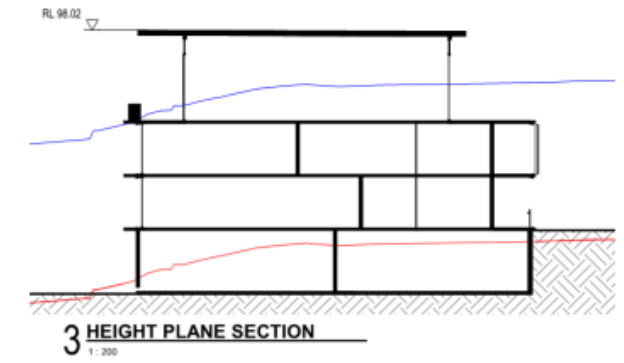
REFERENCE SECTION ON THIS SHEET ONLY



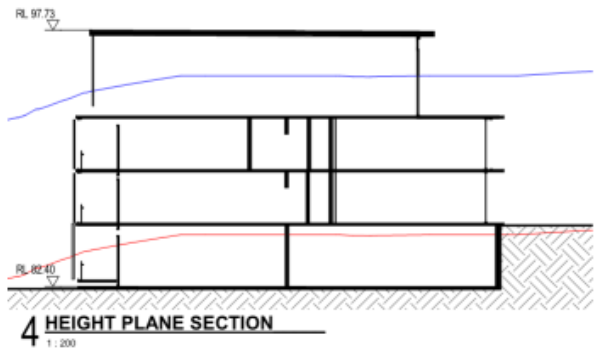
1 HEIGHT PLANE SECTION  
1:200



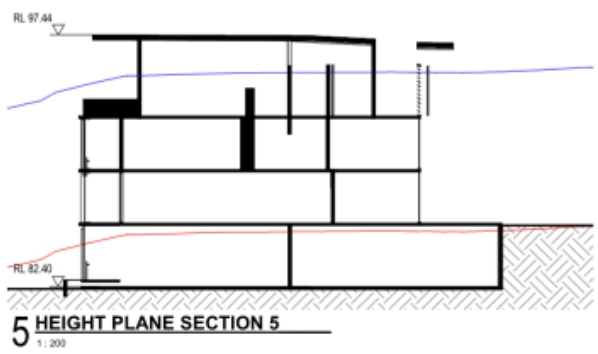
2 HEIGHT PLANE SECTION  
1:200



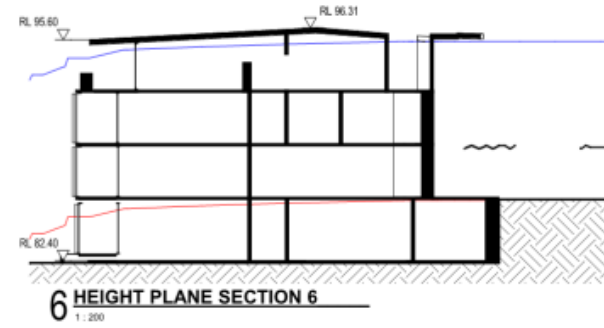
3 HEIGHT PLANE SECTION  
1:200



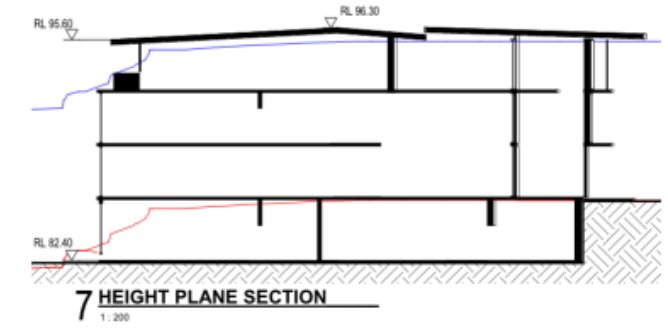
4 HEIGHT PLANE SECTION  
1:200



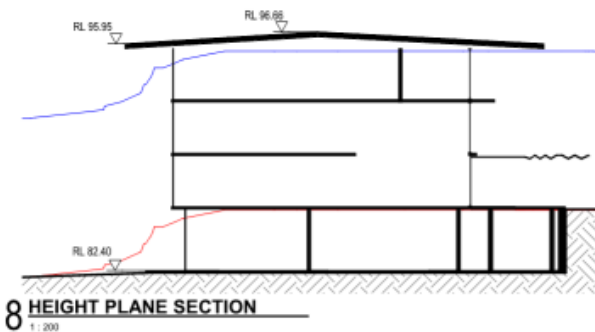
5 HEIGHT PLANE SECTION 5  
1:200



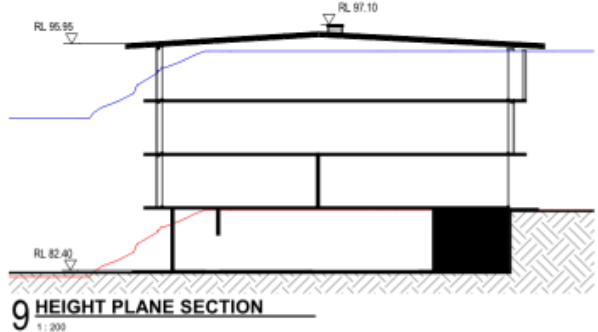
6 HEIGHT PLANE SECTION 6  
1:200



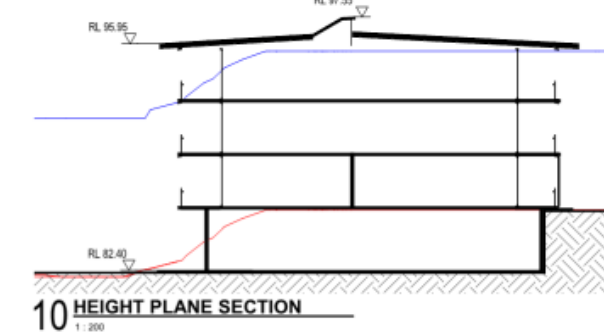
7 HEIGHT PLANE SECTION  
1:200



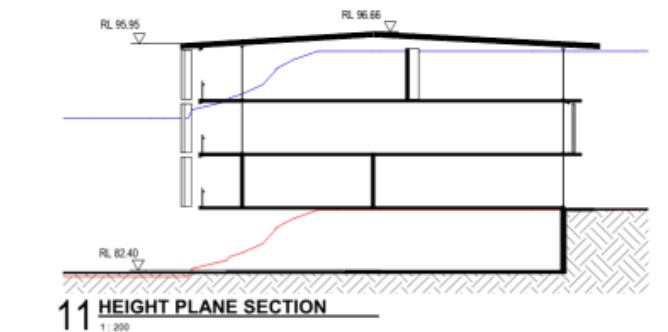
8 HEIGHT PLANE SECTION  
1:200



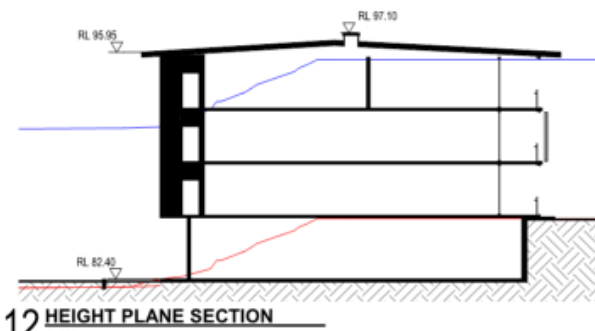
9 HEIGHT PLANE SECTION  
1:200



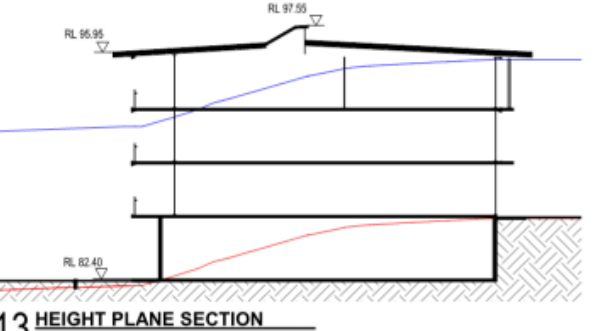
10 HEIGHT PLANE SECTION  
1:200



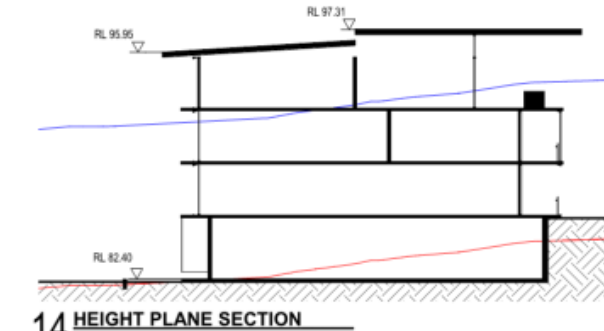
11 HEIGHT PLANE SECTION  
1:200



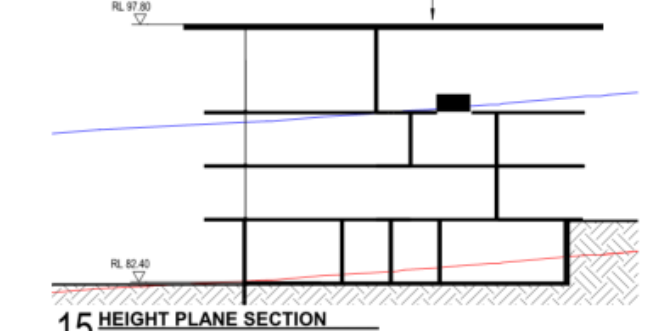
12 HEIGHT PLANE SECTION  
1:200



13 HEIGHT PLANE SECTION  
1:200



14 HEIGHT PLANE SECTION  
1:200



15 HEIGHT PLANE SECTION  
1:200

Rev.	Description	Issued By	Date
1	DA ISSUE	TW	01/10/22
2	REVISED DESIGN	TW	09/10/23
3	REVISED DA ISSUE	TW	18/10/23

Notes

Legend
— 0.5m HEIGHT PLANE
— EXISTING NATURAL GROUND LEVEL



Project  
**WOODLAND ASSISTED LIVING APARTMENTS WEROMBI RD - GRASMERE**

Client  
**CARRINGTON CARE**

Drawing Title  
**BUILDING HEIGHT PLANE SECTIONS**

Scale @ A1	Checked By	Approved By	Drawn By
As indicated	TW	JG	DC
Sheet Created <b>NOV 2022</b>	Discipline <b>A</b>	Drawing Number <b>DA-857</b>	Revision <b>3</b>
Project No. <b>2021050</b>			

**JACKSON TEECE**

Brisbane  
Level 20, 244 Queen Street  
Brisbane, QLD 4000 Australia  
T +61 7 3236 2771  
brisbane@jacksonteece.com

Sydney  
Lot 1, For 9 & 23 Hickson Road  
Sydney, NSW 2000 Australia  
T +61 2 8086 0722  
F +61 2 8086 1190  
sydney@jacksonteece.com

Jackson Teece Queensland  
Pty Ltd  
Trading as Jackson Teece  
ABN 67 113 377 812

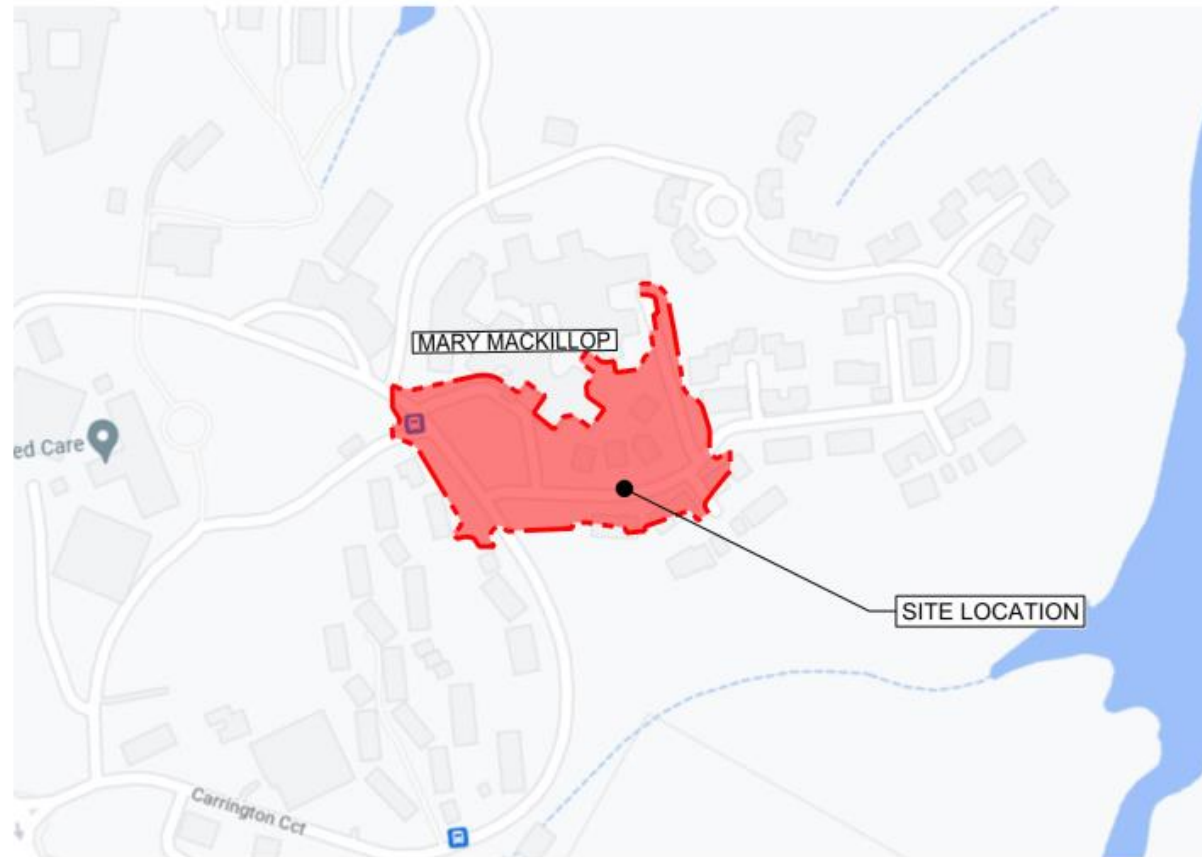
Copyright and information contained in this drawing are copyright and may not be reproduced in whole or part or in any medium, without the written permission of Jackson Teece. Do not scale this drawing as per signed dimensions only. Verify all project dimensions before commencing on-site work or off-site fabrication. Notify Jackson Teece of any discrepancies and seek instructions.

Plot Date: 18/10/2023 10:57:07 AM

# 90 WEROMBI ROAD, GRASMERE

## FOR CARRINGTON CENTENNIAL CARE

LGA : CAMDEN  
LOT : 10/DP845472



SITE LOCATION PLAN  
N.T.S

DRAWING LIST

DRAWING NUMBER	DRAWING TITLE
C-1000	COVER SHEET LOCALITY PLAN AND DRAWING INDEX
C-1001	GENERAL NOTES
C-1010	GENERAL ARRANGEMENT PLAN
C-1100	EARTHWORKS CUT & FILL PLAN
C-1200	ROADWORKS AND DRAINAGE PLAN GROUND
C-1201	BASEMENT DRAINAGE PLAN GROUND
C-1220	ROADWORKS TYPICAL SECTIONS
C-1280	ROADWORKS DETAILS
C-1310	STORMWATER DRAINAGE CATCHMENT PLAN WATER QUANTITY
C-1311	STORMWATER DRAINAGE CATCHMENT WATER QUALITY
C-1330	OSD TANK PLAN AND SECTION SHEET 1
C-1331	OSD TANK PLAN AND SECTION SHEET 2
C-1350	STORMWATER DRAINAGE DETAILS
C-1400	ROADWORKS STAGING PLAN
C-1800	EROSION AND SEDIMENT CONTROL PLAN
C-1810	EROSION AND SEDIMENT CONTROL DETAILS
C-1900	VEHICLE TURN PATHS SHEET 1
C-1901	VEHICLE TURN PATHS SHEET 2

### ASSISTED LIVING APARTMENTS - ROAD WORKS, CIVIL SITWORKS & STORMWATER MANAGEMENT PLAN



<table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>C</td> <td>RE-ISSUED FOR DA</td> <td>23.10.2023</td> </tr> <tr> <td>B</td> <td>ISSUED FOR DA</td> <td>14.07.2023</td> </tr> <tr> <td>A</td> <td>ISSUED FOR DA</td> <td>04.09.2022</td> </tr> </tbody> </table>		REV	DESCRIPTION	DATE	C	RE-ISSUED FOR DA	23.10.2023	B	ISSUED FOR DA	14.07.2023	A	ISSUED FOR DA	04.09.2022	BAR SCALES	CLIENT 	PROJECT WOODLAND ASSISTED LIVING APARTMENTS	TITLE COVER SHEET LOCALITY PLAN AND DRAWING INDEX	STATUS ISSUED FOR APPROVAL	Engineering & Project Management ABN / 72646014342 P / +61 435 144 005 E / admin@skyeng.com.au www.skyeng.com.au						
REV	DESCRIPTION	DATE																							
C	RE-ISSUED FOR DA	23.10.2023																							
B	ISSUED FOR DA	14.07.2023																							
A	ISSUED FOR DA	04.09.2022																							
REVISIONS						<table border="1"> <tr> <td>Drawn</td> <td>Designed</td> <td>Checked</td> <td>Approved</td> </tr> <tr> <td>SY</td> <td>SY</td> <td>AL</td> <td>FX</td> </tr> <tr> <td>Height Datum</td> <td>Grid</td> <td>SCALE</td> <td></td> </tr> <tr> <td>AHD</td> <td>SGC</td> <td>NTS</td> <td></td> </tr> </table>	Drawn	Designed	Checked	Approved	SY	SY	AL	FX	Height Datum	Grid	SCALE		AHD	SGC	NTS		Project No. SY22-058	Drawing No. C-1000	Issue C
Drawn	Designed	Checked	Approved																						
SY	SY	AL	FX																						
Height Datum	Grid	SCALE																							
AHD	SGC	NTS																							

GENERAL

- 1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE SPECIFICATION AND THE REQUIREMENTS OF THE LOCAL COUNCIL.
2. THE CONTRACTOR SHALL LIAISE WITH ALL RELEVANT AUTHORITIES TO LOCATE ALL EXISTING SERVICES WITHIN THE CONTRACT AREA PRIOR TO THE COMMENCEMENT OF WORK.
3. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DRAWINGS, SPECIFICATIONS AND ANY OTHER WRITTEN INSTRUCTIONS...

SURVEY

- 1. THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN DERIVED FROM SURVEY INFORMATION SUPPLIED FROM BEVERIDGE WILLIAMS LAND DEVELOPMENT CONSULTANTS.
2. THE SURVEY INFORMATION IS SHOWN TO PROVIDE A BASIS FOR DESIGN. SKY ENGINEERING PTY LTD DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.

EXISTING SERVICES AND FEATURES

- 1. THE CONTRACTOR MUST CONFIRM THE EXACT LOCATION AND EXTENT OF EXISTING SERVICES PRIOR TO CONSTRUCTION AND NOTIFY ANY CONFLICT WITH THE DRAWINGS IMMEDIATELY TO THE ENGINEER/SUPERINTENDENT.
2. EXISTING SERVICES UNLESS SHOWN ON SURVEY PLAN HAVE BEEN PLOTTED FROM SERVICES SEARCH PLANS AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED.

STORMWATER DRAINAGE

- 1. THE STORMWATER DESIGN SHOWN ON THESE DRAWINGS HAS BEEN CARRIED OUT IN ACCORDANCE WITH THE LOCAL COUNCIL'S REQUIREMENTS, AUSTRALIAN RAINFALL AND RUNOFF (ARRR) GUIDELINES AND RELEVANT AUTHORITIES GUIDELINES.
2. ALL STORMWATER WORK IS TO COMPLY WITH AS3300 PART 3.
3. PROTECTION OF NEW AND EXISTING PIPES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

SUBSOIL DRAINAGE

- 1. PROVIDE SUBSOIL DRAINS TO INTERCEPT GROUNDWATER SEEPAGE AND PREVENT WATER BUILD-UP BEHIND WALLS AND UNDER FLOORS AND PAVEMENTS, CONNECT SUBSOIL TO SURFACE DRAINS OR TO THE STORMWATER DRAINAGE SYSTEM AS APPLICABLE.
2. ALL SUBSOIL PIPES SHALL BE 100mm SLOTTED CORRUGATED uPVC IN A FILTER SOCK U.N.O.

KERBING

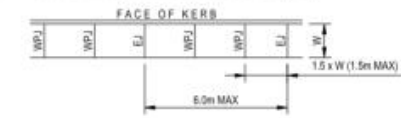
- 1. ALL KERBS, GUTTERS, DISH DRAINS, CROSSINGS AND EDGES INCLUDES ALL KERBS, GUTTERS, DISH DRAINS, CROSSINGS AND EDGES.
2. ALL KERBS, GUTTERS, DISH DRAINS AND CROSSINGS TO BE CONSTRUCTED ON MINIMUM 100mm GRANULAR BASE COURSE MATERIAL COMPACTED TO A MINIMUM 90% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1.

EROSION AND SEDIMENT CONTROL

- 1. ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED, PLACED AND MAINTAINED IN ACCORDANCE WITH RELEVANT AUTHORITY GUIDELINES AND ANY DETAILS SHOWN ON THESE DRAWINGS.
2. ALL PERIMETER AND SILTATION CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN EARTHWORKS AND/OR CLEARING.

FOOTPATH JOINTING

- 1. EXPANSION JOINTS (EJ) ARE TO BE LOCATED WHERE POSSIBLE AT TANGENT POINTS OF CURVES AND ELSEWHERE AT MAX 6.0M CENTRES.
2. WEAKENED PLANE JOINTS (WPI) ARE TO BE LOCATED AT A MAX 1.5 x WIDTH OF THE PAVEMENT. WEAKENED PLANE JOINTS (WPI) ARE TO BE A MINIMUM 30mm WIDE WITH A JOINT DEPTH TO BE A MINIMUM OF 1/4 THE TOTAL DEPTH OF THE SECTION.



GENERAL PAVEMENT

- 1. TECHNICAL SPECIFICATIONS CONTAINED WITHIN THE GEOTECHNICAL REPORT TAKE PRECEDENCE OVER THESE NOTES.
2. PRIOR TO DELIVERY OF ANY MATERIAL TO THE SITE, THE SOURCE OF ALL MATERIALS AND ANY RELEVANT CERTIFICATES STATING THAT THE MATERIAL SATISFIES THE SPECIFIED REQUIREMENTS SHALL BE PROVIDED TO THE SUPERINTENDENT FOR APPROVAL.

Table with columns: REV, DESCRIPTION, DATE. Rows include RE-ISSUED FOR DA, ISSUED FOR DA, ISSUED FOR DA.

Table with column: BAR SCALES. Contains numerical values.

CLIENT: Carrington logo

PROJECT: WOODLAND ASSISTED LIVING APARTMENTS

TITLE: GENERAL NOTES

Table with columns: STATUS (ISSUED FOR APPROVAL), Drawn SY, Designed SY, Checked AL, Approved FX, Height Datum, Grid, SCALE, AT A1 SIZE.

Engineering & Project Management logo and contact details: SKY Engineering & Project Management, ABN / 72646014342, P / +61 435 144 005, E / admin@skyseng.com.au, www.skyseng.com.au. Project No. SY22-058, Drawing No. C-1001, Issue C.





<table border="1"> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td>C</td> <td>RE-ISSUED FOR DA</td> <td>23.10.2023</td> </tr> <tr> <td>B</td> <td>ISSUED FOR DA</td> <td>14.07.2023</td> </tr> <tr> <td>A</td> <td>ISSUED FOR DA</td> <td>04.09.2022</td> </tr> </table>		REV	DESCRIPTION	DATE	C	RE-ISSUED FOR DA	23.10.2023	B	ISSUED FOR DA	14.07.2023	A	ISSUED FOR DA	04.09.2022	<p>BAR SCALES</p>	<p>CLIENT</p>	<p>PROJECT</p> <p>WOODLAND ASSISTED LIVING APARTMENTS</p>	<p>TITLE</p> <p>GENERAL ARRANGEMENT PLAN</p>	<p>STATUS</p> <p>ISSUED FOR APPROVAL</p> <table border="1"> <tr> <td>Drawn</td> <td>Designed</td> <td>Checked</td> <td>Approved</td> </tr> <tr> <td>SY</td> <td>SY</td> <td>AL</td> <td>FX</td> </tr> <tr> <td>Height Datum</td> <td>Grid</td> <td>SCALE</td> <td></td> </tr> <tr> <td>AHD</td> <td>SGC</td> <td>1:500</td> <td></td> </tr> </table> <p>at A1 SIZE</p>	Drawn	Designed	Checked	Approved	SY	SY	AL	FX	Height Datum	Grid	SCALE		AHD	SGC	1:500		<p>Engineering &amp; Project Management                  ABN / 72646014342                  P / +61 435 144 005                  E / admin@skying.com.au                  www.skying.com.au</p> <table border="1"> <tr> <td>Project No.</td> <td>Drawing No.</td> <td>Issue</td> </tr> <tr> <td>SY22-058</td> <td>C-1010</td> <td>C</td> </tr> </table>	Project No.	Drawing No.	Issue	SY22-058	C-1010	C
REV	DESCRIPTION	DATE																																							
C	RE-ISSUED FOR DA	23.10.2023																																							
B	ISSUED FOR DA	14.07.2023																																							
A	ISSUED FOR DA	04.09.2022																																							
Drawn	Designed	Checked	Approved																																						
SY	SY	AL	FX																																						
Height Datum	Grid	SCALE																																							
AHD	SGC	1:500																																							
Project No.	Drawing No.	Issue																																							
SY22-058	C-1010	C																																							



**LEGEND**

**EXISTING**

- EXISTING CONTOURS
- EXISTING EASEMENT
- EXISTING STORMWATER PIPE
- EXISTING HEADWALL

**NEW**

- LIMITS OF WORKS BOUNDARY

**EARTHWORKS VOLUMES**

TOTAL CUT	4,070 m <sup>3</sup>
TOTAL FILL	1,415 m <sup>3</sup>
BALANCE	4,855 m <sup>3</sup> (EXP REQUIRED)

- NOTES**
- EARTHWORKS VOLUMES DENOTED ARE APPROXIMATE ONLY AND HAVE BEEN CALCULATED BETWEEN THE FINISHED SURFACE LEVEL AND THE EXISTING SURFACE LEVEL. THE VOLUMES DO NOT TAKE INTO ACCOUNT:-
- TOPSOIL STRIPPING
  - BULKING FACTORS OF REMOVED CUT
  - REMOVAL OF EXISTING BUILDING SLABS AND PAVEMENTS
  - REMOVAL AND/OR REMEDIATION OF ANY EXISTING UNCONTROLLED FILL
  - PROPOSED LANDSCAPING
  - STORMWATER AND UTILITIES TRENCHING
  - EXISTING DAMS OR WATER BODIES WHERE BY THE BASE HAS NOT BEEN SURVEYED DUE TO THE PRESENCE OF WATER AT TIME OF SURVEY

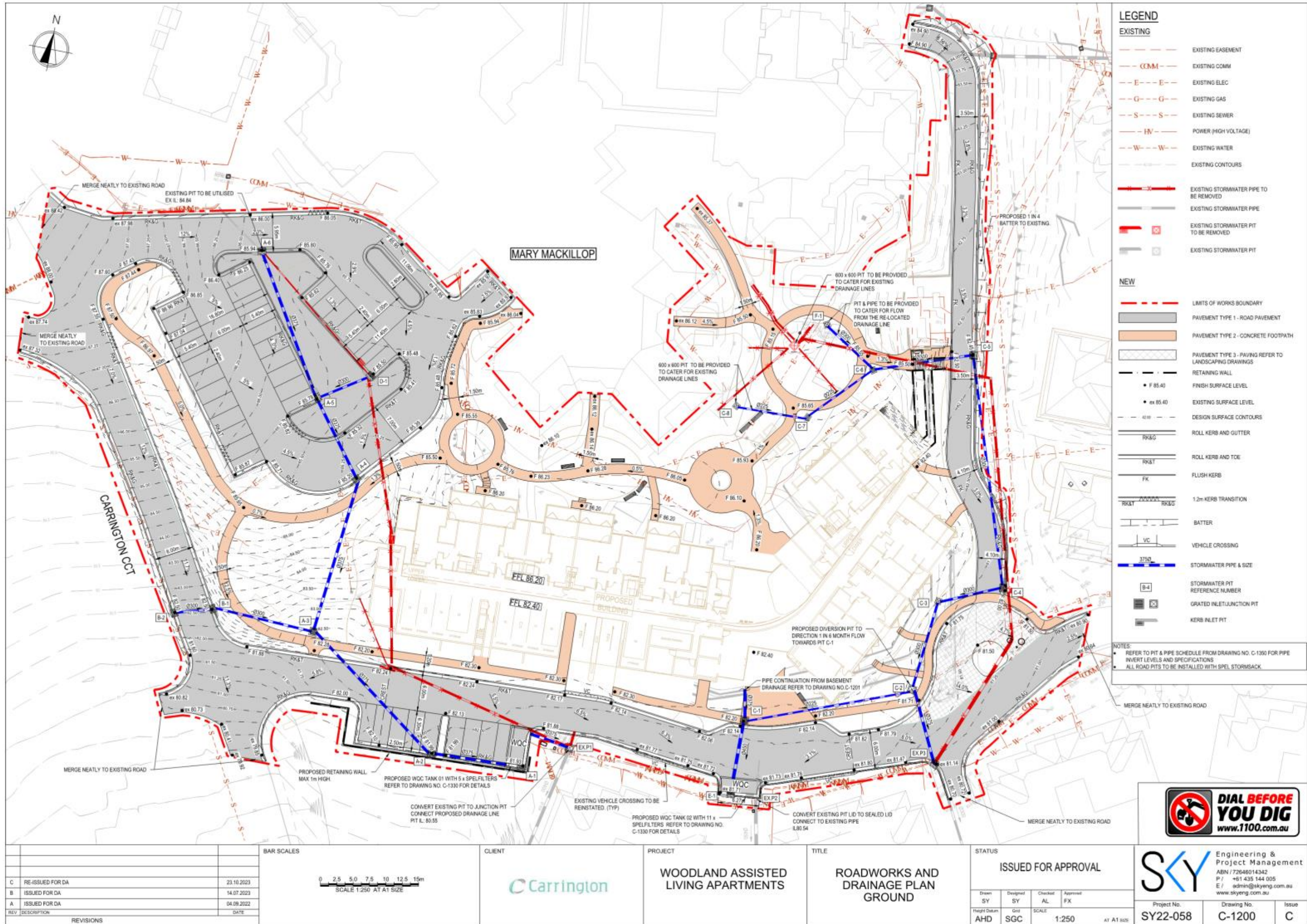
**DEPTH RANGE LEGEND**

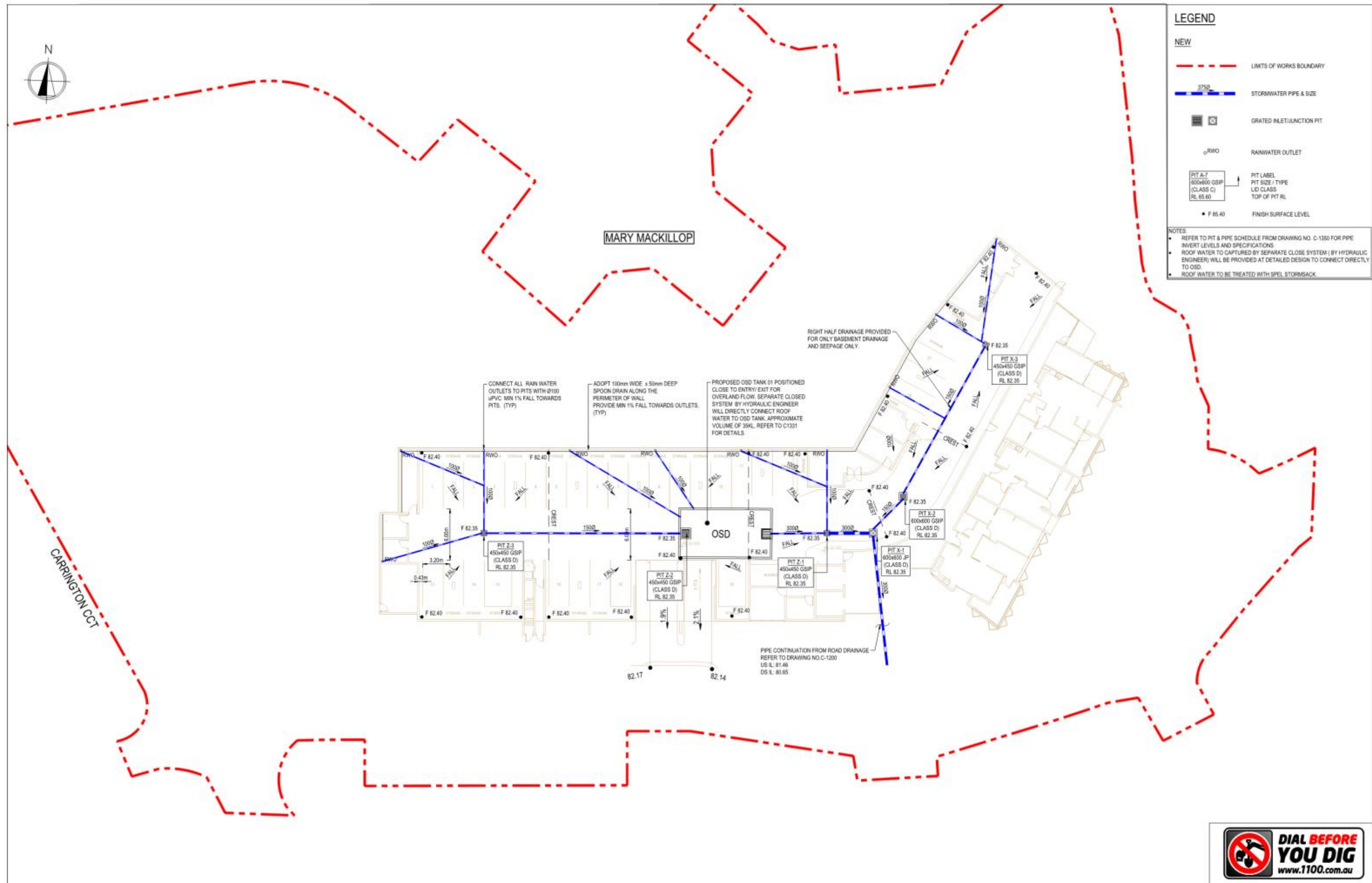
Lower value	Upper value	Colour
-10.00	-2.00 m	Brown
-2.00	-1.75 m	Dark Brown
-1.75	-1.50 m	Orange
-1.50	-1.25 m	Yellow-Green
-1.25	-1.00 m	Yellow
-1.00	-0.75 m	Light Green
-0.75	-0.50 m	Green
-0.50	-0.25 m	Light Blue
-0.25	0.00 m	Blue
0.00	0.25 m	Light Blue
0.25	0.50 m	Light Green
0.50	0.75 m	Green
0.75	1.00 m	Dark Green
1.00	1.25 m	Blue
1.25	1.50 m	Light Blue
1.50	1.75 m	Light Green
1.75	2.00 m	Green
2.00	1000 m	Dark Green



REVISIONS B RE ISSUED FOR DA 23.10.2023 A ISSUED FOR DA 07.07.2023	BAR SCALES 0 2.5 5.0 7.5 10 12.5 15m SCALE 1:250 AT A1 SIZE	CLIENT 	PROJECT WOODLAND ASSISTED LIVING APARTMENTS	TITLE EARTHWORKS CUT & FILL PLAN	STATUS ISSUED FOR APPROVAL	 Engineering & Project Management ABN / 72646014342 P / +61 435 144 005 E / admin@skying.com.au www.skying.com.au	
	Height Datum AHD	Grid SGC	Checked AL	Approved FX	SCALE 1:250	Project No. SY22-058	Drawing No. C-1100







**LEGEND**

**NEW**

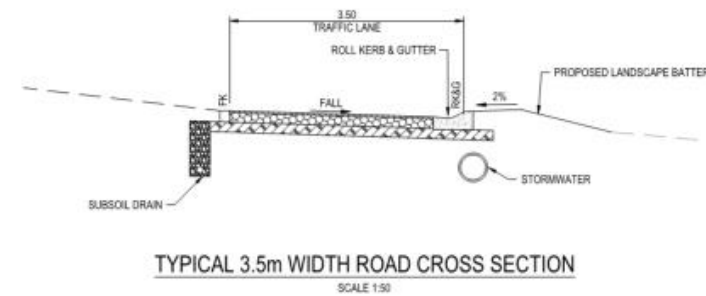
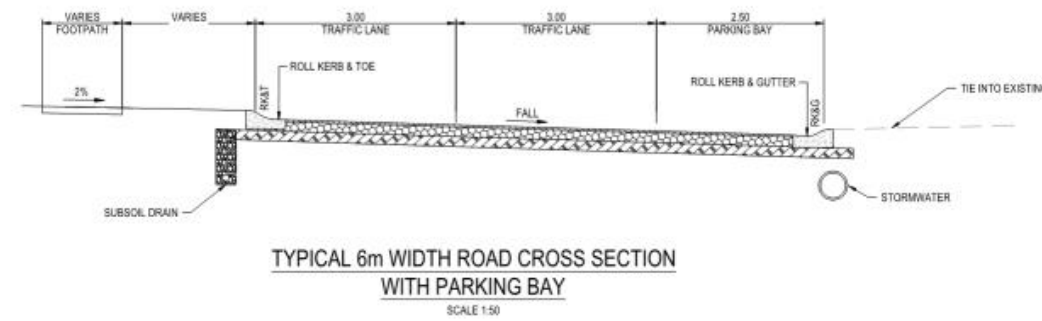
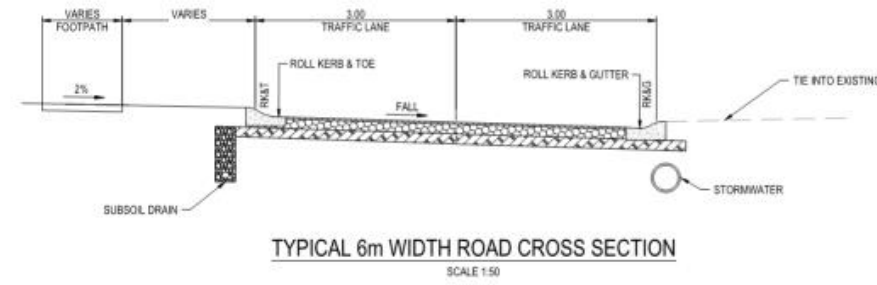
- LIMITS OF WORKS BOUNDARY
- 3750 STORMWATER PIPE & SIZE
- GRATED INLET/JUNCTION PIT
- RWO RAINWATER OUTLET
- PIT A-7 600x600 GSP (CLASS C) RL 85.60 PIT LABEL, PIT SIZE / TYPE, LD CLASS, TOP OF PIT RL
- F 85.40 FINISH SURFACE LEVEL

**NOTES**

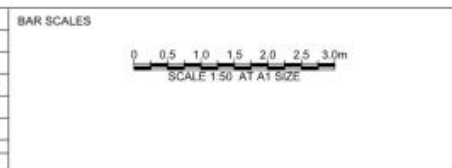
- REFER TO PIT & PIPE SCHEDULE FROM DRAWING NO. C-1350 FOR PIPE INVERT LEVELS AND SPECIFICATIONS.
- ROOF WATER TO CAPTURED BY SEPARATE CLOSE SYSTEM (BY HYDRAULIC ENGINEER) WILL BE PROVIDED AT DETAILED DESIGN TO CONNECT DIRECTLY TO OSD.
- ROOF WATER TO BE TREATED WITH SPEL STORMSACK.



<table border="1"> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> <tr> <td>C</td> <td>RE-ISSUED FOR DA</td> <td>23.10.2023</td> </tr> <tr> <td>B</td> <td>ISSUED FOR DA</td> <td>14.07.2023</td> </tr> <tr> <td>A</td> <td>ISSUED FOR DA</td> <td>04.09.2022</td> </tr> </table>		REV	DESCRIPTION	DATE	C	RE-ISSUED FOR DA	23.10.2023	B	ISSUED FOR DA	14.07.2023	A	ISSUED FOR DA	04.09.2022	<p>BAR SCALES</p> <p>SCALE 1:200 AT A1 SIZE</p>	<p>CLIENT</p>	<p>PROJECT</p> <p>WOODLAND ASSISTED LIVING APARTMENTS</p>	<p>TITLE</p> <p>BASEMENT DRAINAGE PLAN GROUND</p>	<p>STATUS</p> <p>ISSUED FOR APPROVAL</p> <table border="1"> <tr> <td>Drawn</td> <td>Designed</td> <td>Checked</td> <td>Approved</td> </tr> <tr> <td>SY</td> <td>SGC</td> <td>AL</td> <td>FX</td> </tr> <tr> <td>Height Datum</td> <td>Grid</td> <td>SCALE</td> <td></td> </tr> <tr> <td>AHD</td> <td>SGC</td> <td>1:200</td> <td></td> </tr> </table>	Drawn	Designed	Checked	Approved	SY	SGC	AL	FX	Height Datum	Grid	SCALE		AHD	SGC	1:200		<p>Engineering &amp; Project Management                  ABN / 72648014342                  P / +61 435 144 005                  E / admin@skying.com.au                  www.skying.com.au</p> <table border="1"> <tr> <td>Project No.</td> <td>Drawing No.</td> <td>Issue</td> </tr> <tr> <td>SY22-058</td> <td>C-1201</td> <td>C</td> </tr> </table>	Project No.	Drawing No.	Issue	SY22-058	C-1201	C
REV	DESCRIPTION	DATE																																							
C	RE-ISSUED FOR DA	23.10.2023																																							
B	ISSUED FOR DA	14.07.2023																																							
A	ISSUED FOR DA	04.09.2022																																							
Drawn	Designed	Checked	Approved																																						
SY	SGC	AL	FX																																						
Height Datum	Grid	SCALE																																							
AHD	SGC	1:200																																							
Project No.	Drawing No.	Issue																																							
SY22-058	C-1201	C																																							



REV	DESCRIPTION	DATE
C	RE-ISSUED FOR DA	23.10.2023
B	ISSUED FOR DA	14.07.2023
A	ISSUED FOR DA	04.09.2022



CLIENT

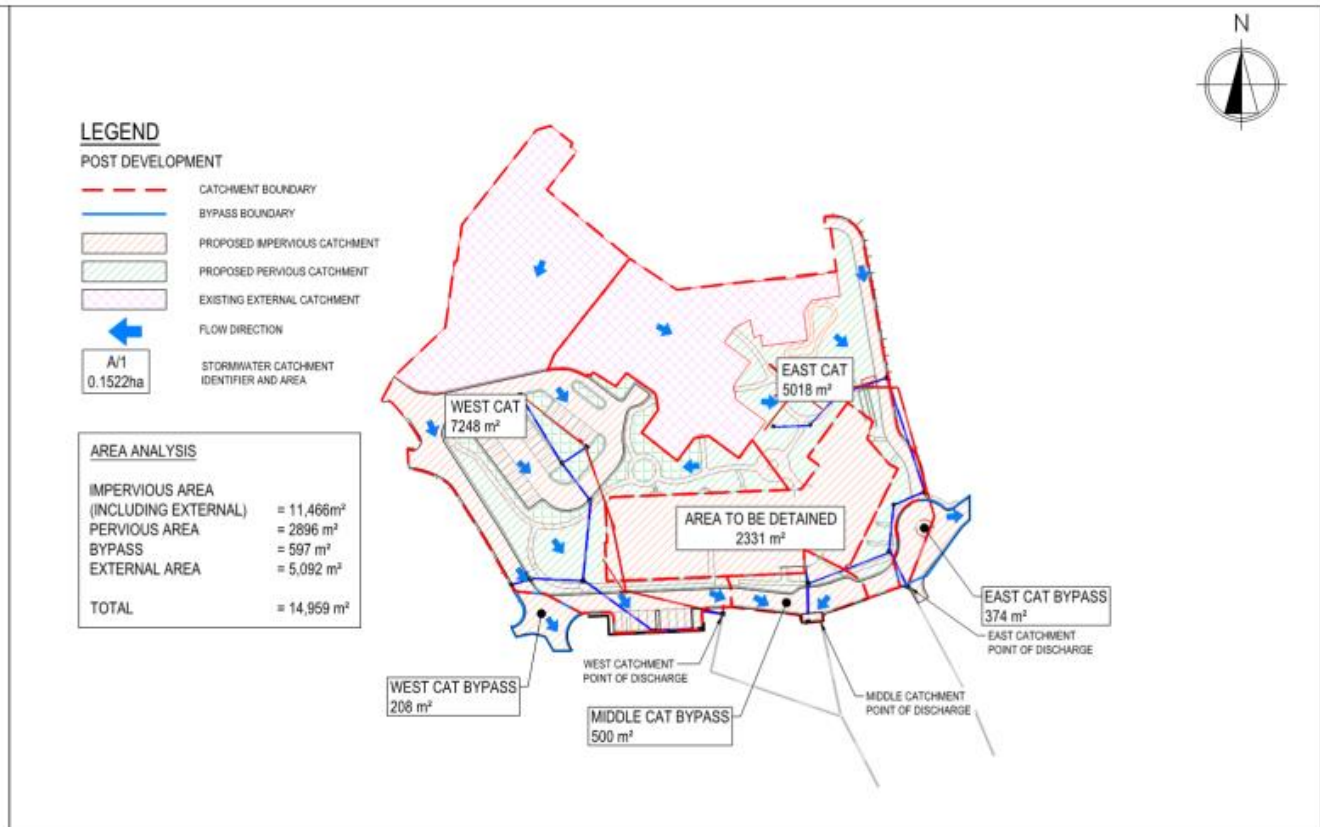
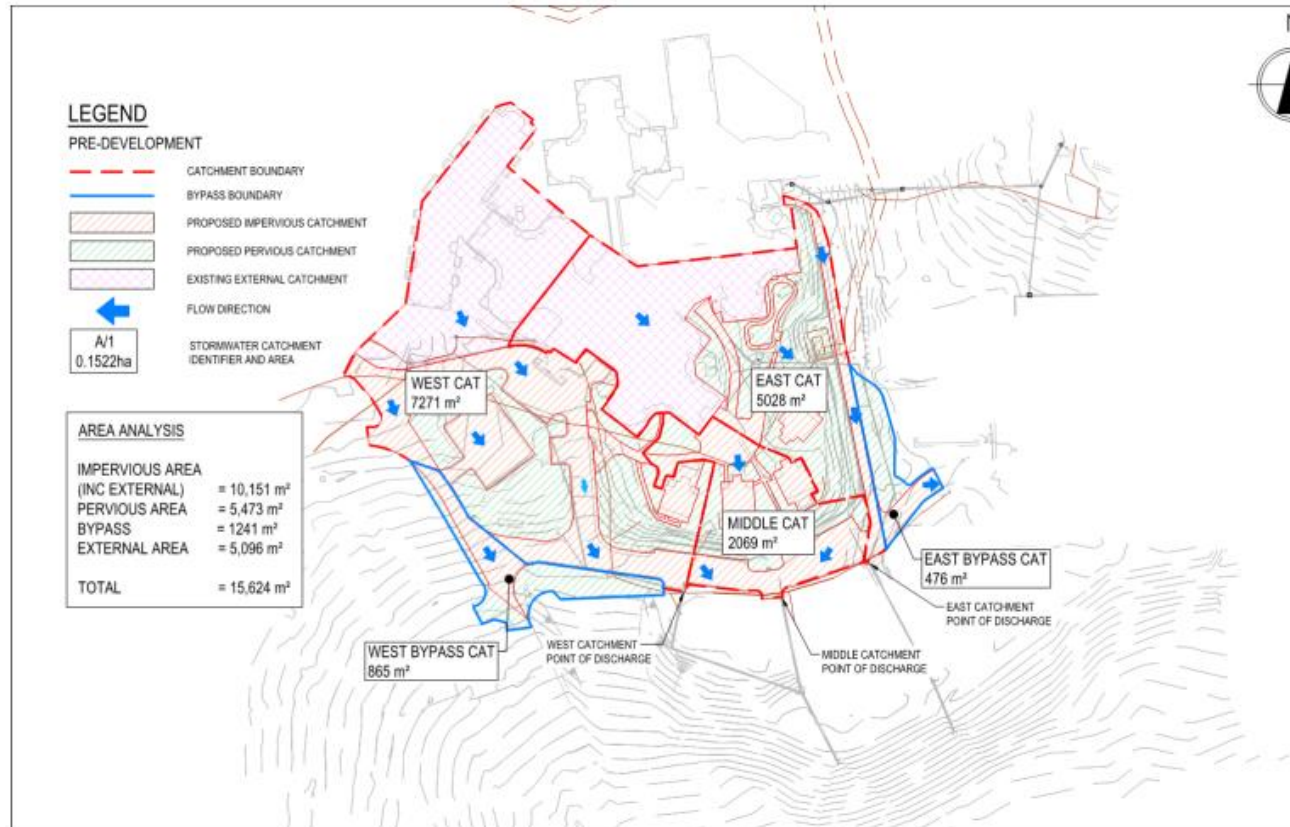
PROJECT  
 WOODLAND ASSISTED LIVING APARTMENTS

TITLE  
 ROADWORKS TYPICAL SECTIONS

STATUS ISSUED FOR APPROVAL			
Drawn SY	Designed SY	Checked AL	Approved FX
Height Datum AHD	Grid SGC	SCALE 1:200	at A1 SIZE

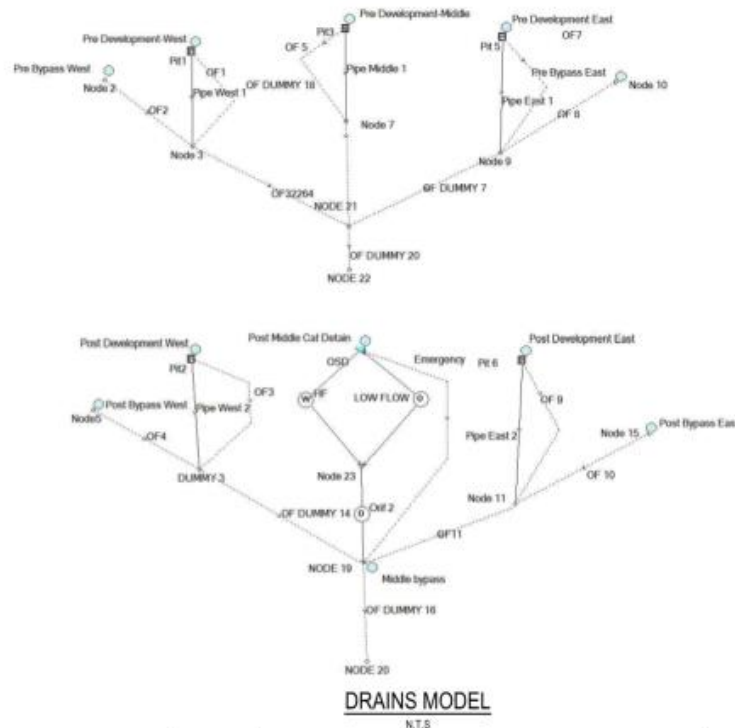
Engineering & Project Management  
 ABN / 72646014342  
 P / +61 435 144 005  
 E / admin@skyeng.com.au  
 www.skyeng.com.au

Project No. SY22-058	Drawing No. C-1220	Issue C
-------------------------	-----------------------	------------



PRE-DEVELOPMENT CATCHMENT - WATER QUANTITY

POST-DEVELOPMENT CATCHMENT - WATER QUANTITY



ONSITE DETENTION CALCULATIONS IN ACCORDANCE WITH CAMDEN COUNCIL'S TECHNICAL SPECIFICATION

	EXISTING	PROPOSED
TOTAL SITE AREA	15,624.0 m <sup>2</sup>	
TOTAL PERVIOUS AREA	4,636.0 m <sup>2</sup>	4,652.5 m <sup>2</sup>
TOTAL IMPERVIOUS AREA	10,988.0 m <sup>2</sup> (70.3%)	11,571.5 m <sup>2</sup> (74.1%)
AREA TO BE DETAINED	2195 m <sup>2</sup> (PROPOSED BUILDING)	
<b>STORM EVENTS</b>	<b>PRE-DEVELOPMENT RUNOFF</b>	<b>POST-DEVELOPMENT RUNOFF</b>
20% AEP (5 YEAR ARI)	420 l/s	415 l/s
10% AEP (10 YEAR ARI)	485 l/s	483 l/s
5% AEP (20 YEAR ARI)	578 l/s	560 l/s
2% AEP (50 YEAR ARI)	619 l/s	610 l/s
1% AEP (100 YEAR ARI)	699 l/s	696 l/s
<b>OSD TANK SPECIFICATION</b>		
PRIMARY OFFICE	185mm @ RL 81.52	
SECONDARY OFFICE	200mm @ RL 81.26	
WER	L=1.8m @ RL 82.12	
CALCULATED TANK VOLUME REQUIRED	30 m <sup>3</sup>	
TANK VOLUME PROVIDED FOR DETENTION	35 m <sup>3</sup>	

<b>REVISIONS</b> C RE-ISSUED FOR DA 23.10.2023 B ISSUED FOR DA 14.07.2023 A ISSUED FOR DA 04.09.2022	<b>BAR SCALES</b> 0 10 20 30 40 50 60m SCALE 1:1000 AT A1 SIZE	<b>CLIENT</b> Carrington	<b>PROJECT</b> WOODLAND ASSISTED LIVING APARTMENTS	<b>TITLE</b> STORMWATER DRAINAGE CATCHMENT PLAN WATER QUANTITY	<b>STATUS</b> ISSUED FOR APPROVAL	 Engineering & Project Management ABN / 72646014342 P / +61 435 144 005 E / admin@skying.com.au www.skying.com.au



- LEGEND**
- WATER QUALITY (MUSIC)**
- CATCHMENT BOUNDARY
  - BYPASS BOUNDARY
  - PERVIOUS CATCHMENT
  - ROOF CATCHMENT
  - ROAD & CARPARK CATCHMENT
  - FOOTPATH CATCHMENT
  - ← FLOW DIRECTION
  - A/1  
0.1522ha STORMWATER CATCHMENT IDENTIFIER AND AREA

**POST DEVELOPMENT CATCHMENT**

ROOF	= 2,331 m <sup>2</sup>
ROAD & CARPARK	= 3,361 m <sup>2</sup>
FOOTPATH	= 817 m <sup>2</sup>
PERVIOUS AREA	= 3,590 m <sup>2</sup>
BYPASS	= 371 m <sup>2</sup>
<b>TOTAL</b>	<b>= 10,236 m<sup>2</sup></b>

POST-DEVELOPMENT CATCHMENT (WATER QUALITY)

SCALE 1:500



MUSIC MODEL LAYOUT

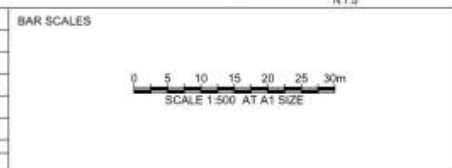
NTS

	Sources	Residual Load	% Reduction
<b>Flow (ML/yr)</b>	5.26	5.26	0
<b>Total Suspended Solids (kg/yr)</b>	1070	141	86.8
<b>Total Phosphorus (kg/yr)</b>	2.08	0.558	73.2
<b>Total Nitrogen (kg/yr)</b>	12.6	5.34	57.5
<b>Gross Pollutants (kg/yr)</b>	137	3.43	97.5

MUSIC RESULTS

NTS

REV	DESCRIPTION	DATE
C	RE-ISSUED FOR DA	23.10.2023
B	ISSUED FOR DA	14.07.2023
A	ISSUED FOR DA	04.09.2022



CLIENT

PROJECT

WOODLAND ASSISTED LIVING APARTMENTS

TITLE

STORMWATER DRAINAGE CATCHMENT WATER QUALITY

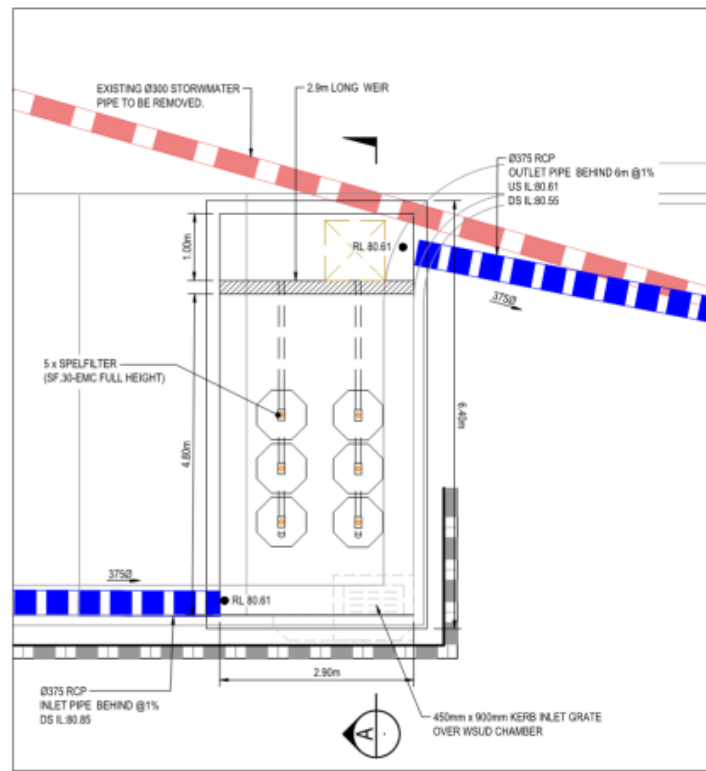
STATUS

ISSUED FOR APPROVAL

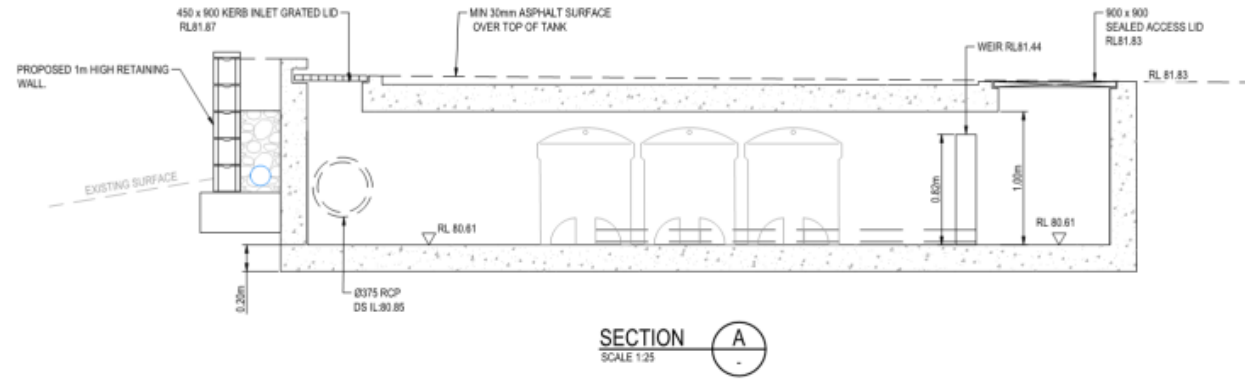
Drawn SY	Designed SY	Checked AL	Approved FX
Height Datum AHD	Grid SGC	SCALE 1:500	AT A1 SIZE

Engineering & Project Management  
 ABN / 72646014342  
 P / +61 435 144 005  
 E / admin@skying.com.au  
 www.skying.com.au

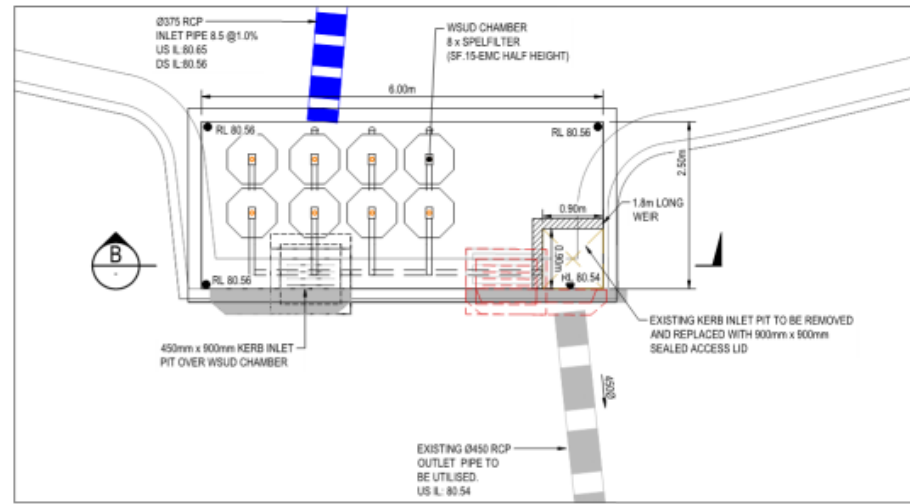
Project No. SY22-058	Drawing No. C-1311	Issue C
----------------------	--------------------	---------



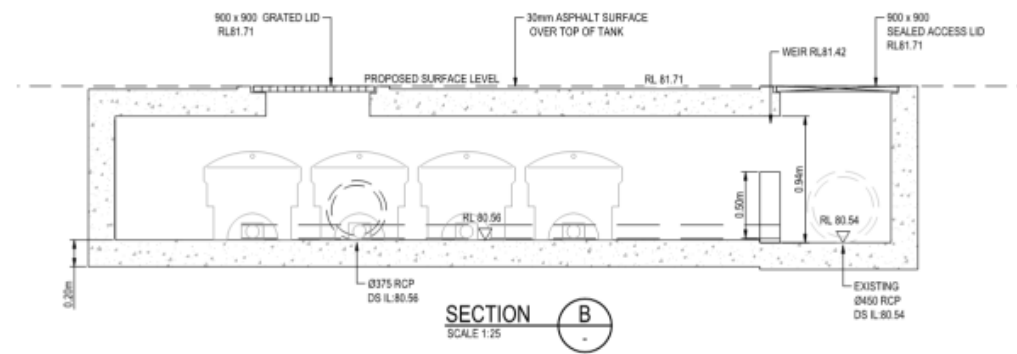
WQC TANK 01 PLAN  
SCALE 1:50



SECTION A  
SCALE 1:25



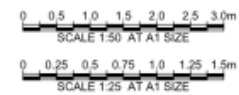
WQC TANK 02 PLAN  
SCALE 1:50



SECTION B  
SCALE 1:25

REV	DESCRIPTION	DATE
C	RE-ISSUED FOR DA	23.10.2023
B	ISSUED FOR DA	14.07.2023
A	ISSUED FOR DA	04.09.2022

BAR SCALES



CLIENT



PROJECT

WOODLAND ASSISTED LIVING APARTMENTS

TITLE

OSD TANK PLAN AND SECTION SHEET 1

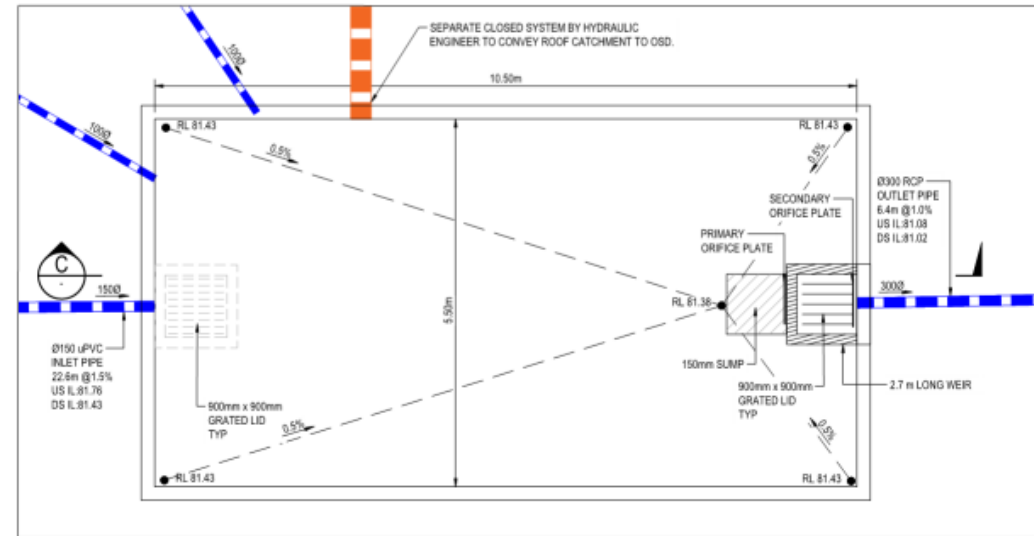
STATUS

ISSUED FOR APPROVAL

Drawn	Designed	Checked	Approved
SY	SY	AL	FX
AHD	SGC	AS SHOWN	AT A1 SIZE

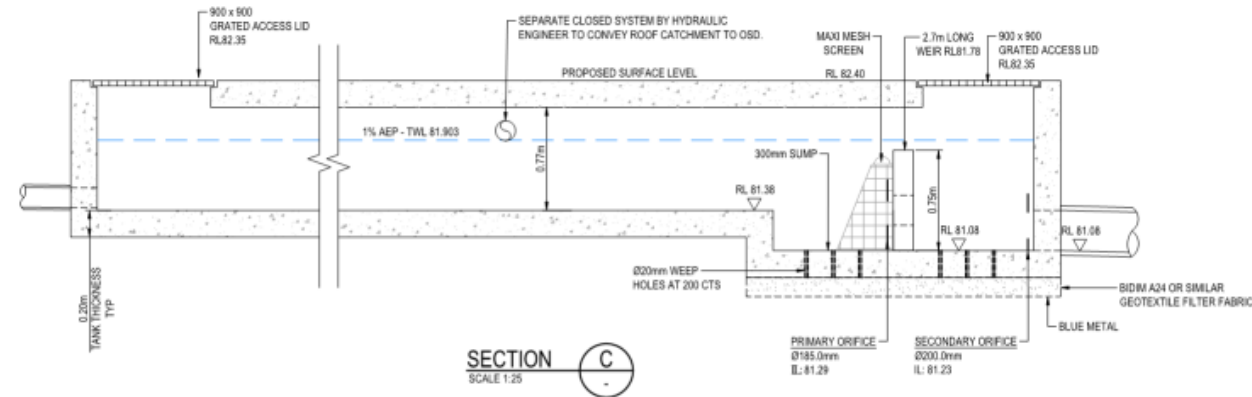


Project No.	Drawing No.	Issue
SY22-058	C-1330	C



OSD TANK 01 PLAN

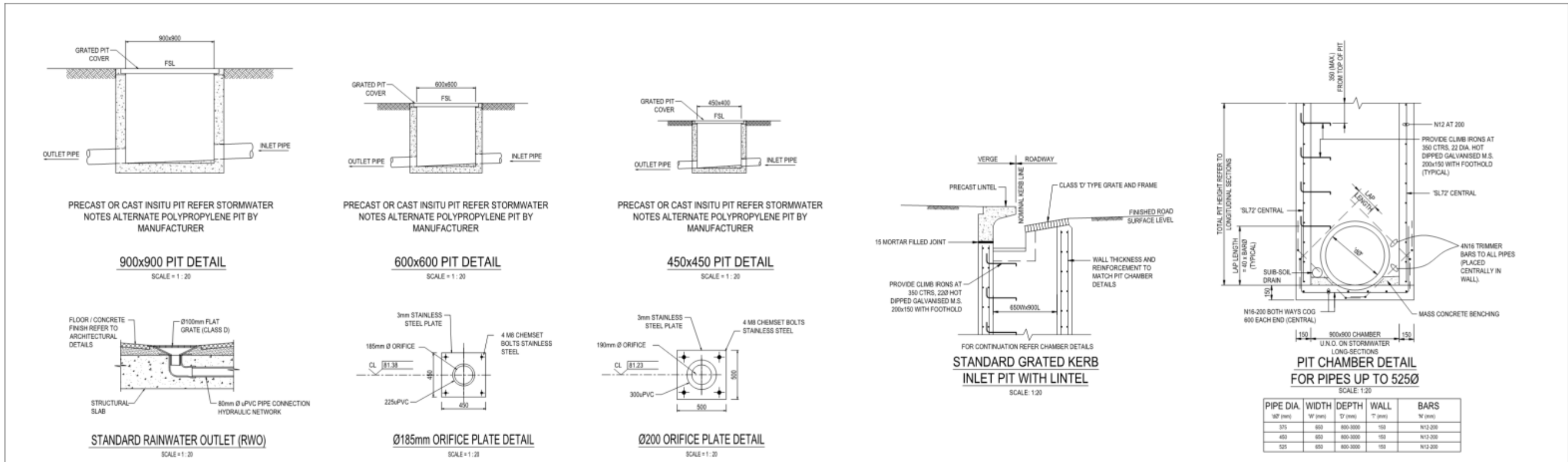
SCALE 1:50



SECTION C

SCALE 1:25

<table border="1"> <tr> <td>REV</td> <td>DESCRIPTION</td> <td>DATE</td> </tr> <tr> <td>A</td> <td>RE-ISSUED FOR DA</td> <td>23.10.2023</td> </tr> <tr> <td colspan="3">REVISIONS</td> </tr> </table>		REV	DESCRIPTION	DATE	A	RE-ISSUED FOR DA	23.10.2023	REVISIONS			<p>BAR SCALES</p> <p>0 0.5 1.0 1.5 2.0 2.5 3.0m SCALE 1:50 AT A1 SIZE</p> <p>0 0.25 0.5 0.75 1.0 1.25 1.5m SCALE 1:25 AT A1 SIZE</p>	<p>CLIENT</p>	<p>PROJECT</p> <p>WOODLAND ASSISTED LIVING APARTMENTS</p>	<p>TITLE</p> <p>OSD TANK PLAN AND SECTION SHEET 2</p>	<p>STATUS</p> <p>ISSUED FOR APPROVAL</p> <table border="1"> <tr> <td>Drawn SY</td> <td>Designed SY</td> <td>Checked AL</td> <td>Approved FX</td> </tr> <tr> <td>Height Datum AHD</td> <td>Grid SGC</td> <td>SCALE AS SHOWN</td> <td>at A1 SIZE</td> </tr> </table>	Drawn SY	Designed SY	Checked AL	Approved FX	Height Datum AHD	Grid SGC	SCALE AS SHOWN	at A1 SIZE	<p>Engineering &amp; Project Management ABN / 72646014342 P / +61 435 144 005 E / admin@skyeng.com.au www.skyeng.com.au</p> <table border="1"> <tr> <td>Project No.</td> <td>Drawing No.</td> <td>Issue</td> </tr> <tr> <td>SY22-058</td> <td>C-1331</td> <td>A</td> </tr> </table>	Project No.	Drawing No.	Issue	SY22-058	C-1331	A
REV	DESCRIPTION	DATE																												
A	RE-ISSUED FOR DA	23.10.2023																												
REVISIONS																														
Drawn SY	Designed SY	Checked AL	Approved FX																											
Height Datum AHD	Grid SGC	SCALE AS SHOWN	at A1 SIZE																											
Project No.	Drawing No.	Issue																												
SY22-058	C-1331	A																												

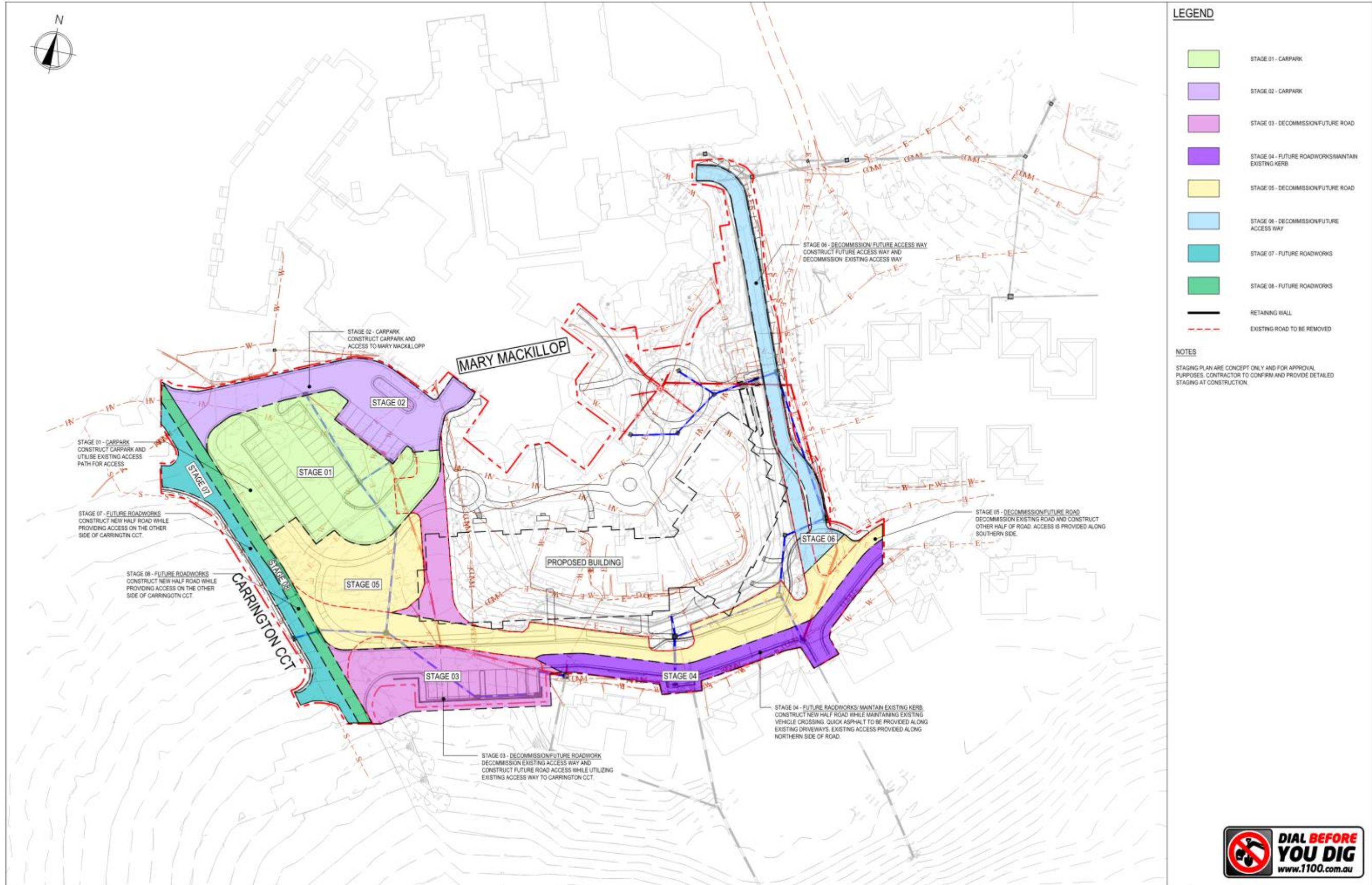


DS PIT	US PIT	SURFACE RL (DS PIT)	SURFACE RL (US PIT)	PIPE LENGTH (m)	PIPE GRADE(%)	PIPE SIZE	PIPE CLASS	DS IL	US IL
EX.P1	A-1	81.63	81.92	6.0	1.0	Ø375	RCP (CLASS 3)	80.55	80.61
A-1	A-2	81.92	82.06	10.9	1.5	Ø375	RCP (CLASS 3)	80.79	80.95
A-2	A-3	82.06	82.30	25.3	1	Ø375	RCP (CLASS 3)	80.98	81.24
A-3	A-4	82.30	85.20	23.8	11	Ø375	RCP (CLASS 3)	81.27	83.88
A-4	A-5	85.20	85.78	13.0	2.0	Ø375	RCP (CLASS 3)	83.91	84.17
A-5	A-6	85.78	85.94	23.9	2.2	Ø375	RCP (CLASS 3)	84.20	84.74
A-5	D-1	85.78	85.50	8.4	2.0	Ø300	uPVC(SN10)	84.17	84.34
E-1	C-1	81.71	82.20	8.5	1.0	Ø450	RCP (CLASS 3)	80.56	80.65
C-1	C-2	82.20	81.75	25.5	1.0	Ø225	uPVC(SN10)	80.68	80.93
EX.P3	C-2	81.14	81.75	11.3	3.5	Ø375	RCP (CLASS 3)	80.13	80.53
C-2	C-3	81.75	82.15	13.8	0.9	Ø300	uPVC(SN10)	80.96	81.08
C-3	C-4	82.15	82.00	9.2	0.9	Ø300	uPVC(SN10)	81.11	81.20
C-4	C-5	82.00	82.45	34.8	0.9	Ø300	uPVC(SN10)	81.23	81.54
C-5	C-6	82.45	85.55	19.0	13.0	Ø225	uPVC(SN10)	81.57	84.04
C-6	C-7	85.55	85.65	11.4	4.0	Ø225	uPVC(SN10)	84.07	84.53
C-7	C-8	85.65	85.80	10.4	3.0	Ø225	uPVC(SN10)	84.56	84.87
C-6	F-1	85.55	85.15	9.3	1.0	Ø300	uPVC(SN10)	84.07	84.16
A-3	B-1	82.30	82.50	15.3	1.0	Ø300	uPVC(SN10)	81.27	81.42
B-1	B-2	82.50	82.50	5.2	1.0	Ø300	uPVC(SN10)	81.45	81.50

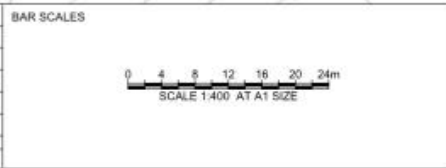
DS PIT	US PIT	SURFACE RL (DS PIT)	SURFACE RL (US PIT)	PIPE LENGTH	PIPE GRADE(%)	PIPE SIZES	PIPE CLASS	DS IL	US IL
C-1	X-1	82.20	82.35	19.0	1.0	Ø300	uPVC(SN10)	80.68	80.87
X-1	X-2	82.35	82.35	5.0	15.0	Ø150	uPVC(SN10)	80.90	81.65
X-2	X-3	82.35	82.35	18.8	1.0	Ø150	uPVC(SN10)	81.68	81.86
X-1	Z-1	82.35	82.35	9.4	1.0	Ø300	uPVC(SN10)	80.90	80.99
Z-1	Z-2	82.35	82.35	6.4	1.0	Ø300	uPVC(SN10)	81.02	81.08
Z-2	Z-3	82.35	82.35	22.6	2.0	Ø150	uPVC(SN10)	81.43	81.89

REVISIONS C RE-ISSUED FOR DA 23.10.2023 B ISSUED FOR DA 14.07.2023 A ISSUED FOR DA 04.09.2022	BAR SCALES SCALE 1:20 AT A1 SIZE	CLIENT 	PROJECT WOODLAND ASSISTED LIVING APARTMENTS	TITLE STORMWATER DRAINAGE DETAILS	STATUS ISSUED FOR APPROVAL	Engineering & Project Management ABN / 72648014342 P / +61 435 144 005 E / admin@skyeng.com.au www.skyeng.com.au
Drawn SY Height Datum AHD	Designed SY Grid SGC	Checked AL SCALE 1:20	Approved FX at A1 SIZE			





REV	DESCRIPTION	DATE
A	RE-ISSUED FOR DA	23.10.2023
REVISIONS		



CLIENT

PROJECT

WOODLAND ASSISTED LIVING APARTMENTS

TITLE

ROADWORKS STAGING PLAN

STATUS

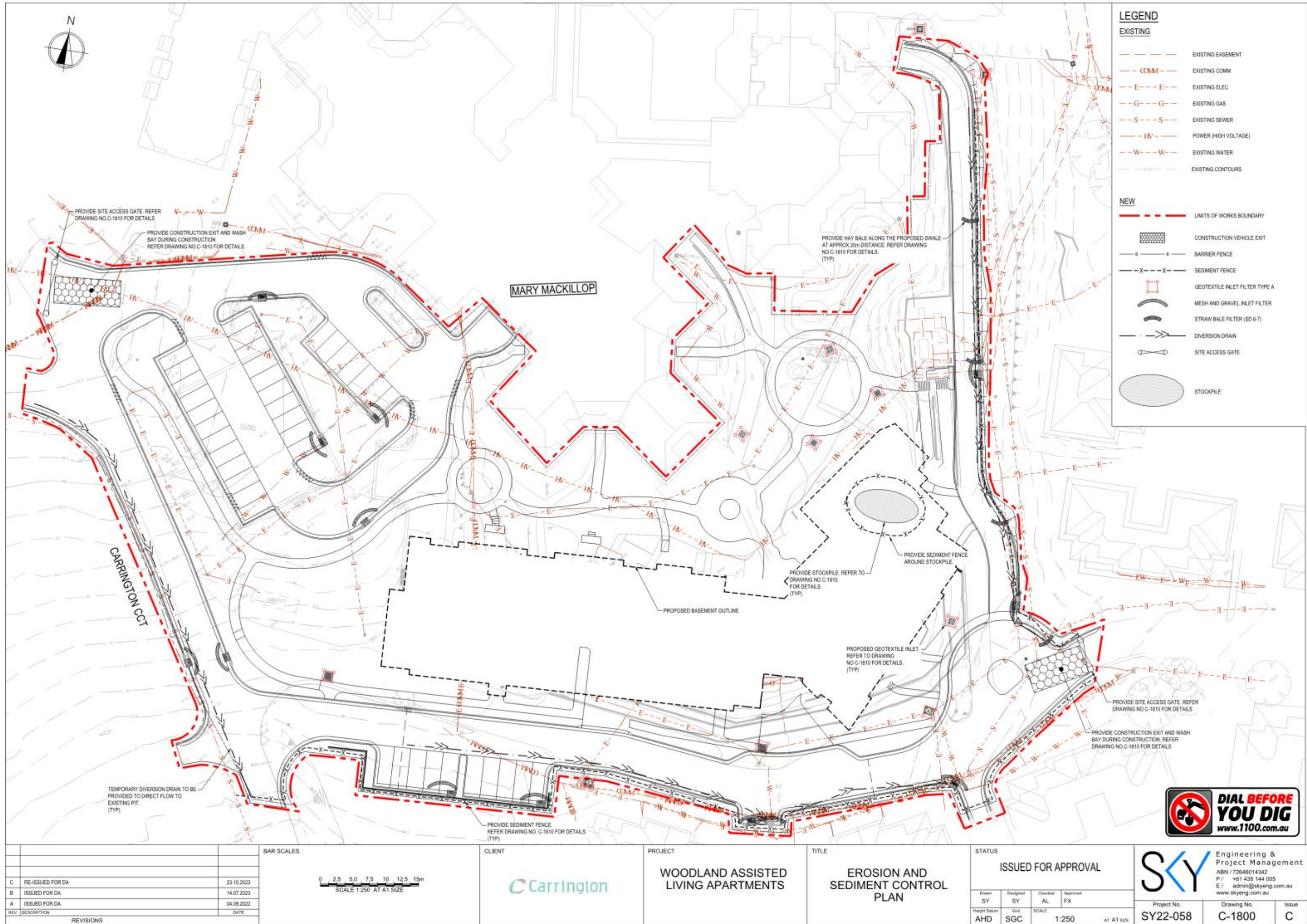
ISSUED FOR APPROVAL

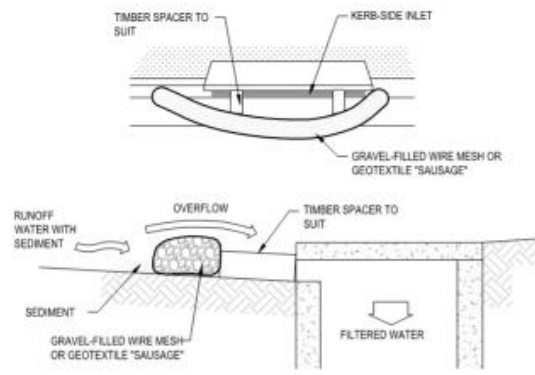
Drawn	Design	Checked	Approved
TN	TN	AL	FX
Height Datum	Grid	SCALE	
AHD	SGC	1:400	

at A1 SIZE

Engineering & Project Management  
 ABN / 72646014342  
 P / +61 435 144 005  
 E / admin@skyeng.com.au  
 www.skyeng.com.au

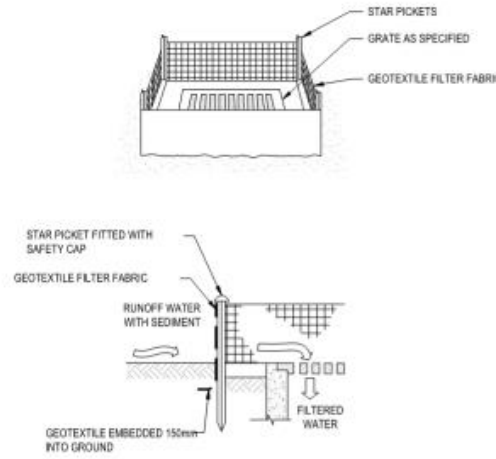
Project No.	Drawing No.	Issue
SY22-058	C-1400	A





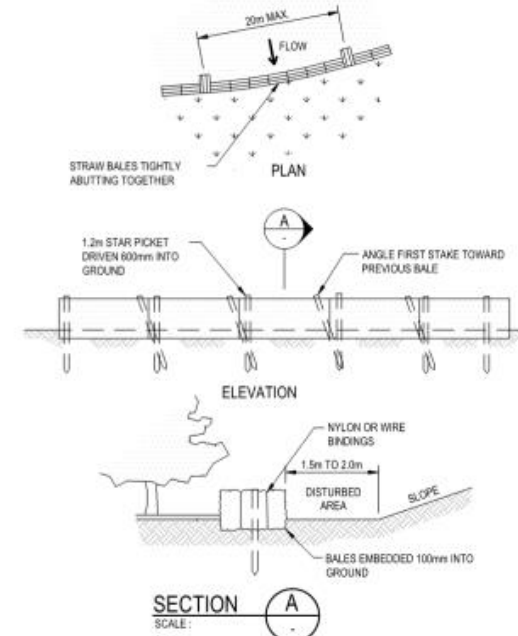
- MESH & GRAVEL INLET FILTER CONSTRUCTION NOTES:**
1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
  2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
  3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm HIGH x 400mm WIDE.
  4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
  5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
  6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY CAN FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

**MESH & GRAVEL INLET FILTER**  
SCALE: N.T.S



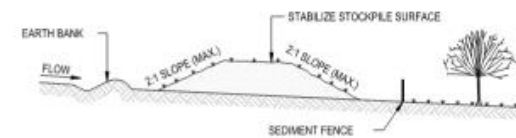
- GEOTEXTILE INLET FILTER CONSTRUCTION NOTES:**
1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
  2. PICKET SPACING TO BE A MAXIMUM 1.0m CENTRES.
  3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
  4. DO NOT COVER THE INLET WITH GEOTEXTILES UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.

**GEOTEXTILE INLET FILTER - TYPE A**  
SCALE: N.T.S



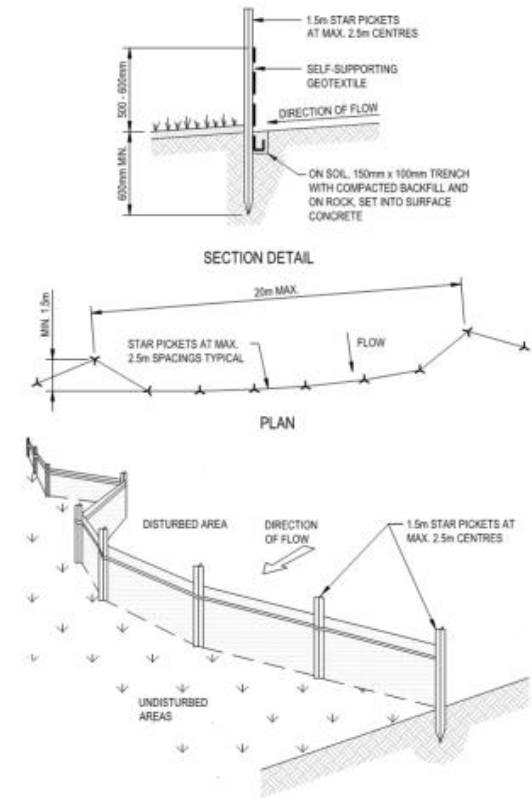
- STRAW BALE FILTER CONSTRUCTION NOTES:**
1. CONSTRUCT THE STRAW BALE FILTER AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE.
  2. PLACE BALES LENGTHWISE IN A ROW WITH ENDS TIGHTLY ABUTTING. USE STRAW TO FILL ANY GAPS BETWEEN BALES. STRAWS ARE TO BE PLACED PARALLEL TO GROUND.
  3. ENSURE THAT THE MAXIMUM HEIGHT OF THE FILTER IS ONE BALE.
  4. EMBED EACH BALE IN THE GROUND 75mm-100mm AND ANCHOR WITH TWO 1.2 METER STAR PICKETS OR STAKES. ANGLE THE FIRST STAR PICKET OR STAKE IN EACH BALE TOWARDS THE PREVIOUSLY LAID BALE. DRIVE THEM 600mm INTO THE GROUND AND, IF POSSIBLE, FLUSH WITH THE TOP OF THE BALES. WHERE STAR PICKETS ARE USED AND THEY PROTRUDE ABOVE THE BALES, ENSURE THEY ARE FITTED WITH SAFETY CAPS.
  5. WHERE A STRAW BALE FILTER IS CONSTRUCTED DOWNSLOPE FROM A DISTURBED BATTER, ENSURE THE BALES ARE PLACED 1 TO 2 METERS DOWNSLOPE FROM THE TOE.
  6. ESTABLISH A MAINTENANCE PROGRAM THAT ENSURES THE INTEGRITY OF THE BALES IS RETAINED - THEY COULD REQUIRE REPLACEMENT EACH 2 TO 4 MONTHS.

**STRAW BALE FILTER**  
SCALE: N.T.S



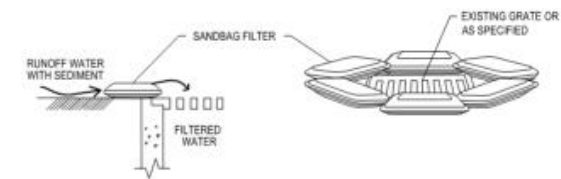
- STOCKPILE CONSTRUCTION NOTES:**
1. PLACE STOCKPILES MORE THAN 2 (PREFERABLY 5) METERS FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
  2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
  3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METERS IN HEIGHT.
  4. WHERE THEY ARE TO BE PLACED FOR MORE THAN 10 DAYS, STABILIZE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
  5. CONSTRUCT EARTH BANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES 1 TO 2 METERS DOWNSLOPE.

**STOCKPILES**  
SCALE: N.T.S

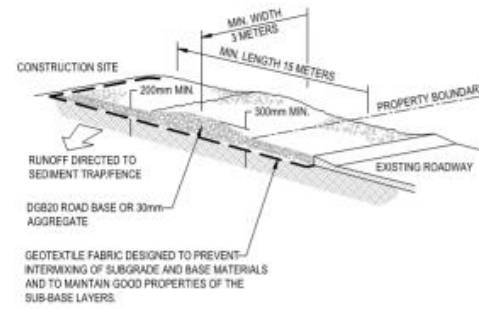


- SEDIMENT FENCE CONSTRUCTION NOTES:**
1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
  2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
  3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.5m INTERVALS (MAX.) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
  4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
  5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
  6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

**SEDIMENT FENCE**  
SCALE: N.T.S



**SANDBAG SEDIMENT TRAP**  
SCALE: N.T.S



- STABILIZED SITE ACCESS CONSTRUCTION NOTES:**
1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
  2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
  3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
  4. ENSURE THE STRUCTURE IS AT LEAST 15 METERS LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METERS WIDE.
  5. WHERE A SEDIMENT FENCE JOINS ONTO THE STABILIZED ACCESS, CONSTRUCT A HUMP IN THE STABILIZED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.

**STABILIZED SITE ACCESS**  
SCALE: N.T.S

REV	DESCRIPTION	DATE
C	RE-ISSUED FOR DA	23.10.2023
B	ISSUED FOR DA	14.07.2023
A	ISSUED FOR DA	04.09.2022

BAR SCALES

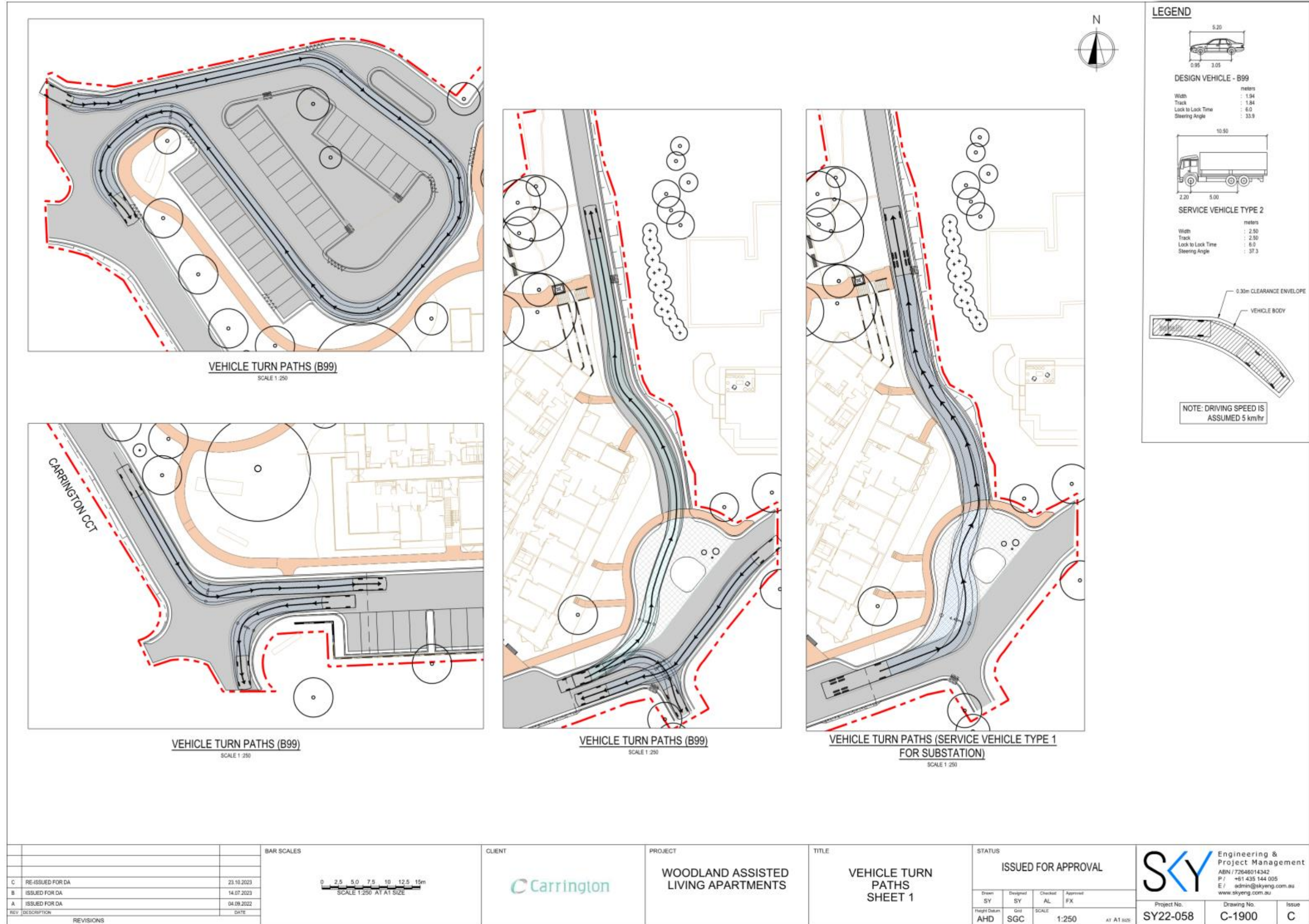
CLIENT	
--------	--

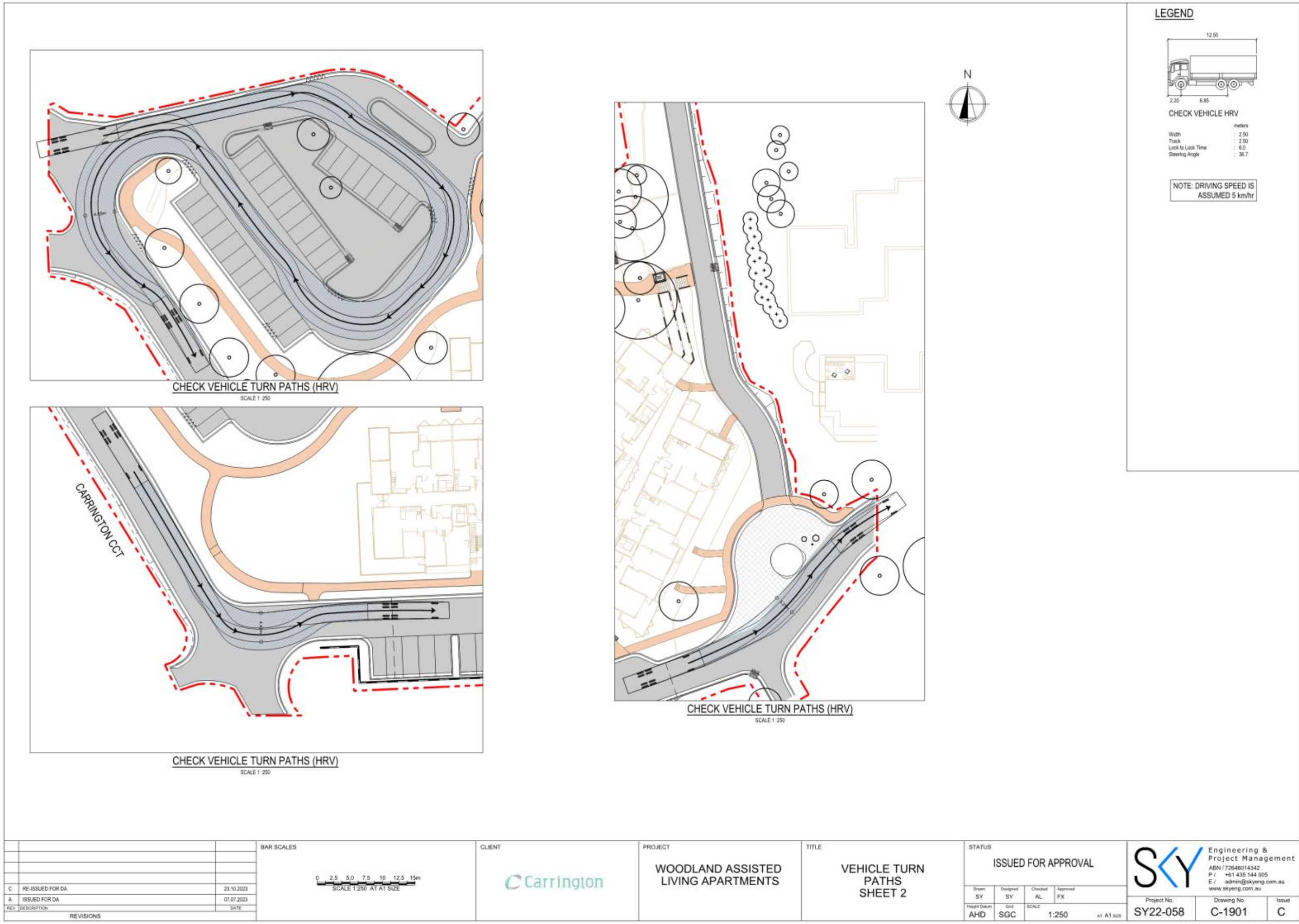
PROJECT	WOODLAND ASSISTED LIVING APARTMENTS
---------	-------------------------------------

TITLE	EROSION AND SEDIMENT CONTROL DETAILS
-------	--------------------------------------

STATUS	ISSUED FOR APPROVAL		
Drawn SY	Designed SY	Checked AL	Approved FX
Height Datum AHD	Grid SGC	SCALE NTS	AT A1 SIZE

	Engineering & Project Management	
	ABN / 72646014342 P / +61 435 144 005 E / admin@skyeng.com.au www.skyeng.com.au	
Project No.	Drawing No.	Issue
SY22-058	C-1810	C





# Woodland Assisted Living Apartments - Carrington Care

## Werombi Road, Grasmere

### Landscape Development Application

#### DRAWINGS

DWG NO.	DRAWING TITLE	SCALE
000	Cover sheet	
C100	Colour landscape plan - Ground and lower ground	1:200
001	Existing Tree management plan	1:200
101	Landscape general arrangement - Ground & lower ground	1:200
102	Landscape general arrangement - Level 2 terrace	1:200
201	Planting plan - Ground & lower ground	1:200
202	Planting plan - Level 2 terrace	1:200
500	Landscape specification notes & Plant schedule	
501	Landscape details	As shown



NOT FOR CONSTRUCTION

© 2022 Site Image (NSW) Pty Ltd. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description	Drawn	Check	Date
H	For Development Application	PH	RS	16.10.2023
C	Response to Council RPI	NH	RS	27.06.2023
F	For Coordination	MJV	RS	17.03.2023
E	For Development Application	NH	RS	26.07.2022
D	For Development Application	NH	RS	05.07.2022
C	For Coordination	NH	RS	22.06.2022
B	For Approval	PH	RS	08.06.2022
A	For Approval	PH	RS	07.04.2022

Legend

Key Plan

SITE IMAGE



Landscape Architects  
Level 1, 3-5 Regent Street  
Rusden VIC 3109  
Australia  
Tel: (011 2) 8332 8800  
Fax: (011 2) 9698 2877  
www.siteimage.com.au

Client  
Carrington Care

Project  
Woodland Assisted Living Apartments  
Wermobi Road, Grasmere

Drawing Name  
Cover sheet

DEVELOPMENT APPLICATION

Scale  
Job Number  
Drawing Number  
Issue

SS21-4847 000 H

A1



NOT FOR CONSTRUCTION

© 2023 Site Image (NSW) Pty Ltd. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description	Drawn	Check	Date
D	For Development Application	NH	RS	17.10.2023
C	For Development Application	PH	RS	16.10.2023
S	Response to Council RFI	NH	RS	27.06.2023
A	For Coordination	MJV	RS	17.03.2023

- Legend**
- Existing tree to be retained
  - Existing tree to be removed
  - Exposed aggregate concrete paving
  - Tree Protection Fence

Key Plan



**SITE IMAGE**  
Landscape Architects  
Level 1, 3-5 Regent Street  
Melbourne VIC 3000  
Australia  
Tel: (61) 21 8552 8800  
Fax: (61) 21 9088 2877  
www.siteimage.com.au

Client  
**Carrington Care**

Project  
**Woodland Assisted Living Apartments  
Wermobi Road, Grasmere**

Drawing Name  
**Tree management plan**

**DEVELOPMENT APPLICATION**

Scale: 1:200 @ A1  
Job Number: SS21-4847  
Drawing Number: 001  
Issue: D

A1



**NOT FOR CONSTRUCTION**

© 2022 Site Image (NSW) Pty Ltd ABN 44 801 262 360 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description	Drawn	Check	Date
L	For Development Application	NH	RS	17.10.2022
K	For Development Application	PH	RS	16.10.2022
J	Response to Council RFI	NH	RS	27.06.2022
I	For Development Application	NH	RS	17.03.2022
H	For Development Application	NH	RS	03.03.2022
G	For Development Application	PH	RS	18.11.2022
F	For Development Application	NH	RS	19.09.2022
E	For Development Application	NH	RS	26.07.2022
D	For Development Application	NH	RS	05.07.2022
C	For Coordination	NH	RS	22.04.2022
B	For Approval	PH	RS	08.04.2022
A	For Approval	PH	RS	07.04.2022

Legend	
	Existing tree to be retained
	Existing tree to be removed
	Proposed tree
	Proposed shrub & accents
	Proposed groundcovers
	Turf
	Existing vegetation
	Feature cobble paving
	Exposed aggregate concrete paving
	Feature unit paving
	Steel garden edging

Key Plan



**SITE IMAGE**  
 Landscape Architects  
 Level 1, 3-5 Biggins Street  
 Sydney NSW 2016  
 Australia  
 Tel: (61 2) 8332 0800  
 Fax: (61 2) 9684 2577  
 www.siteimage.com.au

Client  
**Carrington Care**  
 Project  
**Woodland Assisted Living Apartments**  
**Wermobi Road, Grasmere**

Drawing Name  
**Colour Landscape Plan**  
**- Ground & Lower Ground**

**DEVELOPMENT APPLICATION**  
 Scale: 1:200 @ A1  
 Job Number: SS21-4847  
 Drawing Number: C100  
 Issue: L





**NOT FOR CONSTRUCTION**

© 2022 Site Image (NSW) Pty Ltd ABN 44 801 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description
K	For Development Application
J	For Development Application
I	Response to Council RPI
H	For Development Application
G	For Development Application
F	For Development Application
E	For Development Application
D	For Development Application
C	For Consultation
B	For Approval
A	For Approval

Drawn	Check	Date
NH	RS	17.10.2023
PH	RS	16.10.2023
NH	RS	27.06.2023
NH	RS	17.03.2023
PH	RS	18.11.2022
NH	RS	19.09.2022
NH	RS	26.07.2022
NH	RS	05.07.2022
NH	RS	22.06.2022
PH	RS	08.06.2022
PH	RS	07.04.2022

Legend	Description
	Existing tree to be retained
	Existing tree to be removed
	Proposed tree
	Proposed shrub & accents
	Proposed groundcovers
	Turf
	Existing vegetation
	Feature cobble paving
	Exposed aggregate concrete paving
	Feature unit paving
	Steel garden edging

Key Plan



SITE IMAGE



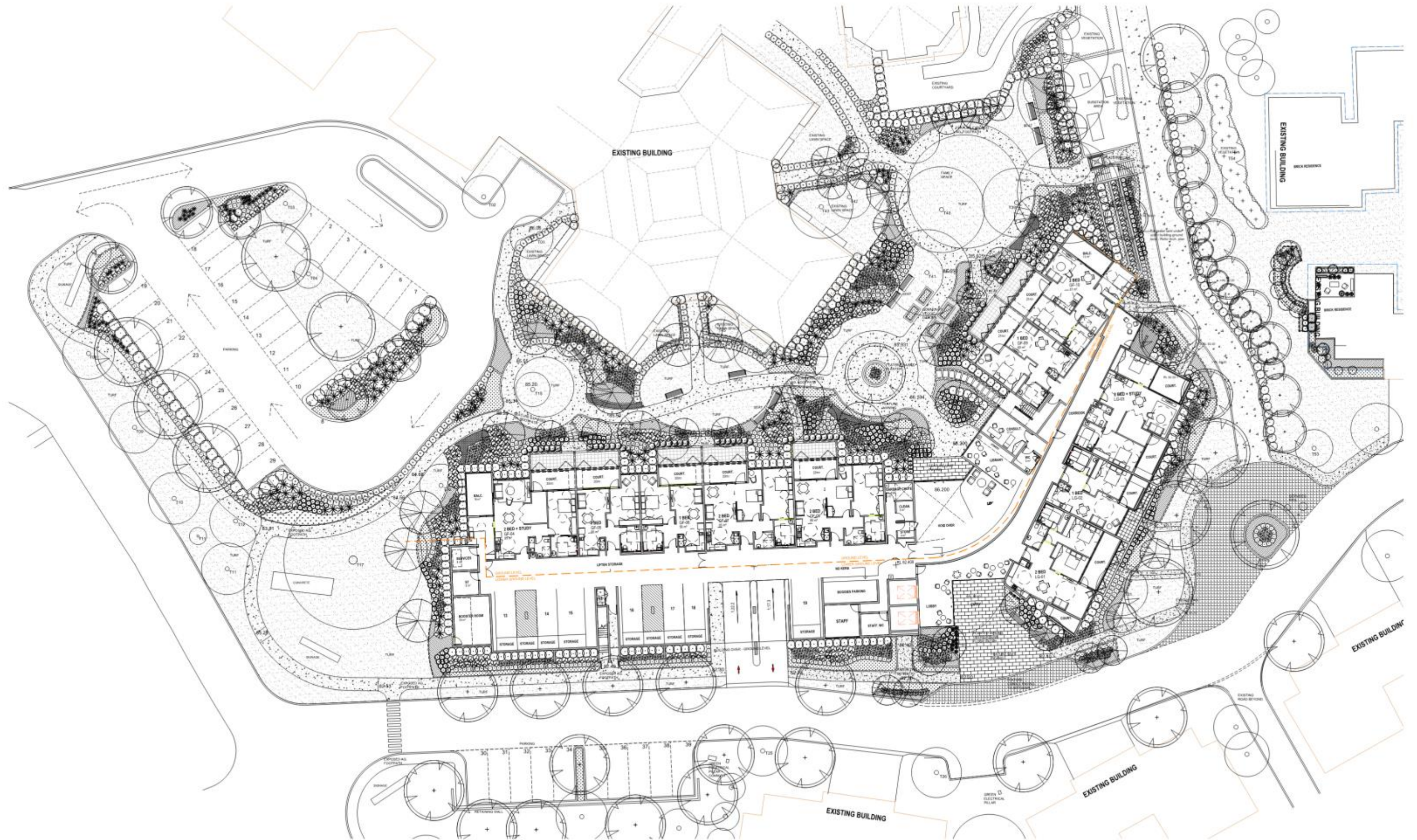
Landscape Architects  
Level 1, 3-5 Eagle Street  
Bardon NSW 2016  
Australia  
Tel: (01 21) 8332 9800  
Fax: (01 21) 9650 2877  
www.siteimage.com.au

Client  
**Carrington Care**

Project  
**Woodland Assisted Living Apartments  
Wermobi Road, Grasmere**

Drawing Name  
**Colour Landscape Plan  
- Composite**

**DEVELOPMENT APPLICATION**  
Scale: 1:200 @ A1  
Job Number: SS21-4847  
Drawing Number: C110  
Issue: K



NOT FOR CONSTRUCTION

© 2023 Site Image (NSW) Pty Ltd ABN 44 901 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision	Description
K	RS	17.10.2023 For Development Application
J	RS	16.10.2023 For Development Application
I	RS	27.06.2023 Response to Council RF1
H	RS	For Coordination
G	RS	For Development Application
F	RS	18.11.2022 For Development Application
E	RS	26.07.2022 For Development Application
D	RS	05.07.2022 For Development Application
C	RS	22.06.2022 For Coordination
B	RS	02.06.2022 For Approval
A	RS	07.04.2022 For Approval

Legend	Drawn	Check	Date
(Circle with X)	NH	RS	17.10.2023
(Circle with +)	PH	RS	16.10.2023
(Circle with dot)	NH	RS	27.06.2023
(Circle with cross)	MZW	RS	17.03.2023
(Circle with asterisk)	PH	RS	18.11.2022
(Circle with triangle)	NH	RS	19.08.2022
(Circle with square)	NH	RS	26.07.2022
(Circle with diamond)	NH	RS	05.07.2022
(Circle with circle)	NH	RS	22.06.2022
(Circle with plus)	PH	RS	02.06.2022
(Circle with minus)	PH	RS	07.04.2022

(Dotted pattern)	Existing tree to be retained	(Stippled pattern)	Existing vegetation
(Cross-hatched pattern)	Existing tree to be removed	(Square pattern)	Feature cobble paving
(Circle with X)	Proposed tree	(Dotted pattern)	Exposed aggregate concrete paving
(Circle with +)	Proposed shrub & accents	(Square pattern)	Feature unit paving
(Circle with dot)	Proposed groundcovers	(Dotted pattern)	Steel garden edging
(Circle with cross)	Proposed turf		

Key Plan



**SITE IMAGE**  
Landscape Architects  
Level 1, 3-5 Regent Street  
Sydney NSW 2010  
Australia  
Tel: (61) 21 8102 8800  
Fax: (61) 21 9088 2877  
www.siteimage.com.au

Client  
**Carrington Care**

Project  
**Woodland Assisted Living Apartments  
Wermobi Road, Grasmere**

Drawing Name  
**Landscape general arrangement  
- Ground & Lower ground**

**DEVELOPMENT APPLICATION**

Scale: 1:200 @ A1  
Job Number: SS21-4847  
Drawing Number: 101  
Issue: K



### NOT FOR CONSTRUCTION

© 2022 Site Image (NSW) Pty Ltd ABN 44 601 262 380 is agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photography) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description
J	For Development Application
H	For Development Application
G	Response to Council RFI
F	For Coordination
E	For Development Application
D	For Development Application
C	For Coordination
B	For Approval
A	For Approval

Issue	Revision Description	Date
NH	RS	17.10.2023
PH	RS	16.10.2023
NH	RS	27.06.2023
MW	RS	17.03.2023
NH	RS	26.07.2022
NH	RS	05.07.2022
NH	RS	22.06.2022
PH	RS	08.06.2022
PH	RS	07.04.2022

Legend	Description
(Circle with dot)	Existing tree to be retained
(Circle with cross)	Existing tree to be removed
(Circle with star)	Proposed tree
(Circle with plus)	Proposed shrub & accents
(Circle with square)	Proposed groundcovers
(Circle with triangle)	Turf

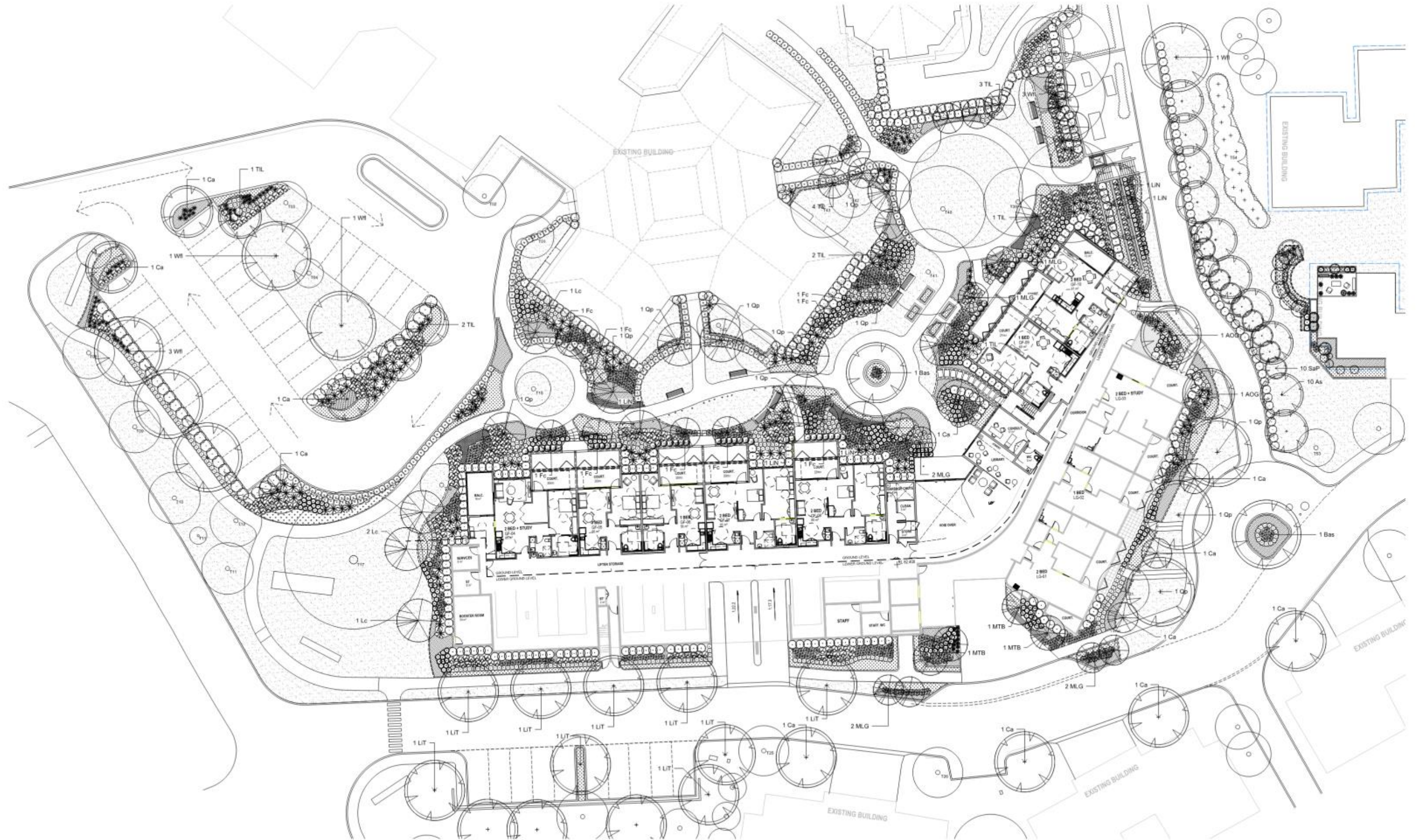
Key Plan



Client: Carrington Care  
 Project: Woodland Assisted Living Apartments  
 Wermobi Road, Grasmere

Drawing Name: Landscape general arrangement - Level 2

DEVELOPMENT APPLICATION  
 Scale: 1:200 @ A1  
 Job Number: SS21-4847  
 Drawing Number: 102 J



**NOT FOR CONSTRUCTION**

© 2023 Site Image (NSW) Pty Ltd. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description
K	For Development Application
J	For Development Application
I	Response to Council RP1
H	For Coordination
G	For Development Application
F	For Development Application
E	For Development Application
D	For Development Application
C	For Coordination
B	For Approval
A	For Approval

Date	Drawn	Check	Date
17.10.2023	NH	RS	
16.10.2023	PH	RS	
27.06.2023	NH	RS	
17.03.2023	MZW	RS	
16.11.2022	PH	RS	
19.09.2022	NH	RS	
27.07.2022	NH	RS	
05.07.2022	NH	RS	
22.06.2022	NH	RS	
02.06.2022	PH	RS	
07.04.2022	PH	RS	

**Legend**

- Existing tree to be retained
- Existing tree to be removed
- Proposed tree
- Proposed shrub & accents
- Proposed groundcovers
- Turf
- Existing vegetation

Key Plan

**SITE IMAGE**  
Landscape Architects  
Level 1, 54 Regent Street  
Sydney NSW 2016  
Australia  
Tel: (61 2) 9152 9800  
Fax: (61 2) 9688 2877  
www.siteimage.com.au

Client  
**Barrington Care**  
Project  
**Woodland Assisted Living Apartments**  
Wermobi Road, Grasmere

Drawing Name  
**Planting plan**  
- Ground & Lower ground

**DEVELOPMENT APPLICATION**  
Scale: 1:200 @ A1  
Job Number: SS21-4847  
Drawing Number: 201  
Issue: K

A1



**NOT FOR CONSTRUCTION**

© 2022 Site Image (NSW) Pty Ltd ABN 44 801 262 380 is agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photography) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description
I	For Development Application
H	For Development Application
G	Response to Council RFI
F	For Coordination
E	For Development Application
D	For Development Application
C	For Coordination
B	For Approval
A	For Approval

Drawn	Check	Date	Legend
NH	RS	17.10.2023	Existing tree to be retained
PH	RS	16.10.2023	Existing tree to be removed
NH	RS	27.06.2023	Proposed tree
MW	RS	17.03.2023	Proposed shrub & accents
NH	RS	26.07.2022	Proposed groundcovers
NH	RS	05.07.2022	Turf
NH	RS	22.06.2022	
PH	RS	08.06.2022	
PH	RS	07.04.2022	

Key Plan

SITE IMAGE



Landscape Architects  
Level 1, 345 Bayside Street  
Preston VIC 3073  
Australia  
Tel: (01 2) 8332 6600  
Fax: (01 2) 9098 2877  
www.siteimage.com.au

Client  
**Carrington Care**

Project  
**Woodland Assisted Living Apartments**  
Wermobi Road, Grasmere

Drawing Name  
**Planting plan**  
- Level 2

DEVELOPMENT APPLICATION

Scale: 1:200 @ A1  
Job Number: SS21-4847  
Drawing Number: 202  
Sheet: 1

SPECIFICATION GENERAL NOTES

References

All plans and details included in the project documents shall be read in conjunction with this specification. All structural and civil works components of the landscape design shall be referenced to engineers' details and specifications. Read this specification in conjunction with the plant and materials schedules on the drawings. If in doubt about any detail or if conflicts are found in the documents, seek advice.

Workmanship and Materials

The whole of the landscape works shall be carried out by a competent, trained and qualified landscape contractor who is experienced in horticultural practices, landscape construction and planting techniques. The landscape contractor shall hold a current Building Contractors License and/or be a financial member of LNA Landscape Association NSW & ACT or equivalent organisations in other states.

HARDWORKS

Continuous, Unit and Loose Pavement

Install the scheduled material pavement to the locations shown on plan. Ensure that all subgrade/subsurface works are complete prior to commencing paving.

SOFTWORKS

Topsoil

Import topsoil for the garden and turf areas, unless the topsoil can be provided from material recovered from the site, as recommended in the soil testing results. Spread the topsoil on the prepared subsoil and grade evenly, compact lightly and uniformly in 150mm layers. Avoid differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels, allowing for mulch or turf, which is to finish flush with adjoining hard surfaces such as paths and edge;
Smooth and free from stones or lumps of soil;
Graded to drain freely, without ponding, to catchment points;
Graded evenly to adjoining surfaces; and
Ready for planting.

Supply and install the following imported topsoil mixes:

- Soil Mix Type A
60% soil mix (60% coarse sand and 40% black soil),
10% mushroom compost,
10% pine bark fines,
10% composted sawdust, and
10% composted manures.
Soil Mix Type B
80% washed river sand, and
20% black soil.

Spread topsoil to the following typical depths:

- Planting on pot
Soil Mix Type A: top 450mm of soil profile, and
Soil Mix Type B: below top 450mm of soil profile (depth varies).

Compost

Provide, in accordance with AS 4454, well rotted vegetative material or animal manure, free from harmful chemicals, grass and weed growth.

Fertiliser

Provide proprietary fertilisers, delivered to the site in sealed bags marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses and application rates.

Plants

Tree stock to be sourced in accordance with tests and measurements contained within AS2303-2018 - Tree Stock for Landscape Use

Supply plants in accordance with the landscape design drawings and schedules, which have the following characteristics:

- Large healthy root systems, with no evidence of root

curl, restriction or damage;

- Vigorous, well established, free from disease and pests, of good form consistent with the species/variety;
Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site in full sun, partial shade or full shade conditions;
Grown in final containers for not less than twelve weeks;
Containers shall be free from weeds and of appropriate size in relation to the specified plant size.

Plant Installation

Following excavation of the planting hole, place and spread 15gms of wetting agent pre-mixed with one (1) litre of water. Place the plant correctly orientated to north or for best presentation. Backfill the planting holes with specified topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure that the backfill soil is not placed over the top of the root ball and that the root ball is not higher than the soil in which it is planted. Apply fertiliser, as specified around the plants in the soil at the time of planting.

Mulch

Unless noted otherwise, mulch shall be approved proprietary recycled wood fibre or pine bark material. Place mulch in all garden beds to a depth of 75mm after all specified plants are installed. Keep mulch clear of all plant stems and rake to an even plane, flush with the surrounding surfaces evenly graded between design surface levels. Over fill to allow mulch to settle to the specified depth.

LANDSCAPE MAINTENANCE

The Landscape Contractor shall rectify defects during installation and that become apparent in the works under normal use for the duration of the contract Defects Liability Period. Unless contracted otherwise, the Landscape Contractor shall maintain the contract areas by the implementation of industry accepted horticultural practices for 52 weeks from Practical Completion of the works. The landscape maintenance works shall include, but not be limited to:

- Replacing failed plants;
Pruning;
Insect and pest control;
Fertilising;
Maintaining and removing stakes and ties;
Maintaining mulch;
Mowing and top dressing;
Irrigation and watering;
Erosion control; and
Weeding and rubbish removal.

Maintenance Log Book

Implement and keep a maintenance log book recording when and what maintenance work has been undertaken and what materials, actions and decisions have been used, implemented and concluded to keep the landscape always looking its best. Enter data daily and review information every 2 weeks. Observe trends and develop a maintenance regime around seasonal and observed event occurrences.

Maintenance Activities

During the defects maintenance period schedule the following activities to occur on a timely basis.

- Plant replacement - Replace plants that have failed to mature, die or are damaged. Replacement plants shall be in a similar size and quality and identical species or variety to the plant that has failed. Replacement of plants shall be at the cost of the landscape contractor unless advised otherwise. If the cause of the failure is due to a controllable situation then correct the situation prior to replacing plants. Observe and replace failed plants within 2 weeks of observation.
Pruning - Prune dead wood, broken limbs, dead or infected foliage and as needed to develop strong, healthy plants to achieve the shape and form expected of the plant type. Observe daily and prune plants on a needs basis.
Insect, disease and pest control - Avoid spraying;

- if ever possible;
in wet weather or if wet weather is imminent;
if target plants are still wet after rain;
in windy weather; and
if non-target species are too close.

Immediately report to the Project Manager any evidence of intensive weed infestation, insect attack or disease amongst plant material. Submit all proposals to apply chemicals and obtain approval before starting this work. When approved, spray with herbicide, insecticide, fungicide as appropriate in accordance with the manufacturers' recommendations. Observe daily and act as necessary to control any infestation or disease. Record in the logbook all relevant details of spraying activities including:

- Product brand / manufacturer's name,
Chemical / product name,
Chemical contents,
Application quantity and rate,
Date of application and location,
Results of application, and
Use approval authority.

- Fertilising - Fertilise gardens with a proprietary slow release fertiliser applied in accordance with the manufacturer's directions and recommendations. Apply 6-12 monthly. Record in the logbook all relevant details of fertilising including:
Product brand / manufacturer's name,
Fertiliser / product name,
Application quantity and rate, and
Date of application and location.
Stakes and ties - Adjust and replace as required to ensure plants remain correctly staked. Remove those not required at the end of the planting establishment period (Defects Liability Period). Inspect and act at least every 2 weeks.

- Maintaining mulch - Maintain the surface in a clean, tidy and weed free condition and reinstate the mulch as necessary to ensure correct depth as specified. Observe weekly and replenish mulch as required.
Irrigation and watering - Maintain the irrigation system to ensure that each individual plant receives the required amount of water to maintain healthy and vigorous growth. Adjust and calibrate as required. Provide additional watering, if necessary but inspect irrigation weekly and make repairs as necessary.

- Erosion control - Where necessary, maintain the erosion control fabric in a tidy and weed free condition and reinstate as necessary to ensure control measures are effective where deemed necessary. Inspect every 2 weeks and act to repair any damage as soon as possible.

NOTE: CC DOCUMENTATION TO REFINE PLANTING PROPOSAL TO REFLECT FOLLOWING MINIMUM REQUIREMENTS - SEE BELOW

schedule is to indicate plant grid spacing or plant densities for all landscaped areas in accordance with the following grid spacing standard:

- Ground cover plants 1 per 0.2m²
Shrubs (up to 1.5m height) 1 per 1.5m²
Tall shrubs/small trees (2 to 4 m height) 1 per 2.5m²
Trees (greater than 5m height) 1 per 10m²

SS21-4847 - Carrington Woodlands Assisting Living

Planting Schedule

Table with columns: Symbol, Botanical Name, Common Name, Mature Height (m.), Mature Spread (m.), Potsize. Includes sections for Trees, Shrub & Accent Planting, and Grasses & Groundcovers.

NOT FOR CONSTRUCTION

© 2022 Site Image (NSW) Pty Ltd ABN 44 901 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Legend table with columns: Issue, Revision Description, Drawn, Check, Date. Lists various development applications and approvals.

Key Plan

SITE IMAGE



Landscape Architects
Level 1, 3-8 Regent Street
Rusden VIC 3208
Australia
Tel: (03) 21 8332 8800
Fax: (03) 21 9038 2877
www.siteimage.com.au

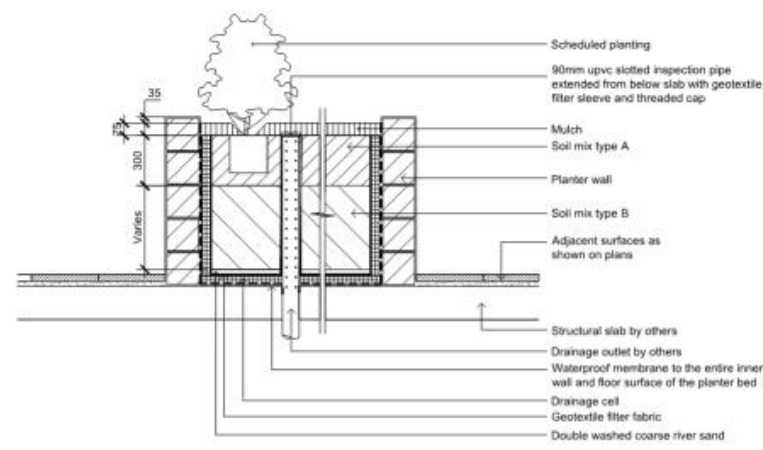
Client
Carrington Care

Project
Woodland Assisted Living Apartments
Wermobi Road, Grasmere

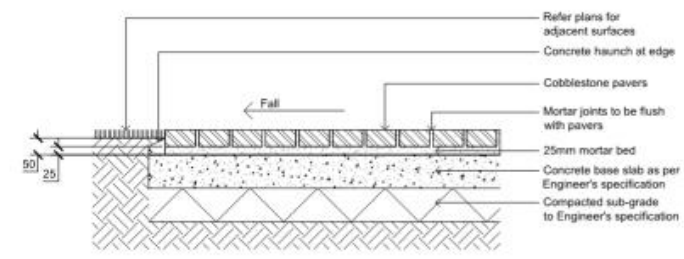
Drawing Name
Landscape specification notes
& Plant schedule

DEVELOPMENT APPLICATION

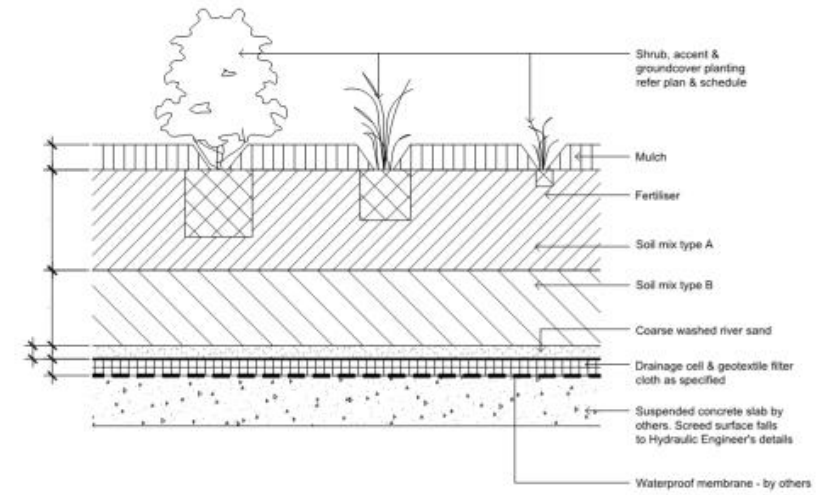
Scale 1:200 @ A1
Job Number
SS21-4847
Drawing Number
500
Issue
J



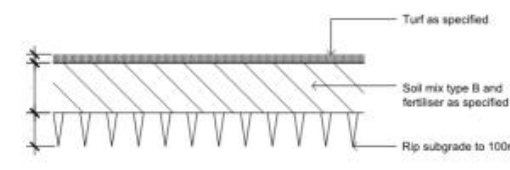
Section - Typical raised planter on structure  
1:20  
Inspection Riser Pipe



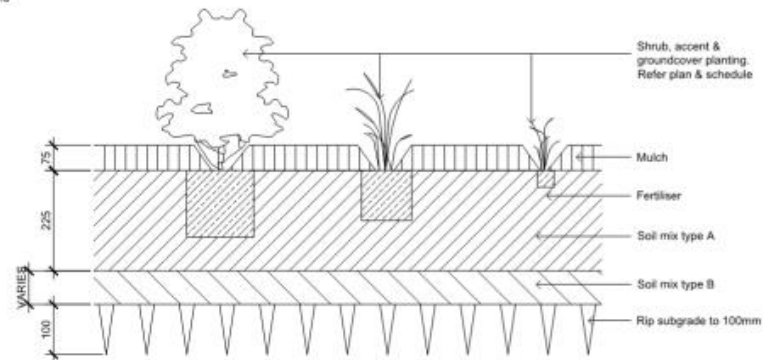
Cobblestone paving over slab  
1:10



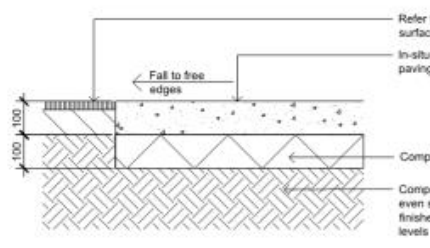
Detail shrub, accent & groundcover planting on structure  
1:10



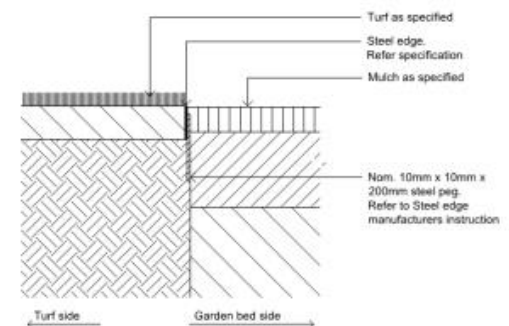
Detail turf on even grade  
1:10



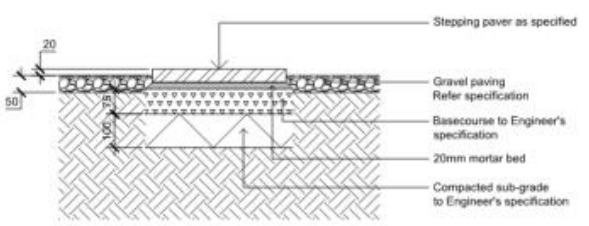
Detail shrub, accent & groundcover planting on grade  
1:10



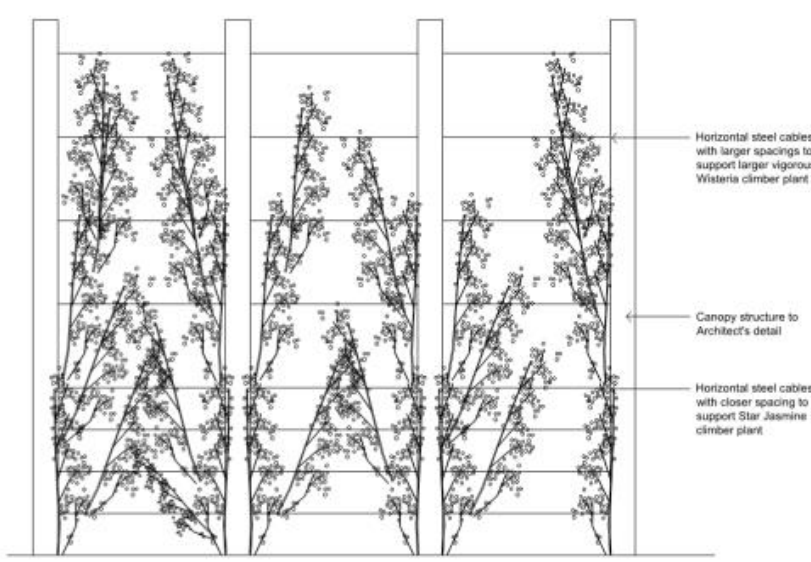
Insitu concrete paving - on grade  
1:10



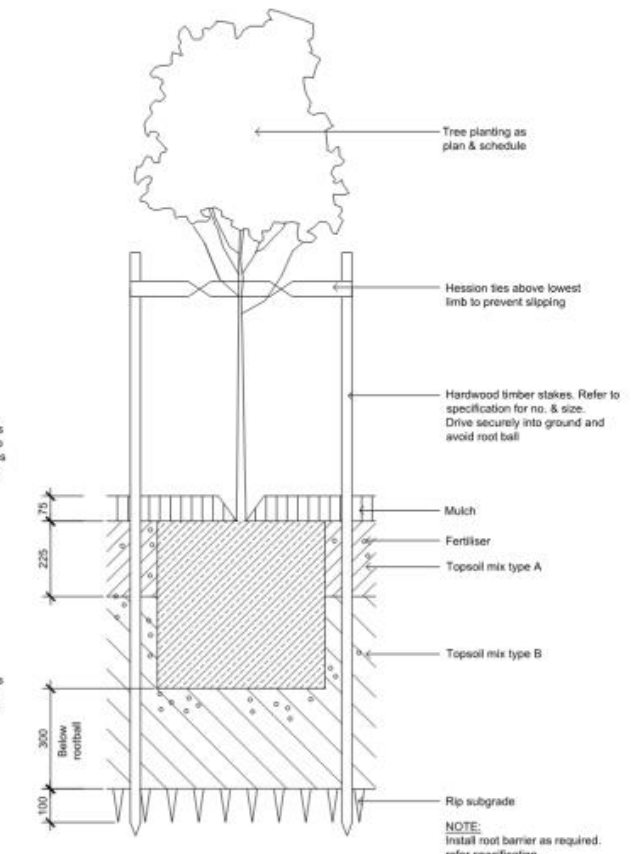
Typical steel edge  
1:10



Stepping paver in gravel - on grade  
1:10



Indicative trellis planting to canopy structure  
1:20



75-200L Tree planting on grade  
1:10

**NOT FOR CONSTRUCTION**

© 2023 Site Image (NSW) Pty Ltd. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd. Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Issue	Revision Description	Drawn	Check	Date
I	For Development Application	NH	RS	17.10.2023
H	For Development Application	PH	RS	16.10.2023
R	Response to Council RFI	NH	RS	27.06.2023
F	For Coordination	MJV	RS	17.03.2023
E	For Development Application	NH	RS	26.07.2022
D	For Development Application	NH	RS	05.07.2022
C	For Coordination	NH	RS	22.06.2022
B	For Approval	PH	RS	08.06.2022
A	For Approval	PH	RS	07.04.2022

Legend

Key Plan

SITE IMAGE



Client  
**Carrington Care**

Project  
**Woodland Assisted Living Apartments  
Wermobi Road, Grasmere**

Drawing Name  
**Landscape Details**

**DEVELOPMENT APPLICATION**

Scale: As Shown  
Job Number: SS21-4847  
Drawing Number: 501  
Issue: I







**CLPP02**

**CLPP02**

**SUBJECT: DA/2023/430/1 - DEMOLITION OF EXISTING DWELLING, CONSTRUCTION OF A SHED, REGULARISATION OF COMPLETED LAND FORMING AND USE OF PROPERTY AS A VEHICLE SALE AND HIRE PREMISES - 3 EXETER STREET, CAMDEN**

**FROM:** Manager Statutory Planning

**EDMS #:** 23/625325

DA Number:	2023/430/1
Development:	Demolition of existing dwelling, construction of a shed, regularisation of completed land forming and use of property as a vehicle sale and hire premises
Estimated Cost of Development:	\$40,000
Site Address(es):	3 Exeter Street, Camden
Applicant:	Michael Brown Planning Strategies Pty Ltd
Owner(s):	IMMS Pty Ltd
Number of Submissions:	Eight objections
Development Standard Contravention(s):	Clause 4.3 Height of Buildings
Classification:	Local
Recommendation:	Refuse.
Panel Referral Criteria:	Departure from a development standard greater than 10%.
Report Prepared By:	Virginia Fairley, Executive Planner

**PURPOSE OF REPORT**

The purpose of this report is to seek the Camden Local Planning Panel's (the Panel's) determination of a development application (DA) for the demolition of the existing dwelling, construction of a shed, regularisation of completed land forming and use of the property as a vehicle sale and hire premises at 3 Exeter Street, Camden.

The Panel is to exercise Council's consent authority functions for this DA as, pursuant to the Minister for Planning's Section 9.1 Direction, the development seeks to depart from the height of buildings development standard prescribed in the Camden Local Environmental Plan 2010 by greater than 10%.

**SUMMARY OF RECOMMENDATION**

That the Panel determine DA/2023/430/1 for the demolition of the existing dwelling, construction of a shed, regularisation of completed land forming and use of the property as a vehicle sale and hire premises pursuant to Section 4.16 of the *Environmental Planning and Assessment Act 1979* by way of refusal for the reasons outlined at the end of this report.

**EXECUTIVE SUMMARY**

Council is in receipt of a DA for the demolition of the existing dwelling, construction of a shed, regularisation of completed land forming and use of the property as a vehicle sale and hire premises at 3 Exeter Street, Camden.

The DA has been assessed against the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2021*, relevant environmental planning instruments, development control plans and policies.

The DA was publicly exhibited for a period of 14 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 8 August 2023 to 28 August 2023 and eight objections were received.

The key issues raised in the submissions relate to:

- The use of the site is more appropriately categorised as a ‘transport depot’ which is prohibited in the zone;
- The proposal will result in unacceptable traffic impacts with heavy vehicles reversing into a busy T-intersection;
- There is evidence of oils / chemicals leeching from the property which will be exacerbated by the proposal;
- The dwelling house adds positively to the Heritage Conservation Area and should be conserved;
- The proposed development is prohibited under Council’s Flood Risk Management Policy as the site is located in a floodway;
- The shed is of excessive height and varies from the prescribed development standard; and
- The development will have an unacceptable visual impact.

The proposed development contravenes the maximum height of buildings development standard prescribed for the site and the applicant has submitted a Clause 4.6 written request that seek to justify the contravention. The proposed contravention, and the applicant’s Clause 4.6 written request, have been assessed in this report and are not supported by Council staff.

Based on the assessment, it is recommended that the DA be refused for the reasons outlined at the end of this report.

**KEY PLANNING CONTROL VARIATIONS**

Control	Proposed	Variation
Clause 4.3 - Height of Building Camden Local Environmental Plan – 7m	8.145m	1.145m or 14.1%

**AERIAL PHOTO**



**THE SITE**

The site is located on the southern side of Exeter Street, opposite the Macquarie Grove Road intersection, being the northern entrance to the township of Camden.

The site is 1,011.7sqm in area with a 20.117m frontage to Exeter Street.

The site contains a single storey dwelling house with an elevated floor level that was constructed prior to the 1950's.

The site forms part of the Camden Heritage Conservation Area and is within the vicinity of nearby heritage items, including 'Nant Gwylan' at 33A and 33B Exeter Street and the Camden Town Farm at 40 Exeter Street, Camden.

**ZONING PLAN**

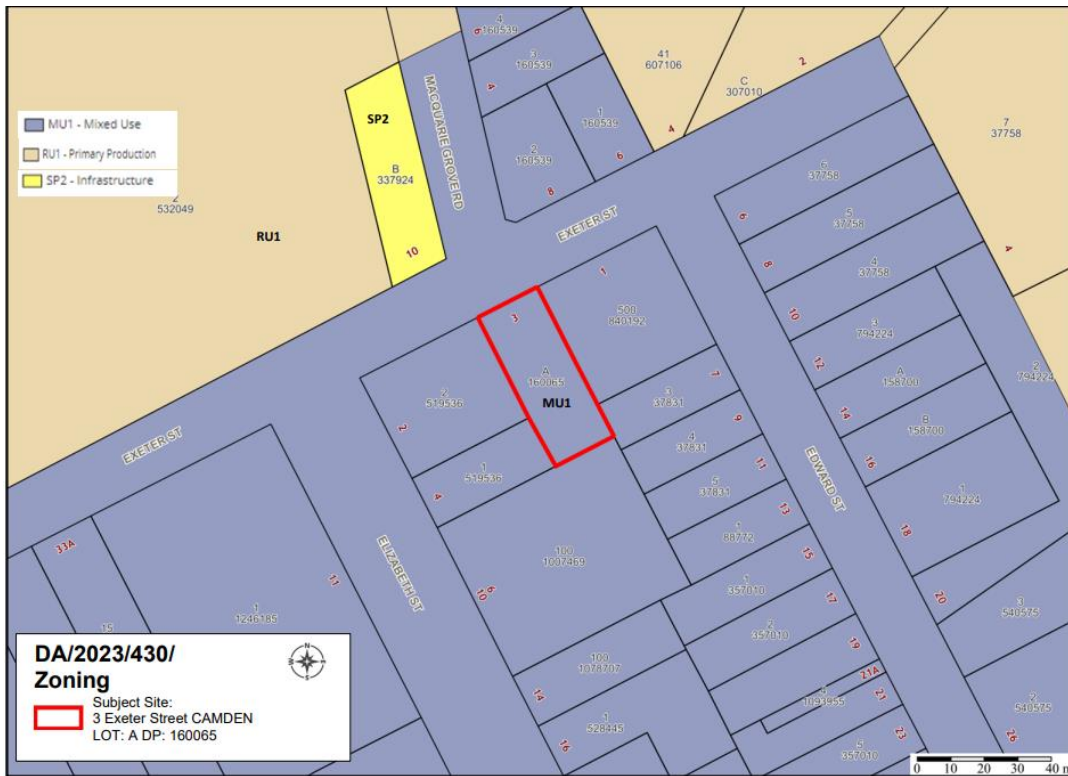


Image 1 – The site is located within a MU1 Mixed Use zone

**HEIGHT OF BUILDING MAP**



Image 2 – The site is located in an area where the maximum prescribed building height is 7m

**HERITAGE MAP**

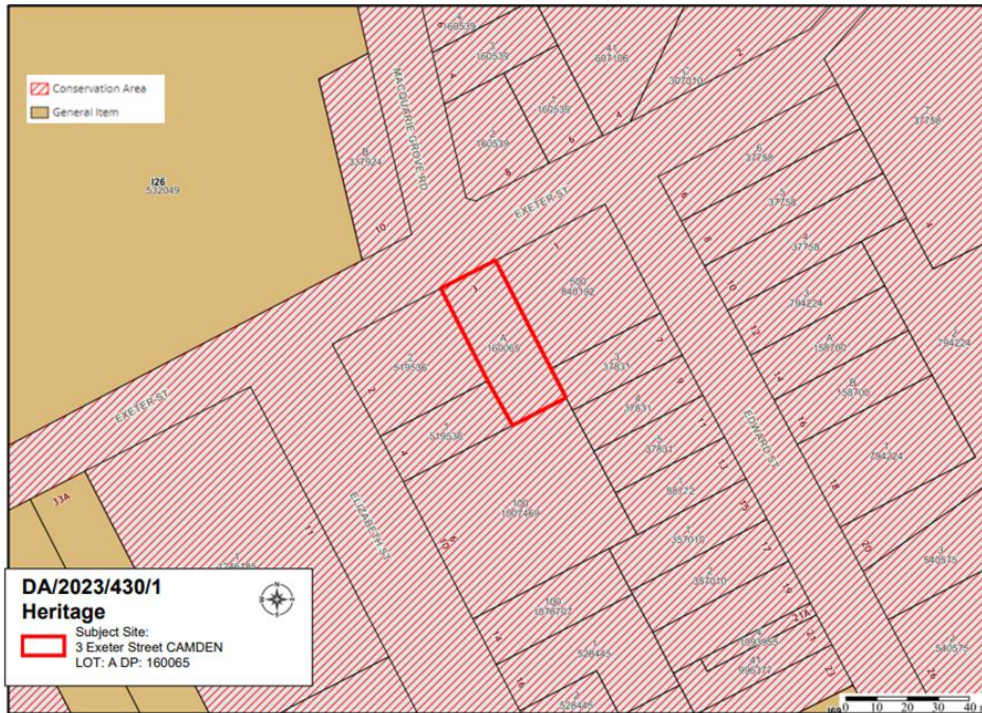


Image 3 – The site is located within the Camden Heritage Conservation Area and in the vicinity of nearby heritage items

**HISTORY**

The relevant development history of the site is summarised in the following table:

Date	Development
30/3/2023	An Order under <i>Division 9.3</i> of the <i>Environmental Planning and Assessment Act 1979</i> was issued to the owner to demolish and remove the concrete slab and reinstate pervious landscaping / grass.
30/3/2023	DA/2023/181/1 - Development application was withdrawn for the demolition of the existing dwelling and construction of sun cover safety shed.

The site has only ever previously been used for residential purposes as demonstrated in the image below (prior to more recent unauthorised works).

CLPP02



Image 4 – Aerial view of the site prior to unauthorised works (source: Nearmap)

**THE PROPOSAL**

DA/2023/430/1 seeks approval for the demolition of the existing dwelling, construction of a shed, regularisation of completed land forming and the use of the property as a vehicle sale and hire premises at 3 Exeter Street, Camden.

The estimated cost of the development is \$40,000.

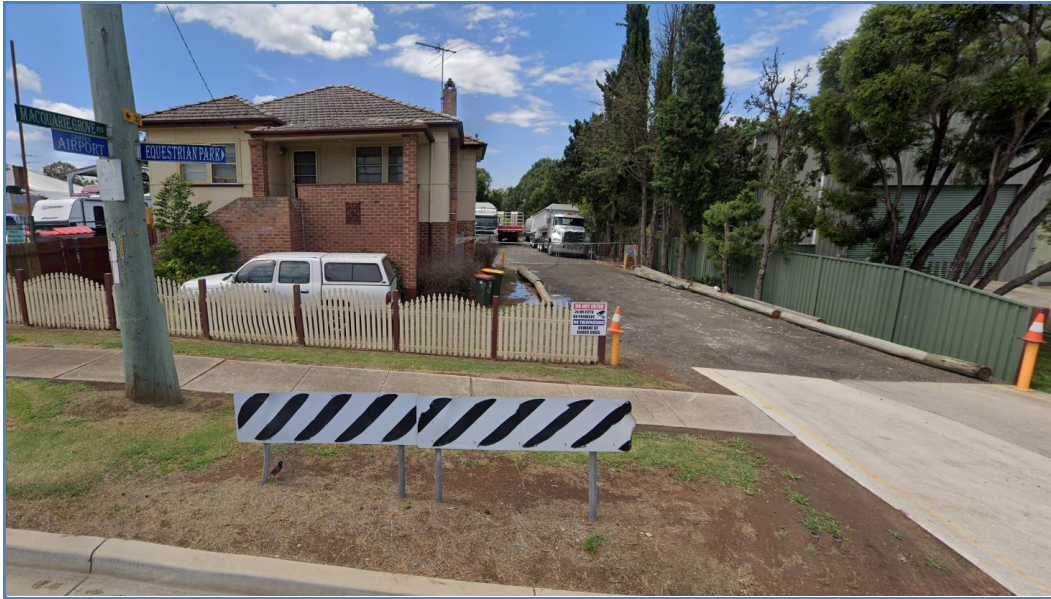


Image 5 – Street view of 3 Exeter Street, Camden (source: Nearmap)



Image 6 – Aerial view of 3 Exeter Street, Camden as at 12/8/23 (source: Nearmap)

**ASSESSMENT**

***Environmental Planning and Assessment Act 1979 - Section 4.15(1)***

In determining a DA, the consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the DA:

- (a)(i) the provisions of any environmental planning instrument***

The environmental planning instruments that apply to the development are:

State Environmental Planning Policy (Resilience and Hazards) 2021

The Resilience and Hazards SEPP aims to provide a State-wide approach to the remediation of contaminated land.

The subject development application seeks approval (amongst other things) to regularise some landform modifications that have been carried out on the site. The landform modifications involved the importation of fill. The applicant has not provided a contamination assessment in relation to the imported fill.

In the absence of a contamination assessment the consenting authority cannot be satisfied the land is suitable for the proposed development.

State Environmental Planning Policy (Biodiversity and Conservation) 2021

The Biodiversity and Conservation SEPP aims to protect the environment of the Hawkesbury-Nepean River system by ensuring that the impacts of future land uses are considered in a regional context. The development is considered reasonable having regard to the aim of the Biodiversity and Conservation SEPP.

Camden Local Environmental Plan 2010 (Camden LEP)

The Camden LEP aims to make local environmental planning provisions for land in Camden in accordance with the relevant standard environmental planning instrument under Section 3.20 of the *Environmental Planning and Assessment Act 1979*.

*Site Zoning / Permissibility*

The site is zoned MU1 Mixed Use pursuant to Clause 2.2 of the Camden LEP.

The applicant has categorised the development as being a *'vehicle sales and hire premises'*.

The CLEP 2010 defines a *'vehicle sales and hire premises'* as *"a building or place used for the display, sale or hire of motor vehicles, caravans, boats, trailers, agricultural machinery and the like, whether or not accessories are sold or displayed there"*.

A *'vehicle sales and hire premises'* is permitted with consent under the zoning provisions applying to the land (as the parent term *'commercial premises'* is nominated as being permitted with consent).

The proposed development seeks to expand on the existing activities that are being carried out on the adjoining property (1 Exeter Street, Camden) and there has been evidence of the site being used for the parking of trucks (refer image 6 above). There are a number of activities that are currently being carried out on the adjoining property, some of which would be categorised as a *'transport depot'* or a *'depot'*.

The CLEP 2010 defines a *'transport depot'* as *"a building or place used for the parking or servicing of motor powered or motor drawn vehicles used in connection with a business, industry, shop or passenger or freight transport undertaking."*



The CLEP 2010 defines a 'depot' as "a building or place used for the storage (but not sale or hire) of plant, machinery or other goods (that support the operations of an existing undertaking) when not required for use, but does not include a farm building."

A 'transport depot' and a 'depot' are nominated prohibited uses in the MU1 Mixed Use zone.

It is considered that insufficient information has been provided to clearly demonstrate that the activities to be carried out on site can be properly characterised as a 'vehicle sales and hire premises' and that the site will not be used for a purpose that is otherwise prohibited in the zone.

### *Planning Controls*

An assessment table in which the development is considered against the Camden LEP's planning controls is provided as an attachment to this report, with proposed contraventions further addressed below.

### *Clause 4.3 Height of Buildings*

The applicant proposes a contravention to the height of buildings development standard that applies to the site. The height of buildings development standard limits buildings to a maximum height of 7m above existing ground level. The proposed development is 8.145m in height, breaching the development standard by 1.145m or 14.1%.

Pursuant to clause 4.6(3) of Camden Local Environmental Plan 2010, the applicant has provided a written request that seeks to justify the contravention of the development standard.

The applicant's written request provides the following justification for the contravention:

- The proposed shed does not generate unacceptable environmental impacts in respect of overshadowing and will not impact on any significant view lines and vistas from the public domain or from adjoining dwellings or buildings.
- There are specific environmental grounds which justify the breach, in particular the requirement to have regard to the ground levels and flood affectation of subject property. Flood level is RL 71.10m and finished floor level of the shed is RL 66.50m, which is 4.6m below this level. The shed to be constructed at this level to allow vehicles access to the shed as the use of the property is for a vehicle sale and hire premises.
- The proposed height variation will not be perceivable from the public domain. The existing dwelling in the immediate area has a finished floor level of RL 68.46m and roof ridge height of RL73.49m, the shed roof ridge height of RL73.849m essentially the same height as the existing dwelling.
- The proposed development is in the public interest. The proposed development and variation of the height control will enable the orderly and efficient use of the property for the owner to operate the proposed use in conjunction with the existing business at No 1 Edward Street, Camden.

A copy of the applicant's Clause 4.6 written request is provided as an attachment to this report.

The clause 4.6 request has not established that compliance with the development standard is unreasonable and unnecessary in the circumstances of the case and that there are sufficient planning grounds to justify contravening the development standard, in accordance with clause 4.6(3). Council staff are not satisfied that the proposed development will be in the public interest as the development is assessed to be inconsistent with the objectives of the standard and the objectives for development within the MU1 Mixed Use zone.

Consequently, it is recommended that the Panel not support this proposed contravention to clause 4.3 of the Camden Local Environmental Plan 2010.

It is noted that the applicant has provided email advice to Council advising that they would be open to the Panel determining the application with the removal of the shed. The applicant has not formerly amended the application to remove the shed, and Council officers did not seek a formal amendment, given the other significant matters that are considered fatal in the assessment of this application.

#### *Clause 5.10 Heritage Conservation*

The objectives of Clause 5.10 are as follows –

- (a) to conserve the environmental heritage of Camden,*
- (b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,*
- (c) to conserve archaeological sites,*
- (d) to conserve Aboriginal objects and Aboriginal places of heritage significance.*

Further to the above, Section 2.16.3 includes the following control in relation to the demolition of a heritage place:

- 1. The demolition of a heritage place is contrary to the intent of heritage listing. It will only be considered as a last resort, where a Heritage Impact Statement is submitted covering the following:*
  - a. Documentation that all alternatives for retention have been investigated and ruled out.*
  - b. It can be satisfactorily demonstrated that the building does not satisfy the criteria for listing established by the NSW Heritage Branch.*
  - c. It has been sufficiently documented and justified that the structure is considered incapable of repair.*

The development application seeks consent for the demolition of the existing dwelling on the site. The site forms part of the Camden Heritage Conservation Area and is within the vicinity of nearby heritage items, including 'Nant Gwylan' at 33A and 33B Exeter Street and the Camden Town Farm at 40 Exeter Street, Camden.

The applicant submitted a Heritage Impact Statement as part of the subject DA that submits that *"the proposed demolition would have a neutral impact on the significance of the subject site"* and that the proposed shed would also have a neutral impact.

Council's Heritage Advisor has considered the proposal and concluded that while the dwelling itself may have a neutral contribution to the HCA, the demolition of the cottage will have a negative impact in the HCA. This negative impact is compounded by the design of the proposed shed, which is not sympathetic to the character of the HCA.

In conclusion, it is considered that:

- The HIS has not satisfactorily considered the effect of the demolition of the existing dwelling on the HCA; and
- There has been no consideration of alternative ways to preserve the existing built form through methods such as adaptive reuse.

For the reasons outlined above the proposed development is not considered reasonable having regard to Clause 5.10 of the Camden LEP.

#### *Clause 5.21 Flood Planning*

Pursuant to Clause 5.21 of the Camden LEP development consent must not be granted to development unless the consent authority is satisfied that the development –

- (a) is compatible with the flood function and behaviour on the land, and*
- (b) will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties, and*
- (c) will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood, and*
- (d) incorporates appropriate measures to manage risk to life in the event of a flood, and*
- (e) will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses*

Further to the above, Section 2.8 of the Camden DCP 2019 requires development to comply with Council's Engineering Specifications and Flood Risk Management Policy.

The subject site is located within a High Flood Risk Precinct zone and the majority of the lot is located within the 1% Annual Exceedance Probability Floodway.

CLPP02

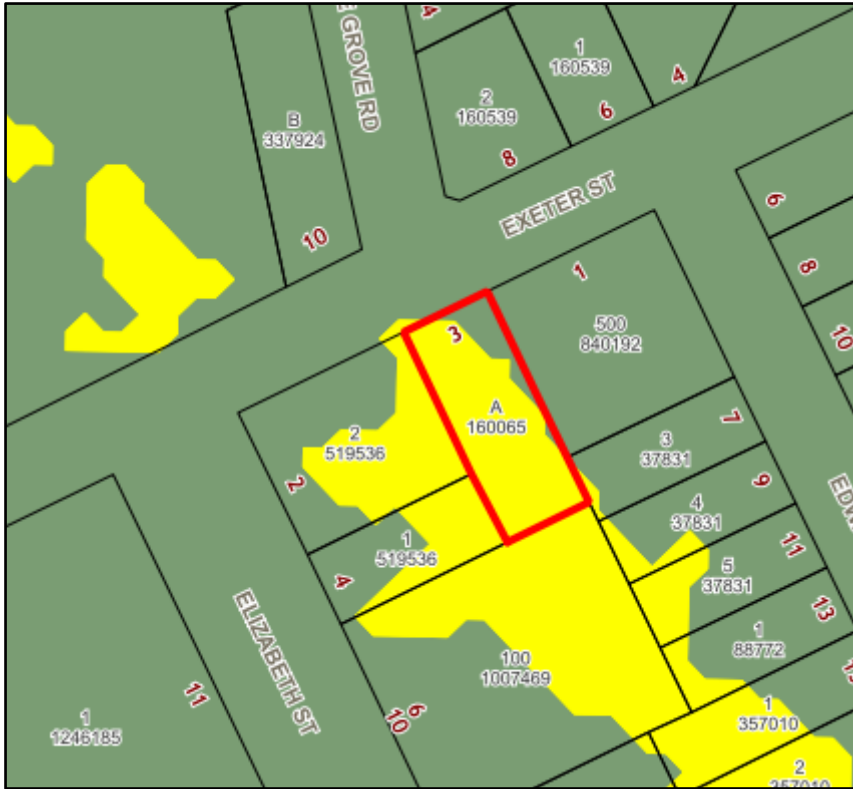


Image 7 – Flood map (floodway indicated in yellow and flood storage indicated in green)

Pursuant to Council’s Flood Risk Management Policy, only ‘Rural & Recreation’ and ‘Concessional Development’ types are permitted in the High Flood Risk Precinct zone. Furthermore the Flood Risk Management Policy does not permit development in floodways.

Council’s Flooding Engineer has considered the proposal and concluded that:

- The landform modifications that have been carried out in the floodway will adversely affect flood behaviour and may result in increased impacts for adjoining properties.
- The proposed shed is located at the rear of the site which has a higher flood affectation;
- The landform modifications, coupled with the footprint of the shed result in a larger footprint (compared to the existing dwelling) that will have a negative impact on flood behavior; and
- The development is not compatible with the flood function of the land.

For the reasons outlined above the proposed development is not considered reasonable having regard to Clause 5.21 of the Camden LEP.

***(a)(ii) the provisions of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)***

Draft Environment State Environmental Planning Policy (Draft Environment SEPP)

The development is consistent with the Draft Environment SEPP in that there will be no detrimental impacts upon the Hawkesbury-Nepean River system.

Draft Remediation of Land State Environmental Planning Policy (Draft Remediation of Land SEPP).

The development is inconsistent with the Draft Remediation of Land SEPP as, in the absence of a contamination assessment, the consenting authority cannot be satisfied the land is suitable for the proposed development.

**(a)(iii) the provisions of any development control plan**

Camden Development Control Plan 2019 (Camden DCP)

An assessment table in which the development is considered against the Camden DCP is provided as an attachment to this report.

**(a)(iia) the provisions of any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4**

No relevant planning agreement or draft planning agreement exists or has been proposed as part of this DA.

**(a)(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph)**

The *Environmental Planning and Assessment Regulation 2021* prescribes several matters that are addressed in the conditions attached to this report.

**(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality**

As demonstrated by the above assessment, the development is likely to have unreasonable adverse impacts on the natural and built environments.

**(c) the suitability of the site for the development**

As demonstrated by the above assessment, the site is not considered to be suitable for the proposed development.

**(d) any submissions made in accordance with this Act or the regulations**

The DA was publicly exhibited for a period of 14 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 8 August 2023 to 28 August 2023 and eight objections were received.

The following discussion addresses the key issues raised in the submissions.

- The use of the site is more appropriately categorised as a ‘transport depot’ which is prohibited in the zone.  
Officer comment: As noted on the main body of this report, there is a lack of clarity around the characterisation of the proposed use and whether the proposed activities

are permitted with consent under the zoning provisions applying to the land. It is acknowledged that the site has been used for the parking of trucks which would be categorised as a ‘transport depot’ which is nominate prohibited use in the zone.

- The proposal will result in unacceptable traffic impacts with heavy vehicles reversing into a busy T-intersection  
Officer comment: Insufficient information has been provided to demonstrate that vehicles can enter and exit the site in a forward direction and accordingly the development may result in unacceptable traffic impacts.
- There is evidence of oils / chemicals leeching from the property which will be exacerbated by this proposal  
Officer comment: As noted in the main body of this report the applicant failed to submit a contamination assessment to demonstrate that the site is suitable for the proposed development.
- The dwelling house adds positively to the HCA and should be conserved  
Officer comment: Inadequate information has been provided to justify the demolition of the dwelling house. The demolition of the dwelling house, coupled with the erection of a shed of excessive height, will have a negative impact on the HCA.
- The proposed development is prohibited under Council’s Flood Risk Management Policy as it is located in a floodway  
Officer comment: The site is located within the High Flood Risk Precinct zone with the majority of the site identified as a floodway. The proposed development is prohibited under Council’s Flood Risk Management Policy.
- The shed if of excessive height and varies from the prescribed development standard  
Officer comment: The proposed shed contravenes the maximum height of buildings development standard and the contravention is not supported by Council staff.
- The development will have an unacceptable visual impact.  
Officer comment: The demolition of the dwelling house, coupled with the erection of a shed of excessive height, has a negative impact on the HCA / streetscape of Exeter Street.

**(e) the public interest**

Given the substantiated issues raised in the public submissions and the unacceptable impacts that will result from the proposal, the development is not considered to be in the public interest.

**FINANCIAL IMPLICATIONS**

This matter has no direct financial implications for Council.

**CONCLUSION**

The DA has been assessed in accordance with Section 4.15(1) of the *Environmental Planning and Assessment Act 1979* and all relevant instruments, plans and policies. The DA is recommended for refusal for the reasons outlined at the end of this report.

## **RECOMMENDED**

That the Panel refuse DA/2023/430/1 for the demolition of the existing dwelling, construction of a shed, regularisation of completed land forming and use of the property as a vehicle sale and hire premises at 3 Exeter Street, Camden for the following reasons:

1. Insufficient information has been provided to clearly demonstrate that the proposal can be properly characterised as a *'vehicle sales and hire premises'* and that the site will not be used for a purpose that is otherwise prohibited in the zone.
2. The proposed development contravenes clause 4.3 Height of buildings of the Camden Local Environmental Plan 2010 and the applicant's clause 4.6 written request fails to demonstrate that the standard is unreasonable or unnecessary in the circumstances of the case or that there are sufficient environmental planning grounds to justify the contravention.
3. In the absence of a contamination assessment, the consenting authority cannot be satisfied the land is suitable for the proposed development having regard to Section 4.6 of State Environmental Planning Policy (Resilience and Hazards) 2021.
4. The proposed development does not comply with clause 5.21 Flood Planning of the Camden Local Environmental Plan 2010 as the proposal is not compatible with the flood hazards of the subject site and the development will adversely affect flood behaviour resulting in detrimental increases in the potential flood affectation of other properties.
5. Inadequate information has been provided to support the demolition of the existing dwelling house having regard to the objectives contained in clause 5.10 Heritage conservation of the Camden Local Environmental Plan 2010 and the demolition controls contained in Part 2.16.3 of the Camden Development Control Plan 2019.
6. The proposed development is of an excessive height, bulk, scale and form and is inconsistent with the existing and/or desired future character of the area.
7. The proposed development does not comply with the following provisions as contained in the Camden Development Control Plan 2019:
  - a) Section 2.1 in that the development fails to demonstrate that clean fill / virgin excavated natural material has been used in the completed land forming.
  - b) Section 2.3 in that the development fails to demonstrate compliance with Council's Engineering Specifications in relation to detention and drainage.
  - c) Section 2.16.3 in that the development fails to demonstrate that it is sympathetic to the historic context of the area or that the demolition of the existing dwelling house is necessary.
  - d) Section 2.16.4 in that the demolition of the existing dwelling will have an adverse impact on the existing streetscape.

- e) Section 2.18.2 in that the development fails to demonstrate compliance with off street car parking requirements.
  - f) Section 5.2 in that the development fails to demonstrate:
    - design features addressing the public domain;
    - integration of service infrastructure;
    - waste collection point;
    - vehicles entering and leaving the site in a forward direction and swept paths;
  - g) Section 5.3.3 in that the development does not contribute to the local distinctiveness of the Camden township.
8. The development is likely to have unreasonable adverse impacts on the natural and built environments.
9. Given the substantiated issues raised in the public submissions and the unacceptable impacts associated with the development, the proposal is not in the public interest.
10. Inadequate information was submitted to allow a full and proper assessment of the application in accordance with Section 4.15 of the Environmental Planning and Assessment Act 1979, as the application was not accompanied by the following information:
- a. Contamination assessment
  - b. MUSIC model
  - c. Architectural plans indicating off street car parking, a loading area and swept paths
  - d. Landscaping plan
  - e. Design details of infrastructure integration including waste collection area
  - f. Design details of addressing the public space

### ATTACHMENTS

1. Camden LEP Assessment Table
2. Camden DCP Assessment Table
3. Submissions - *Supporting Document*
4. Public Exhibition/Submission Map - *Supporting Document*
5. Clause 4.6 Written Request
6. Architectural Plans



## Camden Local Environmental Plan 2010 (Camden LEP) Assessment Table

Clause	Assessment	Compliance?
<p><b>2.3 Zone objectives and land use table</b></p> <p>The land use table for each zone sets out what development is permitted without consent, permitted with consent and prohibited.</p> <p>The consent authority must have regard to the objectives for development in a zone when determining a development application in respect of land within a zone.</p> <p>The zone objectives for this site are:</p> <ul style="list-style-type: none"> <li>• To encourage a diversity of business, retail, office and light industrial land uses that generate employment opportunities..</li> <li>• To ensure that new development provides diverse and active street frontages to attract pedestrian traffic and to contribute to vibrant, diverse and functional streets and public spaces.</li> <li>• To minimise conflict between land uses within the zone and land uses within adjoining zones.</li> <li>• To encourage business, retail, community and other non-residential land uses on the ground floor of buildings.</li> <li>• To encourage development that supports or complements the primary office and retail functions of the local centre zone.</li> </ul>	<p>The applicant has categorised the development as being a 'vehicle sales and hire premises' which is permitted with consent under the zoning provisions applying to the land.</p> <p>The proposed development seeks to expand on the existing activities that are being carried out on the adjoining property (1 Exeter Street, Camden) and there has been evidence of the site being used for the parking of trucks. There are a number of varied activities that are currently being undertaken on that adjoining property, some of which would be categorised as a 'transport depot' or a 'depot' which are nominated prohibited uses in the MU1 Mixed Use zone.</p> <p>It is considered that insufficient information has been provided to clearly demonstrate that the activities to be carried out on site can be properly characterised as a 'vehicle sales and hire premises' and that the site will not be used for purposes that are otherwise prohibited in the zone.</p> <p>Further, the development is considered to be inconsistent with the objectives of the zone as it has not established:</p> <ul style="list-style-type: none"> <li>• A diverse and active street frontage to attract pedestrian traffic and to contribute to vibrant, diverse and functional streets and public spaces.</li> <li>• A use that will minimise conflicts between land uses within the zone and land uses within adjoining zones.</li> <li>• A use that supports and complements the primary office and retail functions of the local centre zone.</li> </ul>	No
<p><b>4.3 Height of buildings</b></p> <p>Maximum building heights must not exceed the maximum building height shown on the Height of Buildings Map.</p> <p>The maximum building height for this site is 7m.</p>	<p>The proposed building has a maximum height of 8.145 metres. This represents a variation of 1.145 metres or 14.1%.</p>	No.
<p><b>4.6 Exceptions to development standards</b></p> <p>Development consent may be granted for development that contravenes a development standard imposed by the LEP or any other environmental planning instrument.</p>	<p>The proposal has a maximum height of 8.145 metres and thereby contravenes the maximum height of buildings development standard that applies to the site (namely 7 metres).</p>	No

## Camden Local Environmental Plan 2010 (Camden LEP) Assessment Table

Clause	Assessment	Compliance?
<p>The consent authority must consider a written request from the applicant that seeks to justify the contravention by demonstrating that:</p> <p>(a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and</p> <p>(b) that there are sufficient environmental planning grounds to justify contravening the development standard.</p> <p>Development consent must not be granted unless:</p> <p>(a) the consent authority is satisfied that:</p> <p>(i) the applicant's written request has adequately addressed the matters required to be demonstrated, and</p> <p>(ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and</p> <p>(b) the concurrence of the Secretary has been obtained.</p> <p>This clause prohibits the approval of development standard contraventions for certain subdivisions of land in some rural and environmental zones.</p>	<p>This represents a variation of 1.145 metres or 14.1%.</p> <p>The applicant has provided a written request that seeks to demonstrate that compliance with the development standard is unreasonable in the circumstances of the case and that there are sufficient environmental planning grounds to justify the contravention.</p> <p>Council staff are not satisfied that the applicant's written request has adequately addressed the required matters.</p> <p>Furthermore, the proposed development is not considered to be in the public interest as it is inconsistent with the objectives of the height of buildings development standard, as well as the objectives of the MU1 Mixed Use zone.</p>	
<p><b>5.10 Heritage conservation</b></p> <p>Before granting development consent in respect of a heritage item or a heritage conservation area, the consent authority must consider the effect of the proposed development on the heritage significance of the item or area concerned.</p> <p>The consent authority may require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the item or heritage conservation area concerned. The</p>	<p>The development application seeks consent for the demolition of the existing dwelling. The site forms part of the Camden Heritage Conservation Area and is within the vicinity of nearby heritage items, including 'Nant Gwylan' at 33A and 33B Exeter Street and the Camden Town Farm at 40 Exeter Street, Camden.</p> <p>The applicant submits that development does not impact on the heritage significance of the conservation area or nearby heritage items.</p>	No.

## Camden Local Environmental Plan 2010 (Camden LEP) Assessment Table

Clause	Assessment	Compliance?
<p>submission of a heritage conservation management plan may also be required.</p>	<p>Council's Heritage Advisor reviewed the application and is not supportive of the proposal given the unreasonable impacts on the HCA (given the demolition of the existing dwelling and replacement with an oversized shed)</p>	
<p><b>5.21 Flood Planning</b></p> <p>Development consent must not be granted to development on land the consent authority considers to be within the flood planning area unless the consent authority is satisfied the development—</p> <p>(a) is compatible with the flood function and behaviour on the land, and</p> <p>(b) will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties, and</p> <p>(c) will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood, and</p> <p>(d) incorporates appropriate measures to manage risk to life in the event of a flood, and</p> <p>(e) will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses.</p> <p>In deciding whether to grant development consent on land to which this clause applies, the consent authority must consider the following matters—</p> <p>(a) the impact of the development on projected changes to flood behaviour as a result of climate change,</p> <p>(b) the intended design and scale of buildings resulting from the development,</p> <p>(c) whether the development incorporates measures to minimise the risk to life and ensure the safe evacuation of people in the event of a flood,</p> <p>(d) the potential to modify, relocate or remove buildings resulting from development if the surrounding area is impacted by flooding or coastal erosion.</p>	<p>The site is within the High Flood Risk Precinct and Floodway zone. Pursuant to Council's Flood Risk Management Policy, only 'Rural &amp; Recreation' and 'Concessional Development' types are permitted in the High Flood Risk Precinct zone FRPs. Furthermore, the Flood Risk Management Policy does not permit development in floodways.</p> <p>Council's Flooding Engineer reviewed the application and advised that the development is not compatible with the flood function of the land.</p>	<p>No</p>

## Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
<b>1.2 Notification and Advertising Requirements</b>		
Notification and advertising requirements are now listed in Part 3.0 of the CPP.	The application was notified for 14 days in accordance with the Camden Community Participation Plan 2021. The notification period was from 8 August to 28 August 2023 and eight submissions were received objecting to the proposed development.	Yes.
<b>2.1 Earthworks</b>		
Building work must be designed to ensure minimal cut and fill is required for its construction phase.	The application seeks to regularise the earthworks that have been carried out on the site. The majority of the site is located within the floodway and these works are contrary to Council's Flood Risk Management Policy. The applicant has also failed to submit a contamination assessment to demonstrate that the imported fill was not contaminated and that the site is suitable for the proposed use.	No.
<b>2.2 Salinity Management</b>		
All development, where saline and sodic soils are identified, must incorporate soil conservation measures to minimise soil erosion and siltation during construction and following completion of development. Soil and Water Management Plans, prepared in accordance with Managing Urban Stormwater – Soils and Construction are to be submitted with each subdivision DA.	Conditions could be imposed to ensure adequate sediment and erosion controls measures will be in place during construction and following completion of works.	Yes.
All sediment and erosion controls are to be installed prior to the commencement of any works and maintained throughout the course of construction until disturbed areas have been revegetated/ established. Certification is required to be submitted to Council prior to commencement of construction.	Conditions could be imposed to ensure adequate sediment and erosion controls measures will be in place during construction and following completion of works.	Yes.
<b>2.3 Water Management</b>		
All development must demonstrate compliance with the relevant provisions of Council's Engineering Specifications including requirements for detention, drainage and water sensitive urban design.	The applicant has not demonstrated with a MUSIC model and provision of hydrocarbon treatment that water quality is capable of complying with Council's Engineering Specifications.	No.
<b>2.10 Development near Camden Airport</b>		
Buildings or structures located within the area affected by the Camden Airport OLS or PANS-OPS contained in the Camden Airport Master Plan must use materials that have low reflectivity.	The proposed materials will have low reflectivity.	Yes.
<b>2.14 Waste Management</b>		
A Waste Management Plan (WMP) must be submitted for all new development, including demolitions, construction and the ongoing (or change of) use. A WMP outlines the waste that will be generated	A waste management plan detailing the demolition, construction and ongoing use phases of the development was provided with the application.	Yes.

## Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
and how the development proposes to manage the waste.		
<b>2.16 Environmental Heritage</b>		
<b>2.16.3 General Heritage Provisions</b>		
New buildings must be of a simple, contemporary design that avoids "heritage style" replication of architectural or decorative detail.	The proposed shed is a simple design that avoids 'heritage style' replication of architectural and/or decorative detail.	Yes.
New work must be easily identified as such and is required to be sympathetic to the heritage place.	The proposed shed is not sympathetic to the heritage place.	No.
New development must be designed to interpret and complement the general form, bulk, scale, height, architectural detail and other significant elements of the surrounding heritage place.	The proposed shed has not been designed to interpret nor complement the general form, scale and details of other elements the surrounding heritage place.	No.
Where there is a uniform building front setback, new development must recognise this.	The increased front setback of the proposed shed is consistent with the setbacks of buildings on the adjoining sites.	Yes.
The existing informal and irregular pattern of rear property building alignments is to be retained.	The rear setback of the building is consistent with the rear setbacks of the buildings at the rear of 1 Exeter Street only.	Yes.
The existing pattern, pitch, materials and details of original roof forms within the Heritage Conservation Area must be retained.	The proposed roof form is inconsistent and not reminiscent of other roof forms in the precinct.	No.
Materials, finishes, and textures must be sympathetic to the historic context of the original significant buildings within the streetscape.	The proposal is not sympathetic to the historic context of the streetscape.	No.
Contemporary materials are permitted where their proportions, detailing and quantities are compatible with the character of the area. Large expanses of glass and reflective wall and roof cladding are not appropriate.	The large expansive walls and roof form of the proposed shed is not appropriate.	No.
New buildings need not employ traditional colour schemes but should use colours sympathetic to surrounding development and contribute to the cohesiveness of the Heritage Place. A material and colour palette sheet must be provided to Council for assessment.	A material and colour schedule has been provided with the development application.	Yes.
Skylights, air conditioning units, antennas, solar panels, satellite dishes etc. must not be visible from the street.	No services have been indicated on the plans.	Yes.
The demolition of a heritage place is contrary to the intent of heritage listing. It will only be considered as a last resort where a HIS is submitted demonstrating that alternatives for retention have been investigated and ruled out; the building does not satisfy the criteria for listing; and the structure is incapable of repair.	The HIS has not satisfactorily considered the effect of the demolition of the existing dwelling on the HCA. Furthermore, there has been no consideration of alternative ways to preserve the existing built form through methods such as adaptive reuse.	No
<b>2.16.4 Camden Heritage Conservation Area</b>		

## Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
Views associated with the St John's Church spire must not be compromised.	The application will not impact any views to/from St John's Church.	Yes.
Existing cottage dominated streetscapes must be retained, new development such as extensions/additions should be compatible with the existing streetscape.	The development has been sited at the rear of the site, however demolition of the existing dwelling will adversely affect the existing streetscape.	No.
A two storey height limit must prevail except for significant architectural features incorporated into the design of buildings in significant locations.	The proposal is single storey.	Yes.
Large built forms in cottage dominated precincts must be avoided through the use of various roof forms and pitches, wall openings and recesses, materials, recessive colours and landscaping	The large expansive walls and roof form of the proposed shed is not appropriate.	No.
<b>2.18 Traffic Management and Off-Street Parking</b>		
<b>2.18.2 Off Street Car parking rates/requirements</b>		
Vehicle Sales and Hire Premises 0.75 car parking spaces per 100m <sup>2</sup> of display site area and 6 car parking spaces per service work bay.	The proposed gross floor area of the shed is 374m <sup>2</sup> , however, insufficient information has been provided to ascertain car parking requirements for this proposal.	No.
Council will assess the extent and size of service vehicle parking area to be provided having regard to the nature of a particular development and its likely servicing requirements.	Insufficient information has been provided with regard to the loading area and swept paths being designed around the largest service vehicle. Based on the type of development, Council staff are not satisfied that the proposed largest vehicle size is appropriate.	No.
<b>5.2 General Controls Applying to all Business Zone Areas</b>		
Development within business zones must incorporate a range of local retail, commercial, entertainment, childcare, residential and community uses to serve the needs of the local community.	The application proposes a vehicle sales and hire premises. The development is consistent with this control, although as pointed out above concern is raised with the categorisation of the proposed use.	Yes.
The layout and location of business zone uses must consider potential future noise and amenity conflicts for both the subject development and adjoining/nearby development.	Conditions can be recommended if the application was supported.	Yes.
Where development fronts the street or any other public place (including car parking areas and pedestrian thoroughfares) the development must be designed so that it addresses the street or public place.	Insufficient information has been provided relating to how the proposal will address the street.	No.
New development must not detract from significant existing views and vistas.	Insufficient information has been provided relating to how the proposal does not detract from any existing significant view or vistas.	No.

## Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
Buildings should have a similar mass and scale to create a sense of consistency. Within business zones, generally there will be gradation of massing from a dense inner core to a less dense outer edge to provide an appropriate interface with land uses in the adjoining zones and symmetry to the building.	The mass and scale of the shed is inconsistent with the buildings at the rear of adjoining Edward and Elizabeth Streets lots.	No
Business development must feature high quality architectural design and a built form that promotes a 'sense of place' and contemporary character for all business zones	The development is not considered to be of high quality architectural design.	No
Development in business zones must be compatible with surrounding business development in terms of appearance, type, bulk and scale, design and character.	The shed is inconsistent with the adjoining buildings in terms of bulk and scale.	No
Building wall planes must contain variations and architectural design features in their front facades in order to provide visual interest.	No architectural design has been incorporated to provide visual interest.	No
Roof forms should be appropriately designed to respond to the built form of other nearby business development. The design of roofs may adopt traditional forms found in the immediate locality, or alternatively they may adopt a more contemporary appearance to a juxtaposition to traditional roof forms. However, it must be clearly demonstrated that the proposed roof form relates appropriately to the existing adjoining development.	The roof form is consistent with other outbuilding roofs in the immediate vicinity. However, the scale of the roof is substantially greater and more consistent with industrial type of development.	No
New development must not cause significant overshadowing or overlooking of public places, relative to the patterns of usage of those places.	No shadow diagrams have been provided. However the proposed shed is not expected to cause significant overshadowing to public places.	Yes.
Where a building addresses a public space, buildings must always address and embellish that public space. Public spaces may include a street, any form of urban open space (e.g. courtyard, plaza, etc), or any form of landscaped open space. This must also help contribute towards place-making.	Insufficient information has been provided in relation to the proposal addressing the public space.	No
Service infrastructure such as air conditioning and other plant must be screened from public view and must be incorporated into the design of the building.	Insufficient information has been provided in to determine whether any service infrastructure will be visible from the public domain.	No
Site facilities such as loading, waste storage, servicing and other infrastructure must be designed to minimise the visual impact on the public domain and impacts on neighbours.	Insufficient information has been provided in relation to infrastructure being integrated into the development thereby minimising visual impacts on the public domain and neighbours.	No.
Security devices must be integrated with the design of the building and must enable	No detail has been provided in relation to security devices.	No

## Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
design features to be interpreted outside centre trading hours.		
Business development must be designed to facilitate high levels of pedestrian amenity and permeability, including access and facilities for cyclists.	The proposal has not demonstrated a high level of pedestrian amenity and permeability will be provided throughout the site.	No
Buildings should be designed to minimise overshadowing of pedestrian thoroughfares and footpaths wherever possible.	No significant increase in overshadowing of pedestrian thoroughfares is likely	Yes.
Development must include a high quality landscape design including a co-ordinated package of street furniture and lighting that enhances the character of the business zone. The design of landscaping and the public domain must be generally in accordance with Council's Landscape and Streetscape Elements Manual (or equivalent).	A high quality landscape design has not been provided.	No
The building and landscape design is to be complementary to ensure legible, safe, comfortable and easy access for pedestrian from the street frontages, within the business zone and to adjoining land, where appropriate.	Insufficient information has been provided to ensure legible, safe comfortable and easy access to the site.	No.
Street tree and open space plantings are to provide generous shade for pedestrians.	Can be conditioned if the application is supported.	Yes.
The visibility of parking areas at street frontages must be minimised through parking layout and design, building location and design and landscaping treatments. Bitumen and cars are not to be the dominant features of the landscape.	The proposed building will not assist in minimising the visibility of the car park line.	No
Parking areas must be designed to enable legible, safe, comfortable and easy access for pedestrians from the street frontages, within the centre and to adjoining land, where appropriate	Insufficient information has been provided to demonstrate that parking areas are consistent with this control and are capable of complying with the relevant Australian Standards.	No
Car parking must be provided in accordance with Part 2 of this DCP.	See above control.	No
A detailed Waste Management Plan (WMP) must be submitted for the ongoing use of the site. A WMP must outline the waste that will be generated from the site and proposed arrangements for managing waste onsite and for collection.	A waste management plan has been provided with the application. A condition of consent can be recommended if the application is supported	Yes.
The site plan and floor plans must show: the location of temporary waste and recycling storage areas within each tenancy; the location of designated waste and recycling storage room(s) or areas that are sized to meet the waste and recycling needs of all tenants (refer to Council's Waste Management Guidelines for generation rates);	Insufficient information has been provided in relation to a waste room and collection point.	No



## Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
an identified collection point for the collection and emptying of waste, recycling and other waste bins; and the path of travel for moving bins from the storage area to the identified collection point (if collection is to occur away from the storage area). There must be step-free access between the point at which bins are collected/emptied and the waste/recycling storage room(s) or area(s).		
A swept path analysis must be prepared by a suitably qualified professional in accordance with AS2890.2. It must be demonstrated that a Heavy Rigid Vehicle: can enter, manoeuvre and exit the site in a forward direction; perform collections in a safe manner; and is provided with adequate height and width clearance to safely access the site.	Insufficient information has been provided in relation to swept paths and accessing the site.	No
Between collection periods, all waste/recyclable materials generated on site must be kept in enclosed bins with securely fitting lids and stored in designated waste/recycling storage room(s) or area(s).	Insufficient information has been provided in relation to waste being stored in a dedicated waste room.	No
The number of bins to be provided must be calculated based on waste generation rates in Council's Waste Management Guidelines;	Insufficient information has been provided.	No
In exceptional circumstances where onsite collection cannot be achieved, waste/recycling containers should be collected from a kerbside, rear laneway or service passage. Waste collection should not be provided along shop frontages.	Insufficient information has been provided.	No
<b>5.3 Camden Town Centre Development Controls</b>		
<b>5.3.3 Camden – MU1 Mixed Use</b>		
Development in the MU1 Mixed Use zone should be complementary to the existing land uses in the B2 Local Centre zone which forms the core business and retail precinct of the Camden township.	The proposed built form of the development does not complement the existing land uses in the B2 Local Centre zone.	No
Buildings must contribute to the local distinctiveness of the Camden township by using a varied palette of colours, materials and finishes.	The proposal is not considered to contribute to the local distinctiveness of the Camden township.	No
Buildings in full corporate colours will not be permitted. Corporate colours can, however, be sensitively integrated as part of an overall design and signage strategy.	Corporate colours for the building are not proposed.	N/A
The Camden township is located within the Camden Heritage Conservation Area. Reference must be made to Part 2 of this DCP.	An assessment against the relevant controls has been made earlier in this table. The proposal is inconsistent with these controls.	No

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
Development within the MU1 Mixed Use zone at Camden must be consistent with the Camden Town Centre Urban Design Framework.	The development is inconsistent with the Urban Design Framework.	No

---

**Written Request under Clause 4.6 Exceptions to Development  
Standards of Camden Local Environmental Plan 2010**

**Lot A DP 160065, 3 Exeter Street, CAMDEN**

---

Prepared For:  
**IMMS**  
Prepared By



July 2023

---

**Post:** PO Box 295, Camden NSW 2570 • **Ph:** 02 4648 0877 • **Mob:** 0418 620 718  
**Email:** michael@michaelbrown.com.au • **Web:** www.michaelbrown.com.au

## Table of Contents

<b>1. INTRODUCTION .....</b>	<b>3</b>
FIGURE 1 – SECTION ELEVATION.....	3
1.1 SUBJECT PROPOSAL.....	4
FIGURE 2 – EXTRACT OF ZONE MAP .....	6
1.2 STATUTORY OBLIGATIONS OF THE APPLICANT AND COUNCIL .....	6
1.3 DEVELOPMENT STANDARD TO BE VARIED .....	7
FIGURE 3 – EXTRACT OF HEIGHTS OF BUILDINGS MAP.....	8
FIGURE 4 – AERIAL SITE CONTEXT.....	9
<b>2 EXCEPTION TO DEVELOPMENT STANDARDS – CLAUSE 4.6.....</b>	<b>10</b>
2.1 CLAUSE 4.6(4)(A)(I) - ADEQUATE ADDRESS OF MATTERS UNDER CL 4.6(3) .....	10
TABLE 1 – COMPLIANCE TABLE.....	12
FIGURE 5 – LOCATION OF HERITAGE PROPERTIES .....	16
2.2 CONCLUSION .....	16
<b>3 OBJECTIVES OF THE ZONE.....</b>	<b>16</b>
<b>4 SUFFICIENT ENVIRONMENTAL PLANNING GROUNDS .....</b>	<b>17</b>
4.1 SUMMARY .....	19

## 1. Introduction

This clause 4.6 written variation request has been prepared by Michael Brown Planning Strategies Pty Ltd on behalf of IMMS. It is submitted to Camden Council in support of a development application for the demolition of the existing dwelling and construction of a shed at No 3 Exeter Street, CAMDEN. The subject shed has a height of 8.145m and Clause 4.3 of *Camden Local Environmental Plan 2010* provides a height control of 7m. There is a non-compliance with the height of 1.145m or 14.1%.

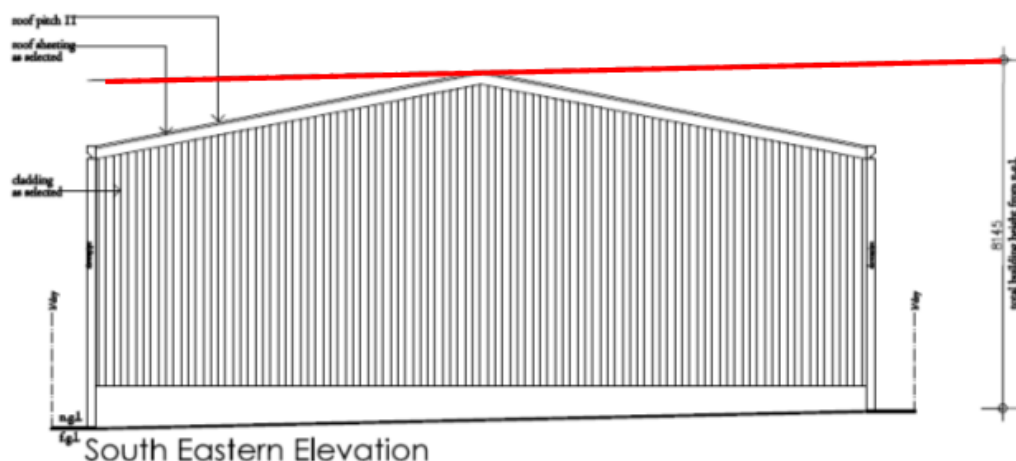
The proposal seeks a variation to the maximum building height limit. In brief, the proposal involves part of the roof of the building exceeding the 7m building height control under Clause 4.3(2) of *Camden Local Environmental Plan 2010* ("CLEP 2010"). Refer to **Figure 1** for detail and shown on Sheet 5 Revision A of **Appendix A** of the plans submitted with the application prepared by Devine Drafting & Design.

It would be noted that under the Heights of Building Map under Clause 4.3 of *Camden Local Environmental Plan 2010* (CLEP) that the maximum height control for the site is 7m, with the shed exceeding the height control at 1.145m (worse-case scenario - **Figure 1**). The site is zoned MU1 Mixed Use and the proposed development is permissible with development consent, as addressed in Section 4.5 of the Statement of Environmental Effects (SoEE) prepared by this firm.

The height of the roof varies depending on existing ground levels. However, ground levels change from different points and therefore the exceedance varies depending on where the measurement is taken from. Notwithstanding, the roof of the shed exceeds the height control of Cl4.3(2) of CLEP 2010 by 1.145m.

The exceedance is calculated at 14.1% (greater than 10%) and we note that the application will be determined by the Local Planning Panel.

FIGURE 1 - SECTION ELEVATION



Clause 4.6 (3) and (4)(a)(ii) requires the consent authority to consider a written request from the applicant that seeks to justify the contravention of the development standard.

Clause 4.6(4)(a) states that development consent must not be granted for development that contravenes a development standard unless the consent authority is satisfied:

- (i) the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and
- (ii) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.

The consent authority's satisfaction in respect of those matters must be informed by the objectives of clause 4.6, which are to provide an appropriate degree of flexibility in the application of the relevant controls and to achieve better outcomes for and from the development in question by allowing flexibility in particular circumstances.

The Land and Environment Court has established a set of factors to guide assessment of whether a variation to development standards should be approved. The original approach was set out in the judgment of Justice Lloyd in *Winten Property Group Ltd v North Sydney Council* [2001] 130 LGERA 79 at 89 in relation to variations lodged under State Environmental Planning Policy 1 – Development Standards (SEPP 1).

This approach was later rephrased by Chief Justice Preston, in the decision of *Wehbe v Pittwater Council* [2007] NSWLEC 827 (*Wehbe*). While these cases referred to the former SEPP 1, the analysis remains relevant to the application of clause 4.6(3)(a). Further guidance on clause 4.6 of the Standard Instrument has been provided by the Land and Environment Court in a number of decisions, including:

- *Initial Action Pty Ltd v Woollahra Municipal Council* [2018] NSWLEC 118.
- *Turland v Wingecarribee Shire Council* [2018] NSWLEC 1511.
- *Bettar v Council of the City of Sydney* (2014) NSWLEC 1070 at 39-41.
- *Four2Five Pty Ltd v Ashfield Council* [2010] NSWLEC 1009.
- *Micaul Holdings Pty Limited v Randwick City Council* [2010] NSWLEC 1386.
- *Moskovich v Waverley Council* [2016] NSWLEC 1015.
- *Rihani V Waverley Council* (2022) NSWLEC 1292.

Notwithstanding, of relevance to the subject application is a recent Land & Environment Court decision in the matter of how the Court adopts a new way of measuring building height on brownfield sites.

Notwithstanding, the level from existing ground level to the roof, the building exceeds the height control, as shown as a red line on the elevation plans at **Figure 1**.

### 1.1 SUBJECT PROPOSAL

In accordance with CLEP 2010 requirements, this Clause 4.6 request provides sufficient justification to vary the standard in that:

- It establishes that compliance with the development standard is unreasonable or unnecessary in the circumstances of this particular case.
- Demonstrates there are sufficient environmental planning grounds to justify contravention.

- Demonstrates that the proposed variation is in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.

This cl4.6 written variation request demonstrates that compliance with the maximum height development standard is unreasonable and unnecessary in the circumstances of the case and that there are sufficient environmental planning grounds to justify contravention of the standard and that proposal is in the public interest.

This clause 4.6 variation request demonstrates that:

- There are sufficient environmental grounds to justify the contravention. The proposed height variation does not generate any unacceptable environmental impacts in respect of overshadowing and will not impact on any significant view lines and vistas from the public domain or from adjoining dwellings or buildings (refer to heritage impact statement at **Appendix B**).
- There are site specific environmental grounds which justify the breach, in particular the requirement to have regard to the existing ground levels and the flood affectation of the subject property. It is noted that the 1% AEP flood level is RL 71.10m and the finished floor level of the shed is RL 66.50m, which is 4.6m below this level. The shed has to be constructed at this level to allow vehicles access to the shed, as the use of the property is for a vehicle sales and hire premises.
- Notwithstanding the proposed height variation, the proposed development remains consistent with the objectives of the height standard and the MU1 Mixed Use zone (refer to **Figure 2** for extract from the zone map under CLEP 2010).
- The proposed height variation will not be perceivable from the public domain and as such the proposed development will have an appropriate impact, in terms of its scale, form and massing and will not have a significant impact on existing buildings in the immediate area. It should be noted that the existing dwelling has a finished floor level of RL 68.46m and a roof ridge height of RL 73.49m. The finished floor level of the shed is RL 66.50m, with a roof ridge height of RL 73.849m, essentially the same height as the existing dwelling (refer to survey plan at **Appendix G**).
- The proposed development is in the public interest. The proposed development and variation to the height control will enable the orderly and efficient use of the property for the owners to operate the proposed use in conjunction with the existing business at No 1 Edward Street, Camden, and therefore is in accordance with the objects of the Act. Therefore, the DA may be approved with the variation as proposed in accordance with the flexibility allowed under clause 4.6 of the CLEP 2010.

The height of the shed exceeds the height control under Clause 4.3 of *Camden Local Environmental Plan 2010* by 1.145m worst-case scenario or 14.1% and as such a Clause 4.6 variation request is provided to justify that the proposal is in the public interest and addresses the potential environmental impacts of the proposal.

This report should also be read in conjunction with architectural plans prepared by Devine Drafting & Design that accompany the development application at **Appendix A**.

FIGURE 2 - EXTRACT OF ZONE MAP



This report comprises a written request from the Applicant under Clause 4.6 of Camden Local Environmental Plan 2010 ("CLEP 2010") that seeks to justify the contravention by a proposed development to the development standard for the height control in Clause 4.3(2) of LEP 2010. This clause states:

- (2) The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map.

## 1.2 STATUTORY OBLIGATIONS OF THE APPLICANT AND COUNCIL

The authority established within a judgement in *Initial Action Pty Ltd v Woollahra Municipal Council [2018] NSWLEC 118*, provides that a cl4.6 variation need not establish that a development containing a variation provides a better or even neutral outcome for a development site compared with that which would be provided by a compliant development proposal for the site.

In light of this judgement, it is necessary to distinguish between the obligations of the applicant, and the obligations of Council. The applicant must address the matters required by cl4.6(3). Note however, that for completeness and to assist Council in its assessment, this variation request has addressed cl4.6(3) and 4.6(4).

The consent authority need only be satisfied of the matters required within 4.6(4)(a), namely that the applicant has adequately addressed 4.6(3), and that the development is consistent with the objectives of the standard and the objectives of the zone. The issue of compliance with the objectives of the zone are addressed by this firm in the Statement of Environmental Effects (SoEE) accompanying the development application.



The Initial Action judgement states that “the consent authority, or the Court on appeal, does not have to directly form the opinion of satisfaction regarding the matters in cl4.6(3)(a) and (b), but only indirectly form the opinion of satisfaction that the applicant’s written request has adequately addressed the matters required to be demonstrated by cl4.6(3)(a) and (b)”.

The independent role for the consent authority is therefore to determine whether the proposed development will be consistent with the objectives of the standard and the objectives of the zone. This involves a consideration of the “development” in its entirety, not just the proposed variation. It is clear that the development meets the objectives of the standard as discussed throughout this written request.

Therefore, strict compliance with the objectives of the MU1 Mixed use zone have been met and we would contend that the development is not inconsistent with the objectives of encouraging businesses to operate and create employment and does not impact on the environmental qualities of the property or nearby properties, given the location of this development site. This aspect of the request is addressed in this cl4.6 request.

The responsibilities of the applicant had earlier been clarified within *Four2Five Pty Ltd v Ashfield Council (2010) NSWCA 248*. In addressing cl4.6(3), the applicant must establish reasons that the variation should be supported, aside from the consistency of the development with the objectives of the standard and the objectives of the zone.

It is generally understood that Clause 4.6(3) can be satisfied if it is established that a development satisfies one or more of points 2-5 on page 11 of this request. The information contained within this written request directly addresses the third and fourth reason within the list.

Note that although this request is structured to address cl4.6(3) and 4.6(4)(a)(ii) individually, the report should be read in its entirety as fulfilling the applicant’s obligations under cl4.6(3).

### 1.3 DEVELOPMENT STANDARD TO BE VARIED

This Clause 4.6 written variation request seeks to justify contravention of the development standard set out in cl4.3 of the CLEP. Clause 4.3 provides that the maximum height control for the Site is 7m, as shown on the heights of building map extract (**Figure 3**).

FIGURE 3 - EXTRACT OF HEIGHTS OF BUILDINGS MAP



Clause 4.6(2) & (3) of LEP 2010 states:

- (2) Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.
- (3) Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:
  - (a) that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and
  - (b) that there are sufficient environmental planning grounds to justify contravening the development standard.

The land the subject of this objection is known as Lot A DP 160065, 3 Exeter Street, CAMDEN, as shown on **Figure 4**. The proposal seeks consent to undertake the demolition of the existing dwelling on the subject property and construct a shed to be used in conjunction with the existing business at No 1 Edward Street.

The development is shown on the submitted plans prepared by Devine Drafting & Design at **Appendix A** and addressed in the accompanying Statement of Environmental Effects (SoEE) prepared by this firm.

The remainder of this report seeks to demonstrate that compliance with Clause 4.3(2) of CLEP 2010 is both unreasonable and unnecessary in the circumstances of the case and that there are sufficient environmental planning grounds to justify contravening the development standard in this instance and that the proposal is in the public interest.

FIGURE 4 - AERIAL SITE CONTEXT



Clause 4.6(4) of LEP 2010 states:

- (4) *Development consent must not be granted for development that contravenes a development standard unless:*
- (a) *the consent authority is satisfied that:*
- (i) *the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and*
- (ii) *the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and*
- (b) *the concurrence of the Planning Secretary has been obtained.*

The property has a height control specified under C14.3(2) to enable the consent authority to approve without further investigation of the specific objectives.

This report has been prepared to support a variation to the development standards of C14.3(2) of *Camden Local Environmental Plan 2010 (CLEP 2010)*. As such a written variation is sought under 'Clause 4.6 - Exceptions to development standards' under CLEP 2010. It is proposed by the development proposal to undertake the demolition of the existing dwelling and construct a shed with a height of 8.145m or 1.145m worst-case scenario above the height control of 7m.

This equates to a 14.1% variation to the development standard. Basically, the building exceeds the height as shown on **Figure 1**.

It is noted that C14.3 is not "expressly excluded" from the operation of C14.6 and it is therefore open to the consent authority to grant development consent to the development pursuant to this Clause, despite the proposed variation to C14.3.

## 2 Exception to Development Standards – Clause 4.6

Clause 4.6 of the CLEP 2010 operates as a precondition to the exercise of power to grant consent and unless a consent authority is satisfied that the precondition has been met, consent cannot be granted to a proposed development that contravenes development standards.

Two positive opinions of satisfaction under cl4.6(4)(a)(i) and (ii) must be made.

Assistance on the approach to justifying a contravention to a development standard is also to be taken from the applicable decisions of the NSW Land and Environment Court and the NSW Court of Appeal in:

1. *Wehbe v Pittwater Council* [2007] NSW LEC 827; and
2. *Four2Five Pty Ltd v Ashfield Council* [2010] NSWLEC 1009.

The relevant matters contained in cl4.6 of the CLEP, with respect to the maximum building height development standard, are each addressed below, including with regard to these decisions.

### 2.1 CLAUSE 4.6(4)(A)(I) - ADEQUATE ADDRESS OF MATTERS UNDER CL 4.6(3)

In response to cl4.6(3) two matters must be addressed:

- A. compliance with the development standards is unreasonable and unnecessary in the circumstances of the case; and
- B. there are sufficient environmental planning grounds to justify contravention of the development standard.

#### **(A) Compliance with the development standard is unreasonable and unnecessary in the circumstances of the case**

The objectives of cl4.3(1) are:

- (a) to ensure that buildings are compatible with the height, bulk and scale of the existing and desired future character of the locality,
- (b) to minimise the visual impact, disruption of views, loss of privacy and loss of solar access to existing development,
- (c) to minimise the adverse impact of development on heritage conservation areas and heritage items.

The above objectives are achieved notwithstanding the objectives of cl4.3 making it unnecessary to apply the height control in the heights of building map.

Historically, the most common way to establish whether a development standard was unreasonable or unnecessary was by satisfying the first method set out in *Wehbe v Pittwater Council* [2007] NSWLEC 827. This method requires the objectives of the standard be achieved despite the non-compliance with the standard.

This was recently re-affirmed by the Chief Judge in *Initial Action Pty Ltd v Woollahra Municipal Council* [2018] NSWLEC 118 at [16]-[17].

Similarly, in *Randwick City Council v Micaul Holdings Pty Ltd [2016] NSWLEC 7 at [34]* the Chief Judge held that “establishing that the development would not cause environmental harm and is consistent with the objectives of the development standards is an established means of demonstrating that compliance with the development standard is unreasonable or unnecessary”.

In *Wehbe*, Preston CJ of the Land and Environment Court provided relevant assistance by identifying five traditional ways in which a variation to a development standard had been shown as unreasonable or unnecessary. However, it was not suggested that the types of ways were a closed class.

While *Wehbe* related to objections made pursuant to State Environmental Planning Policy No. 1 - Development Standards (SEPP 1), the analysis can be of assistance to variations made under clause 4.6 where subclause 4.6(3)(a) uses the same language as clause 6 of SEPP 1 (see *Four2Five* at [61] and [62]). As the language used in subclause 4.6(3)(a) of the CLEP 2010 is the same as the language used in clause 6 of SEPP 1, the principles contained in *Wehbe* are of assistance to this cl4.6 variation request.

The five methods outlined in *Wehbe* include:

- The objectives of the standard are achieved notwithstanding non-compliance with the standard (**First Method**).
- The underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary (**Second Method**).
- The underlying object or purpose would be defeated or thwarted if compliance was required and therefore compliance is unreasonable (**Third Method**).
- The development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable (**Fourth Method**).
- The zoning of the particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning is also unreasonable and unnecessary as it applies to the land and compliance with the standard would be unreasonable or unnecessary. That is, the particular parcel of land should not have been included in the particular zone (**Fifth Method**).

The Request also seeks to demonstrate the ‘unreasonable and unnecessary’ requirement is met because the burden placed on the community by not permitting the variation would be disproportionate to the non-existent or inconsequential adverse impacts arising from the proposed non-complying development. This disproportion provides sufficient grounds to establish unreasonableness (relying on comments made in an analogous context, in *Botany Bay City Council v Saab Corp [2010] NSWCA 308 at [15]*).

The objectives of the development standard contained in clause 4.3 of the CLEP are summarised in **Table 1**.

TABLE 1 – COMPLIANCE TABLE

Objective	Proposed
<b>Clause 4.3(1)</b>	
<p>(a) to ensure that buildings are compatible with the height, bulk and scale of the existing and desired future character of the locality,</p>	<p>This objective articulates the ultimate function of the height of buildings development standard. The maximum height for buildings on land within the Camden Local Government Area is identified on the Height of Buildings Map. As previously described, the maximum building height permitted on the subject site is 7m and the maximum height of the proposal is 8.145m or 1.145m above the control.</p> <p>The proposal varies the standard, which has prompted the preparation of this written variation request. Despite the nature and scale of development proposed by this Development Application, Clause 4.3 achieves the objective of nominating a range of maximum building heights across land use zones, using the Height of Buildings Map as a mechanism to do so. This written request identifies the extent of variation proposed and explains why the variation is acceptable in the circumstances. As discussed in the context of the other objectives, the proposal will not conflict with the underlying aims for built form and land use intensity in the zone or the site’s relationship to the “hierarchy” of height limits for surrounding land.</p> <p>Height controls are set via height in metres, to best respond to variation in natural landforms. The proposed exceedance of the height control does not impact this reflection of natural landforms, nor the height control across the site. In fact, the proposed shed (and height variation) better reflect the natural landform, noting the height of the existing dwelling has a roof ridge height of RL 73.49m; whilst the shed has a roof ridge height of RL 73.849m, essentially the same height as the existing dwelling.</p> <p>In combination (height controls and topography) place restrictions on designing a compliant development. Notwithstanding, the design results in a non-compliance that is considered acceptable, particularly when viewed from the public domain, which will not be discernible when compared with the height of the existing dwelling and the location of the shed at the rear of the subject property.</p> <p>This written request identifies the extent of variation proposed and explains why the variation is acceptable in the circumstances having regard to the heights permitted on the subject site and not taking into account the flood affectation.</p>

Objective	Proposed
	<p>As discussed in the context of the other objectives, the proposal will not conflict with the underlying aims for built form and land use intensity in the zone or the site's relationship to the "hierarchy" of height limits for surrounding land, which has been addressed throughout this request.</p> <p>The proposal is consistent with the Planning Principle of the Land &amp; Environment Court in the matter of Veloshin V Randwick Council (2007) NSWLEC 428 at 32-33.</p> <p><i>Planning principle: assessment of height and bulk</i></p> <ul style="list-style-type: none"> <li>The appropriateness of a proposal's height and bulk is most usefully assessed against planning controls related to these attributes, such as maximum height, floor space ratio, site coverage and setbacks. The questions to be asked are: <ul style="list-style-type: none"> <li><i>Are the impacts consistent with impacts that may be reasonably expected under the controls? (For complying proposals this question relates to whether the massing has been distributed so as to reduce impacts, rather than to increase them. For non-complying proposals the question cannot be answered unless the difference between the impacts of a complying and a non-complying development is quantified.)</i></li> <li><i>How does the proposal's height and bulk relate to the height and bulk desired under the relevant controls?</i></li> </ul> </li> <li>Where the planning controls are aimed at preserving the existing character of an area, additional questions to be asked are: <ul style="list-style-type: none"> <li><i>Does the area have a predominant existing character and are the planning controls likely to maintain it?</i></li> <li><i>Does the proposal fit into the existing character of the area?</i></li> </ul> </li> <li>Where the planning controls are aimed at creating a new character, the existing character is of less relevance. The controls then indicate the nature of the new character desired. The question to be asked is: <ul style="list-style-type: none"> <li><i>Is the proposal consistent with the bulk and character intended by the planning controls?</i></li> </ul> </li> </ul>

Objective	Proposed
	<ul style="list-style-type: none"> <li>Where there is an absence of planning controls related to bulk and character, the assessment of a proposal should be based on whether the planning intent for the area appears to be the preservation of the existing character or the creation of a new one. In cases where even this question cannot be answered, reliance on subjective opinion cannot be avoided. The question then is:  <i>Does the proposal look appropriate in its context?</i></li> </ul> <p>33 The above principles are supplementary to, and consistent with, the principles established in <i>Stockland Development Pty Ltd v Manly Council [2004] NSWLEC 472</i>.</p> <p>As detailed in this variation request, we are of the opinion that the height and scale of the development is not inconsistent with the existing character of this part of Camden that contains mixed use developments and noting the height, bulk and scale of the Mitre 10 hardware store directly opposite and the height of the existing dwelling.</p> <p>The proposed scale of development relates to the built form envisaged by the planning controls, specifically building height, despite the relatively numerical departure from the height of buildings development standard. The proposed non-compliance will better achieve the aims, than would a scheme that strictly complied through the reduction in height.</p> <p>It is concluded that the design of the development is compatible with the character of the local area in the required sense of “capable of existing in harmony”.</p>
<p>(b) to minimise the visual impact, disruption of views, loss of privacy and loss of solar access to existing development,</p>	<p>Although the proposed development projects beyond the maximum building height plane (refer to <b>Figure 1</b>), it is submitted that there will be no adverse impact as follows:</p> <ul style="list-style-type: none"> <li>Visual impact: The non-compliant element is a direct result of existing ground levels and flood affectation.</li> <li>View loss: The extent of variation is numerically (14.1%) and the non-compliant element is not likely to impinge on any significant public or private views.</li> </ul>



Objective	Proposed
	<p>It is noted that the maximum permitted building height on land adjoining the site is 7m, noting the 1% AEP flood level is RL 71.10m.</p> <p>Therefore, the additional building height proposed will not obscure views from public or private areas, noting the height and location of the existing dwelling. The proposed height variation does not impact on any significant view lines and vistas from the public domain. The potential view loss will be no greater than a compliant development.</p> <p>This is consistent with the decision of Senior Commissioner Roseth in <i>Tenacity Consulting Pty Ltd V Camden Council</i> (2004) NSWLEC 140.</p> <p>Having regard to all of the above, it is our opinion that compliance with the height of buildings development standard is unnecessary in the circumstances of the case as the development meets the objectives of that standard and the zone objectives, as described in this written variation request.</p> <p>Compliance with the development standard is both unreasonable and unnecessary in this case given that the characteristics of the site and the circumstances of the proposed building allowing for the proposed height and the flood affectation on the subject property.</p>
(c) to minimise the adverse impact of development on heritage conservation areas and heritage items.	The subject property is located in a heritage conservation area and will have no impact on heritage items within the surrounding area, as detailed in <b>Appendix B</b> , with the location of the heritage conservation area and heritage items shown of <b>Figure 5</b> .

FIGURE 5 - LOCATION OF HERITAGE PROPERTIES



2.2 CONCLUSION

Having regard to all of the above, it is our opinion that strict compliance with the height control standard is unnecessary in the circumstances of the case as the development meets the objectives of that standard and the zone, as described in this written variation request.

It is not considered that a variation to the development standard in these circumstances would act as a general planning change more appropriately dealt with under Part 3 of the Environmental Planning & Assessment Act 1979, as the variation to the height control of cl4.3(2) being a 14.1% variation and will not be discernible from the public domain.

As such, it is considered that the variation request in this instance can be addressed under the current zoning regime applying to the subject property.

3 Objectives of the Zone

The objectives of the MU1 zone are:

- To encourage a diversity of business, retail, office and light industrial land uses that generate employment opportunities.
- To ensure that new development provides diverse and active street frontages to attract pedestrian traffic and to contribute to vibrant, diverse and functional streets and public spaces.
- To minimise conflict between land uses within this zone and land uses within adjoining zones.
- To encourage business, retail, community and other non-residential land uses on the ground floor of buildings.

- To encourage development that supports or complements the primary office and retail functions of the local centre zone.

Clause 4.6(4)(a)(ii) also requires that the consent authority be satisfied that the development is in the public interest because it is consistent with relevant zone objectives. The proposed development is consistent with the objectives of Zone MU1 Mixed Use zone.

For these reasons the development proposal meets the objectives for development in Zone MU1, despite non-compliance with the building height development standard.

#### 4 Sufficient Environmental Planning Grounds

**(B) that there are sufficient environmental planning grounds to justify contravening the development standard.**

The Land & Environment Court judgment in *Initial Action Pty Ltd v Woollahra Council* [2018] NSWLEC 2018, assists in considering whether there are sufficient environmental planning grounds to justify a variation from the development standard. Preston J observed:

*“...in order for there to be 'sufficient' environmental planning grounds to justify a written request under clause 4.6, the focus must be on the aspect or element of the development that contravenes the development standard and the environmental planning grounds advanced in the written request must justify contravening the development standard, not simply promote the benefits of carrying out the development as a whole; and ...there is no basis in Clause 4.6 to establish a test that the non-compliant development should have a neutral or beneficial effect relative to a compliant development”*

Having regard to the objectives of the *Environmental Planning and Assessment Act 1979* sufficient environmental planning grounds exist in this case to justify breaching the height standards. In particular the objects under section 1.3(a), (b), (c), (g) and (h) are pursued by this development. The objective seeking orderly and economic development of land and good design are clearly supported by approval of this development, noting that the existing dwelling is located in a commercial zone (MU1).

Part of the environmental planning grounds in this matter arise from the individual design aspects of that part of the shed in breach and they are supportive of the variation sought to the height control to allow variations of a nature (14.1%).

Clause 4.6(3)(b) requires that the written request to vary a development standard demonstrates that there are sufficient environmental planning grounds to justify contravening the development standard. In order to demonstrate that there are sufficient environmental planning grounds to justify varying the development standard and to satisfy objective (1)(b) of Clause 4.6 by demonstrating that the proposed variation allows for a better outcome for and from the development. The following discussion is provided:

- The discussion provided throughout this variation request demonstrates that the additional building height will not result in any adverse environmental impacts, in terms of amenity impacts, overshadowing nor will there be any adverse impacts given the nature of the departure. The height of the proposed shed is essentially the same as the height of the dwelling and the fact that the subject property is flood affected.

Exceedance of the height control is therefore not a prohibition, but more relating to development that may be developed in such a zone with height controls restricting development to 7m, despite the fact that this part of the Township is severely affected by flooding in minor and major flood events. As such the development offers a level of amenity suitable to the proposed development. The height non-compliance, on its own, has no impacts on any surrounding land or the public domain, as detailed in this request.

There is an absence of environmental harm arising from the contravention and positive planning benefits arising from the proposed development as outlined in detail above. These include:

- The proposal satisfies the general objectives in section 1.3 of the *Environmental Planning and Assessment Act 1979* in that it promotes the orderly and economic use and development of land.
- The proposed variation is 14.1% of the roof at 1.145m above the height control (refer to **Figure 1**).
- The proposed variation will not result in any unacceptable environmental impacts on the site. Based on the above, it has been demonstrated that there are sufficient environmental planning grounds to justify the proposed cl4.3(2) building height non-compliance in this instance.

Clause 4.6(3)(b) requires that the written request to vary a development standard demonstrates that there are sufficient environmental planning grounds to justify contravening the development standard. The height control requirements under CLEP 2010 are, in the circumstances of this matter, unreasonable and unnecessary, as discussed in this submission.

The site is zoned MU1 Mixed Use with a height control of 7m. Exceedance of the height control is therefore not a prohibition, but more relating to development that may be developed in MU1 zones.

**(C) In addition, under cl 4.6(4)(a)(ii) of the LEP, the consent authority must also be satisfied that:**

- (1) the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and with the objectives for the development within the zone in which the development is proposed to be carried out.

In the judgement within Initial Action, Preston CJ indicated that a consent authority only needs to be satisfied that an applicant has adequately addressed the matters within clause 4.6(3), and that, pursuant to cl4.6(4)(a)(ii), the development is consistent with the objectives of the standard and consistent with the objectives of the zone. Although not strictly required, this variation has addressed the reasons that the development satisfies 4.6(4)(a)(ii).

The objectives of the height standard were addressed above. It is evident from the above that Objectives (i) to (iv) have been addressed. It is also evident that the existing locality referred to within the objectives, is eclectic and is not characterised by any particular homogenous built form, particularly having regard to the built form of the commercial developments in this street and nearby streets. Some of these buildings are substantial as shown on **Figure 4** with large footprints and typologies. Notwithstanding, the size of the proposed shed is consistent with the size of dwellings in Edward Street that are used for commercial purposes.

The public interest has been demonstrated in several sections of this report and is found to be consistent with the objectives of Clause 4.3 under CLEP 2010. Accordingly, the proposed development is in the public interest, as it is consistent with the overarching height objectives.

The proposed non-compliance with the building height standard will not raise any matter of significance for State or regional environmental planning. It has been demonstrated that the proposed variation is appropriate based on the specific circumstances of the case and would be unlikely to result in an unacceptable precedent for the assessment of other development proposals.

The proposed development achieves the objectives of the building height standard despite the technical non-compliance.

There are no significant public disadvantages which would result from the proposed development and it is considered that there are no matters that warrant refusal of the proposal on grounds of the development being contrary to the public interest. The proposed development is therefore considered to be justified on public interest grounds.

#### 4.1 SUMMARY

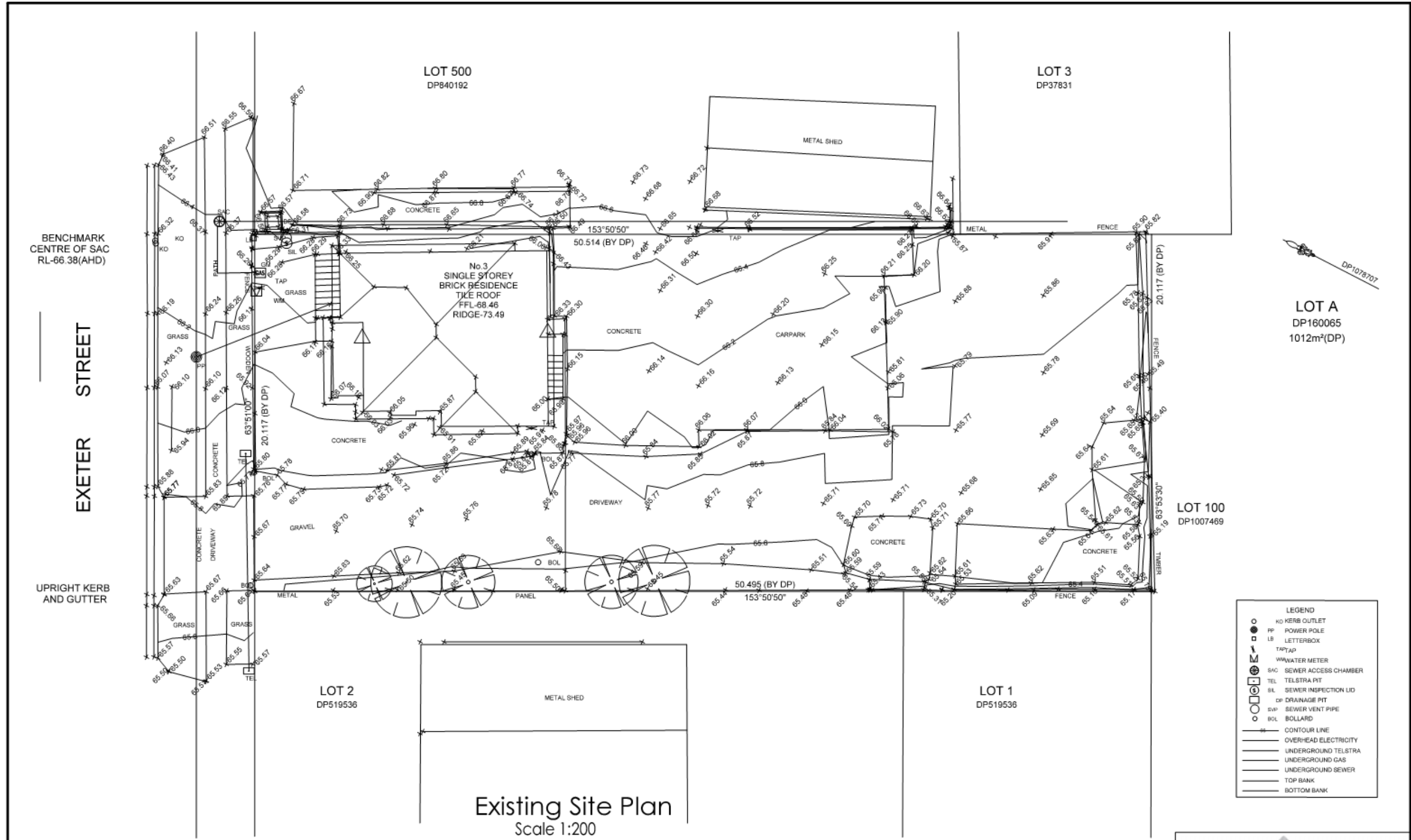
Having regard to the judgement in *Wehbe*, the objectives of the *Environmental Planning and Assessment Act 1979*, the objectives of the zone and the objectives of the standard, sufficient environmental planning grounds exist in this case to justify breaching the height standard. The reasons for the variation can be summarised as follows:

- The subject development is compatible with the existing site context and the proposal achieves the objectives of the development standard as provided in Clause 4.3 of CLEP 2010.
- Therefore, the underlying objective or purpose of the height control standard would be defeated or thwarted if compliance was required and therefore compliance is unreasonable.
- The constraints and opportunities associated with the site have influenced the design of the proposal, and the proposal is a carefully considered response to these constraints detailed in this report.
- Does not generate any unacceptable environmental impacts in respect of overshadowing, or material view loss, as detailed above in **Table 1**.
- Although the standard has not been abandoned or destroyed, the strict application of the standard in these circumstances is not appropriate.

The authority within the judgement in Initial Action has reaffirmed that the role for the consent authority is to determine whether the proposed development will be consistent with the objectives of the standard and the objectives of the zone. This involves a consideration of the "development" in its entirety, not just the proposed variation. It is clear that the development meets the objectives of the standard and of the zone.

This written request has demonstrated that strict compliance with the standard in this instance would be unnecessary and unreasonable and that there are environmental planning grounds to justify the contravention of the development standard and that the development is in the public interest. Given the above, it is considered that the requirements of Clause 4.6 have been satisfied and that the variation to the height development standard can be approved.





Existing Site Plan  
Scale 1:200

Client:  
Steve Wilson

Job:  
Proposed Sun Cover  
Safety Shed

3 Exeter Street, Camden (Lot A)

Scale:  
1:200

Drawing No:  
23009 r.mcq

Date:  
21-02-2023

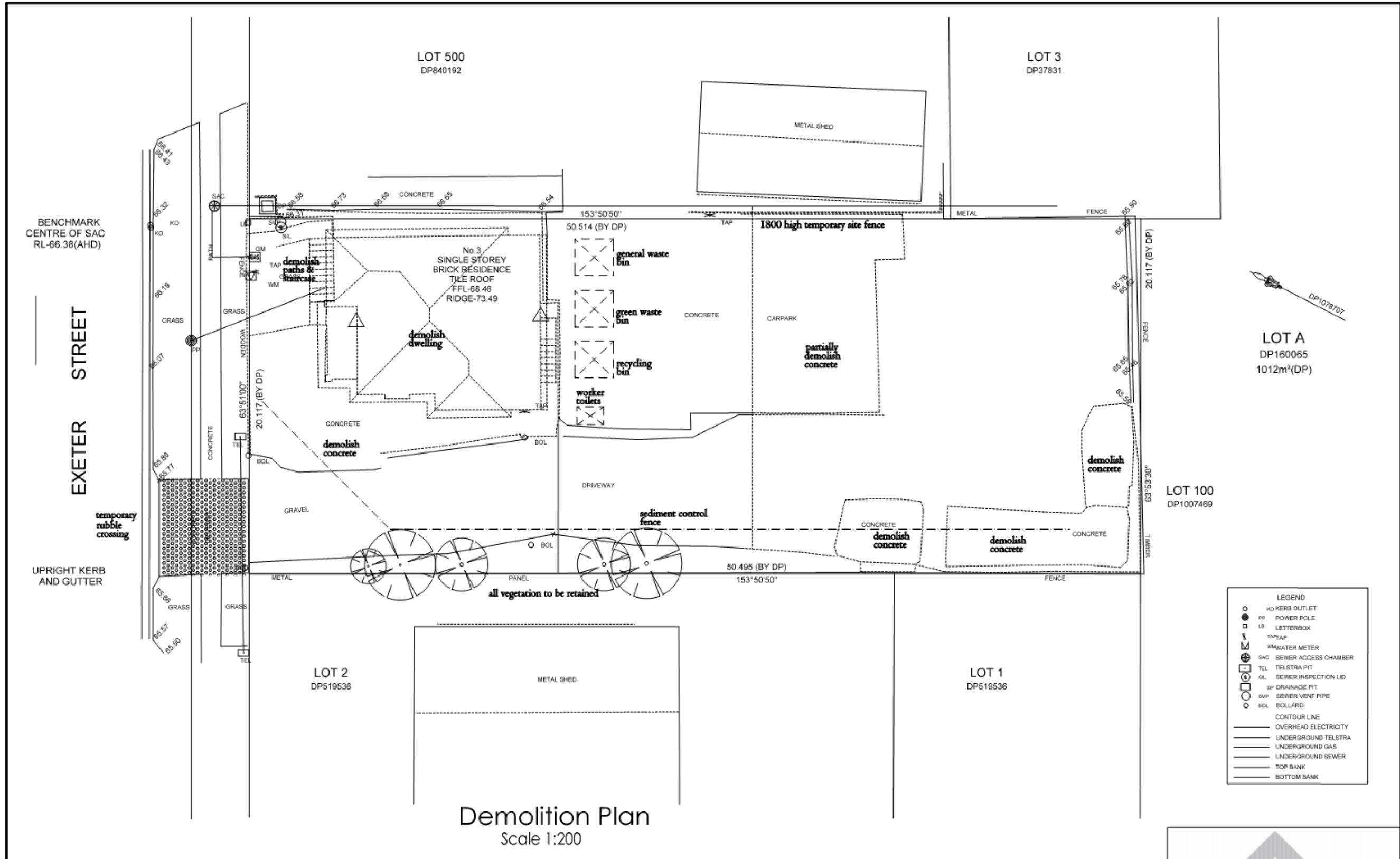
Sheet:  
1

ISSUE:  
A

Approval from client

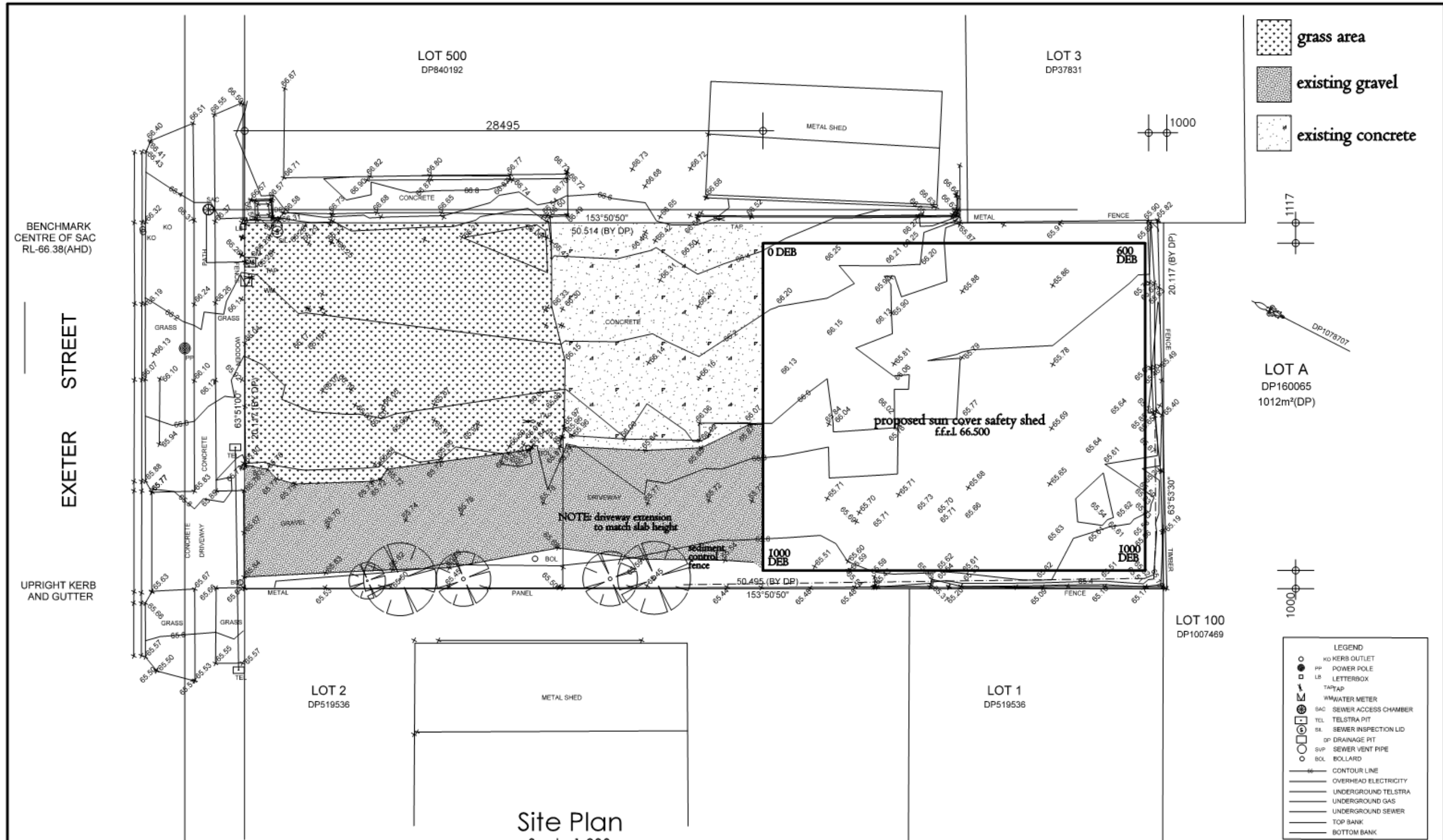
1300 4 DEVINE  
admin@devinedrafting.com.au  
PO Box 7323 Mount Annan NSW 2567  
Devine Drafting & Design  
Pty Ltd 2023





Client: Steve Wilson	Job: Proposed Sun Cover Safety Shed 3 Exeter Street, Camden (Lot A)	Scale: 1:200	Date: 21-02-2023	Approval from client	1300 4 DEVINE admin@devinedrafting.com.au PO Box 7323 Mount Annan NSW 2567 © Devine Drafting & Design Pty Ltd 2023	
		Drawing No: 23009 r.mcq	Sheet: 2	ISSUE: A		





Site Plan  
Scale 1:200

Client:  
Steve Wilson

Job:  
Proposed Sun Cover  
Safety Shed

3 Exeter Street, Camden (Lot A)

Scale:  
1:200

Drawing No:  
23009 r.mcq

Date:  
21-02-2023

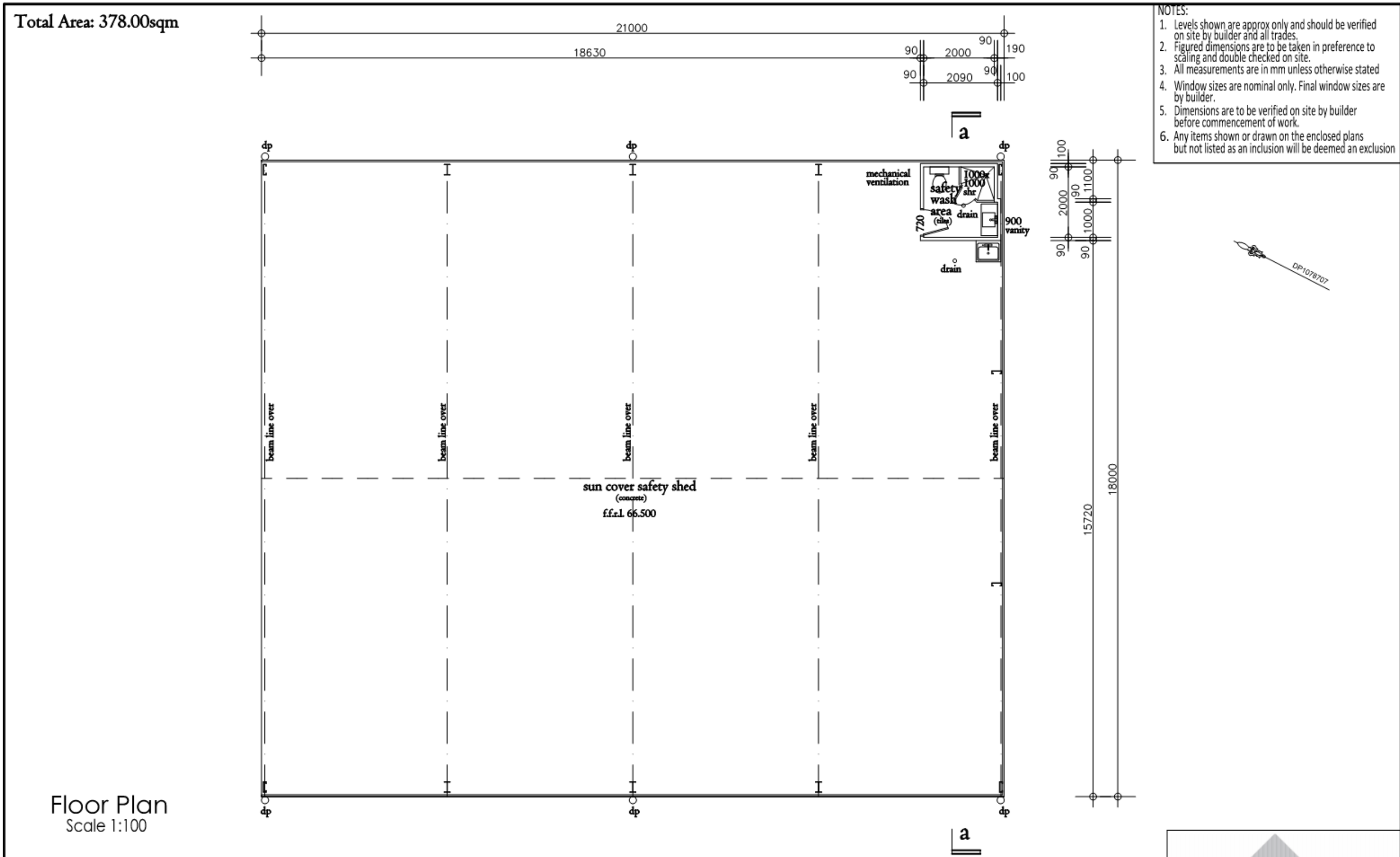
Sheet:  
3

ISSUE:  
A

Approval from client

1300 4 DEVINE  
admin@devinedrafting.com.au  
PO Box 7323 Mount Annan NSW 2567  
© Devine Drafting & Design  
Pty Ltd 2023





Client:  
**Steve Wilson**

Job:  
**Proposed Sun Cover Safety Shed**  
3 Exeter Street, Camden (Lot A)

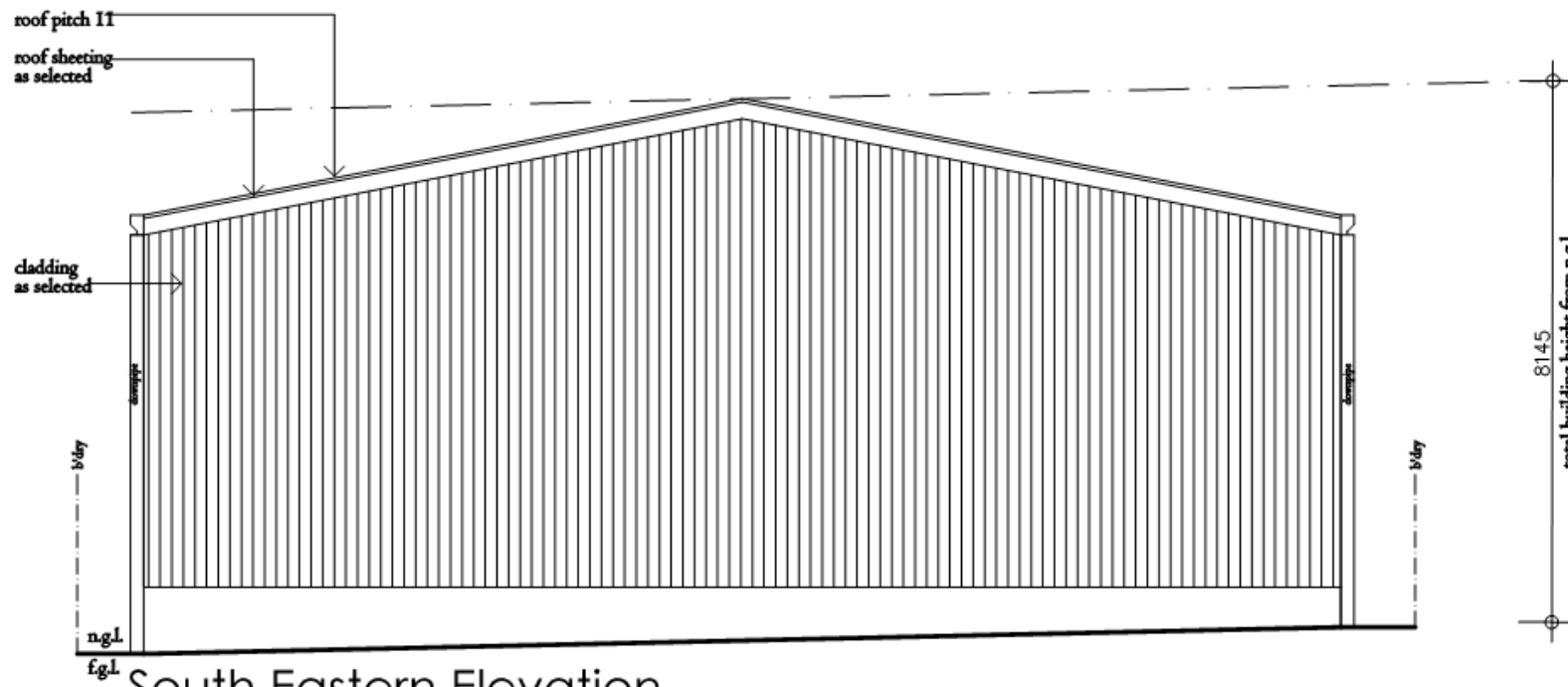
Scale:  
**1:100**  
Drawing No:  
**23009 r.mcq**

Date:  
**21-02-2023**  
Sheet:  
**4**

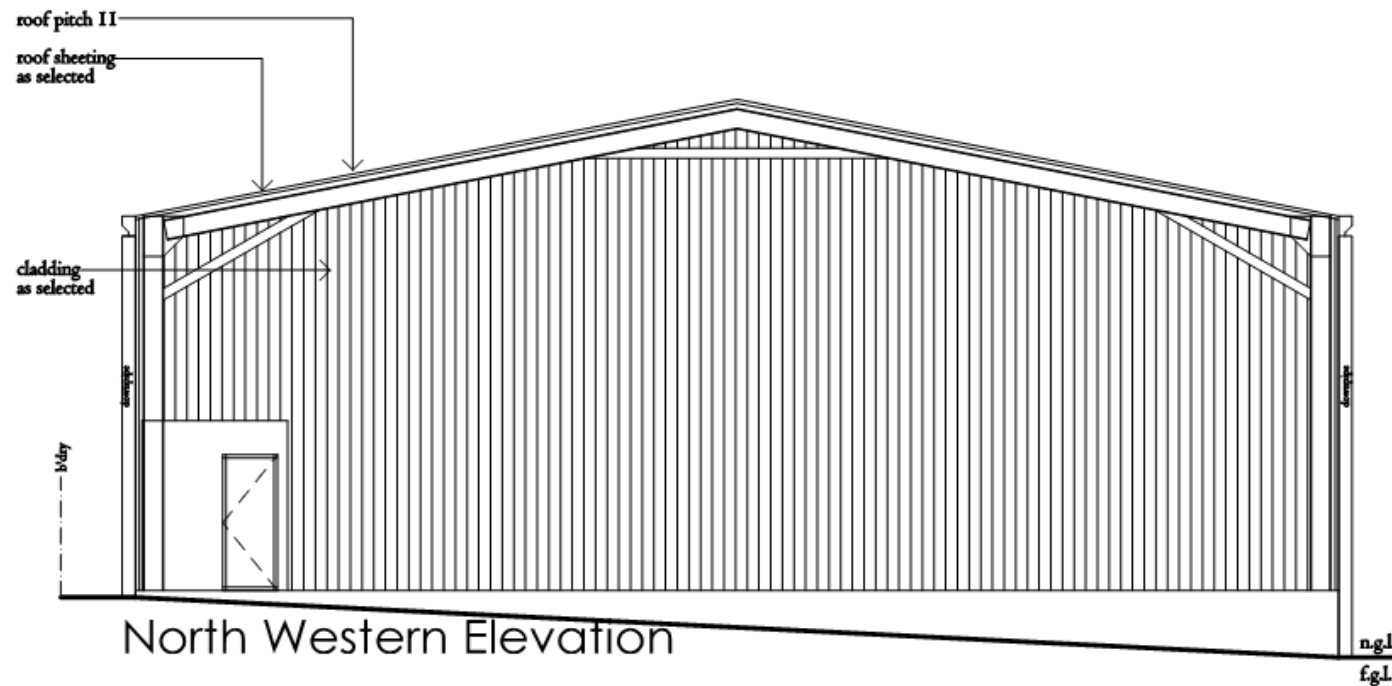
Approval from client  
ISSUE:  
**A**  
Date:

**1300 4 DEVINE**  
admin@devinedrafting.com.au  
PO Box 7323 Mount Annan NSW 2567  
© Devine Drafting & Design Pty Ltd 2023





- NOTES:
1. Levels shown are approx only and should be verified on site by builder and all trades.
  2. Figured dimensions are to be taken in preference to scaling and double checked on site.
  3. All measurements are in mm unless otherwise stated
  4. Window sizes are nominal only. Final window sizes are by builder.
  5. Dimensions are to be verified on site by builder before commencement of work.
  6. Any items shown or drawn on the enclosed plans but not listed as an inclusion will be deemed an exclusion



Client:  
Steve Wilson

Job:  
Proposed Sun Cover  
Safety Shed

3 Exeter Street, Camden (Lot A)

Scale:  
1:100

Drawing No:  
23009 r.mcq

Date:  
21-02-2023

Sheet:  
5

ISSUE:  
A

Approval from client

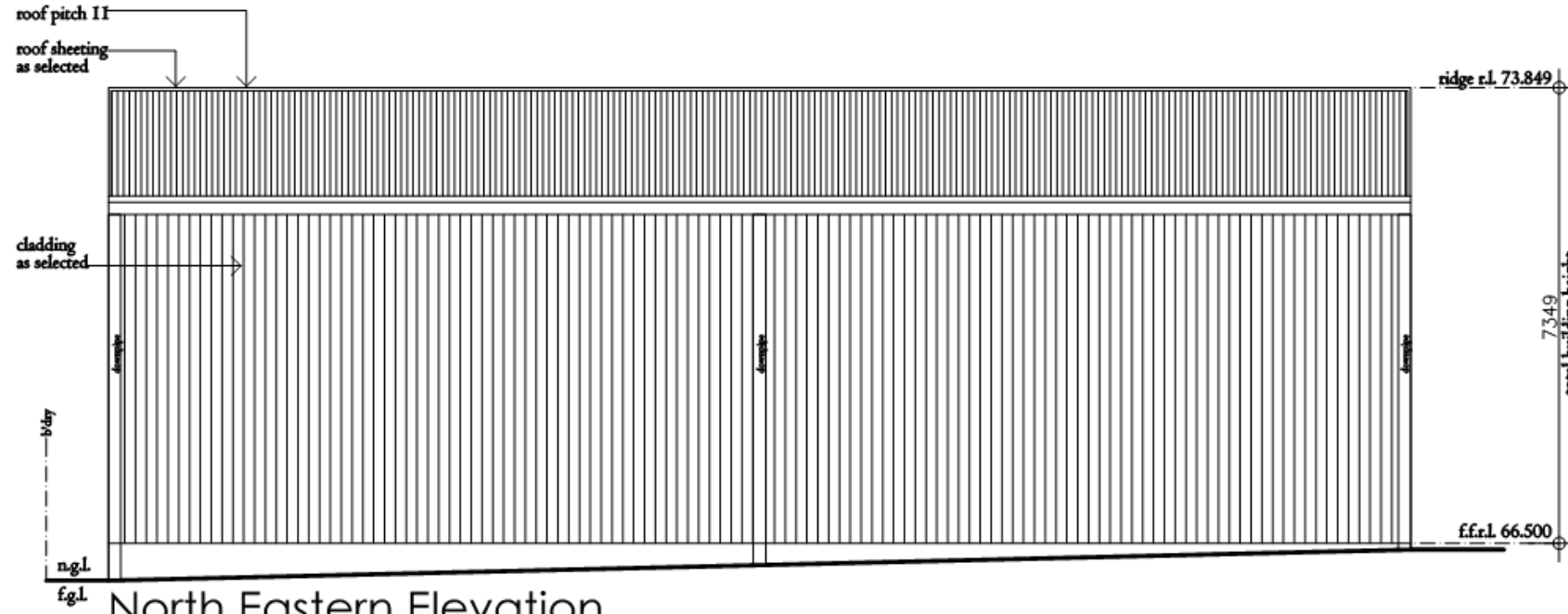
Date:

1300 4 DEVINE

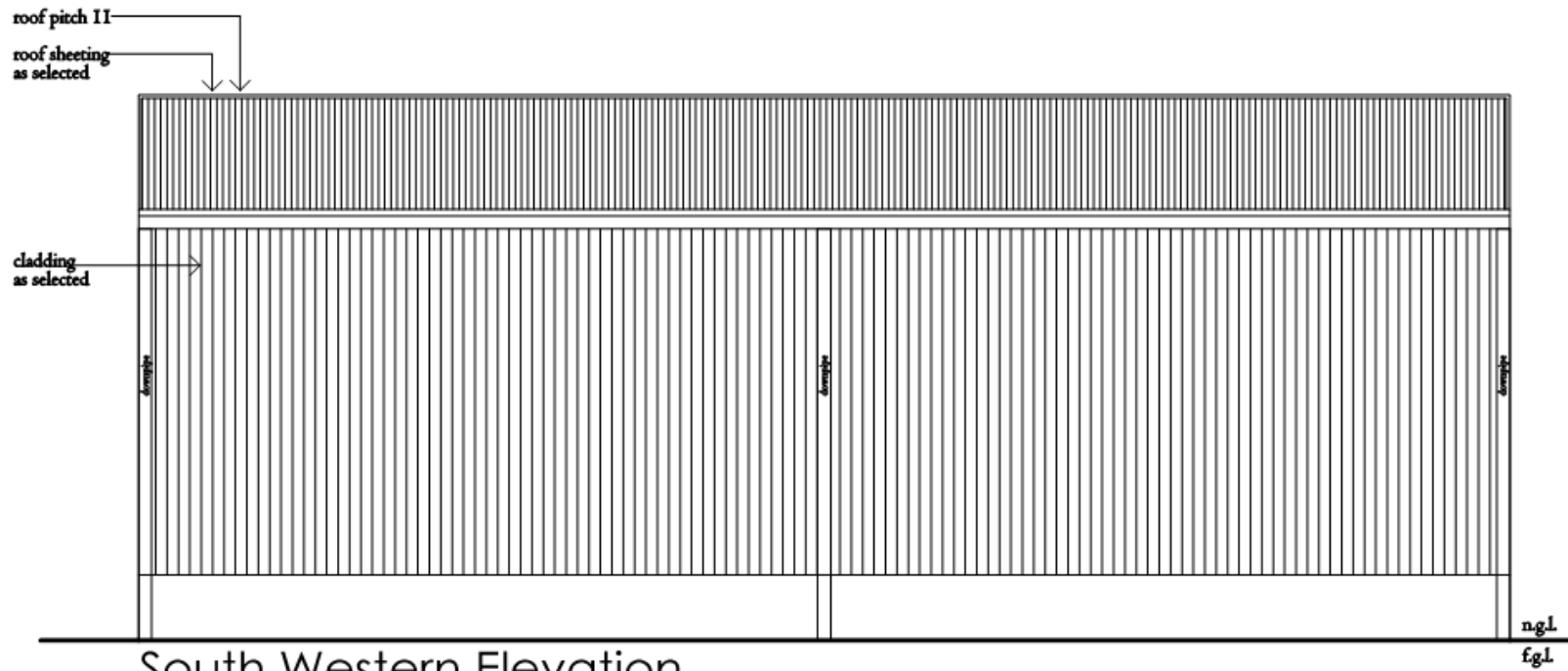
admin@devinedrafting.com.au  
PO Box 7323 Mount Annan NSW 2567

© Devine Drafting & Design  
Pty Ltd 2023





North Eastern Elevation



South Western Elevation

- NOTES:
1. Levels shown are approx only and should be verified on site by builder and all trades.
  2. Figured dimensions are to be taken in preference to scaling and double checked on site.
  3. All measurements are in mm unless otherwise stated
  4. Window sizes are nominal only. Final window sizes are by builder.
  5. Dimensions are to be verified on site by builder before commencement of work.
  6. Any items shown or drawn on the enclosed plans but not listed as an inclusion will be deemed an exclusion

Client:  
Steve Wilson

Job:  
Proposed Sun Cover  
Safety Shed

3 Exeter Street, Camden (Lot A)

Scale:  
1:100

Drawing No:  
23009 r.mcq

Date:  
21-02-2023

Sheet:  
6

ISSUE:  
A

Approval from client

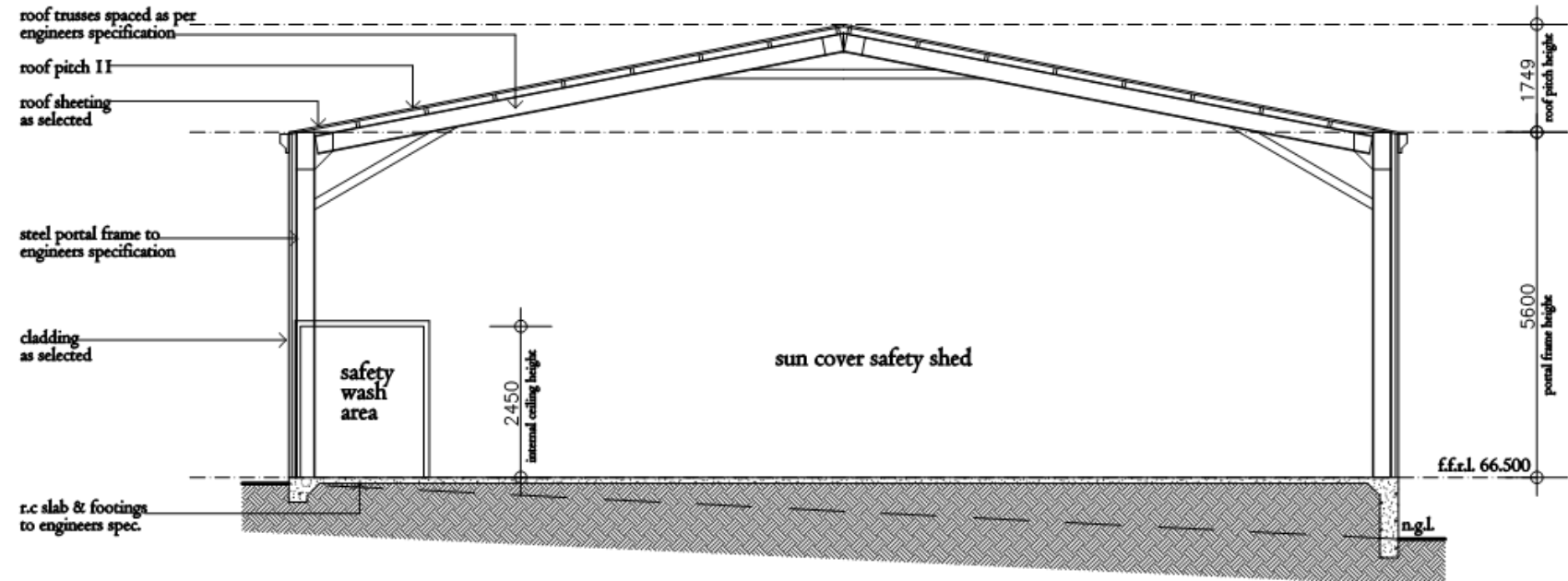
Date:

1300 4 DEVINE

admin@devinedrafting.com.au  
PO Box 7323 Mount Annan NSW 2567

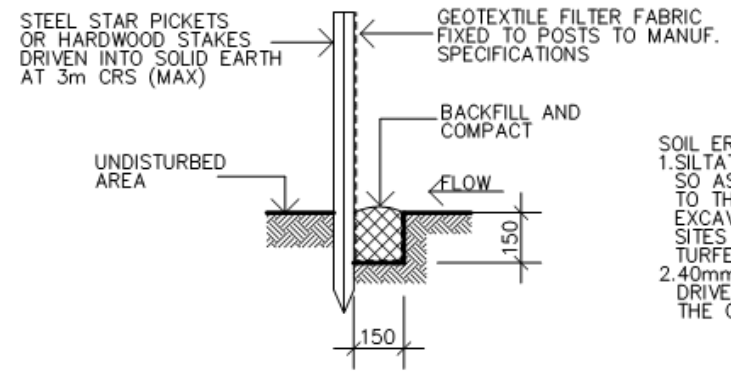
© Devine Drafting & Design  
Pty Ltd 2023





- NOTES:
1. Levels shown are approx only and should be verified on site by builder and all trades.
  2. Figured dimensions are to be taken in preference to scaling and double checked on site.
  3. All measurements are in mm unless otherwise stated
  4. Window sizes are nominal only. Final window sizes are by builder.
  5. Dimensions are to be verified on site by builder before commencement of work.
  6. Any items shown or drawn on the enclosed plans but not listed as an inclusion will be deemed an exclusion

Section A-A  
Scale 1:100



SOIL EROSION AND SEDIMENT CONTROL  
 1. SILTATION FENCING IS TO BE PLACED AS SHOWN ON THE SITE PLAN SO AS TO PREVENT SILT RUN OFF TO ANY ADJOINING PROPERTY OR TO THE STREET. THIS MEASURE IS TO BE PLACED PRIOR TO ANY EXCAVATION WORK BEGINS AND IS TO BE REMOVED ONLY WHEN THE SITE SURFACE HAS BEEN STABILIZED, i.e. PAVED, LANDSCAPED OR TURFED.  
 2. 40mm CRUSHED ROCK AGGREGATE IS TO BE PLACED AS AN ACCESS DRIVEWAY TO THE SITE AND MUST BE MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION

Typical Silt Fence  
Scale 1:20

Client:  
Steve Wilson

Job:  
Proposed Sun Cover Safety Shed  
3 Exeter Street, Camden (Lot A)

Scale:  
1:100  
Drawing No:  
23009 r.mcq

Date:  
21-02-2023  
Sheet:  
7

Approval from client  
ISSUE:  
A  
Date:

1300 4 DEVINE  
admin@devinedrafting.com.au  
PO Box 7323 Mount Annan NSW 2567  
© Devine Drafting & Design Pty Ltd 2023



# External Colour Selections



**Cladding**  
Wilderness



**Downpipes**  
Pale Eucalypt



**Portal Frame**  
Pale Eucalypt



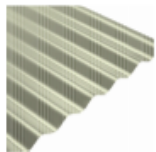
**Fascia**  
Pale Eucalypt



**Gutters**  
Pale Eucalypt



**Colours**  
Plain Concrete



**Roof Sheeting**  
Pale Eucalypt



**Driveway**  
Plain Concrete

# General Notes

Construction to be in accordance with BCA and other relevant Australian Standards

Note - All Dimensions to be verified on site before commencement of work

Lift off hinges to be fitted to all hinged toilet doors

bathroom tiling as per tender and bathroom details

Granite guard termite barrier

NOTE: All plans as per design - Best Sheds Job No. 1920637206 (17-01-2023)

Client:  
Steve Wilson

Job:  
Proposed Sun Cover  
Safety Shed

3 Exeter Street, Camden (Lot A)

Scale:  
NTS

Drawing No:  
23009 r.mcq

Date:  
21-02-2023

Sheet:  
8

ISSUE:  
A

Approval from client

Date:

1300 4 DEVINE

admin@devinedrafting.com.au  
PO Box 7323 Mount Annan NSW 2567

© Devine Drafting & Design  
Pty Ltd 2023



**CLPP03**

**CLPP03**

**SUBJECT: DA/2008/644/9 - MODIFICATION OF A MIXED USE DEVELOPMENT - 2-14 JOHN STREET AND 11 ELIZABETH STREET, CAMDEN**  
**FROM: Manager Statutory Planning**  
**EDMS #: 23/636884**

DA Number:	2008/644/1.
Development:	Modification of a mixed use development.
Site Address(es):	2-14 John Street and 11 Elizabeth Street, Camden.
Applicant:	Camden RV Pty Ltd.
Owner(s):	Camden RV Pty Ltd.
Number of Submissions:	15 (all objecting to the modification).
Development Standard Contravention(s):	Height of buildings >10%.
Classification:	Local development.
Recommendation:	Approve with modified conditions.
Panel Referral Criteria:	≥10 submissions.
Report Prepared By:	Ryan Pritchard, Team leader Development Assessment (Gateway).

**PURPOSE OF REPORT**

The purpose of this report is to seek the Camden Local Planning Panel’s (the Panel’s) determination of a Section 4.56 modification application (modification) to modify a mixed use development at 2-14 John Street and 11 Elizabeth Street, Camden.

The Panel is to exercise Council’s consent authority functions for this modification as it is subject to 10 or more submissions by way of objection.

**SUMMARY OF RECOMMENDATION**

That the Panel determine modification 2008/644/9 for the modification of a mixed use development pursuant to Section 4.56(1) of the *Environmental Planning and Assessment Act 1979* subject to the modified conditions attached to this report.

**EXECUTIVE SUMMARY**

The site was previously used for the Camden High School which opened in 1956 before moving to a new site in Cawdor in 2001. Part of the site was used as the Camden gasworks from 1911 until 1975 when it then became part of the school grounds. On 22 July 2008 development application (DA) 2008/644/1 was lodged with Council and proposed the mixed use redevelopment of the site.

At the Ordinary Council meeting of 8 September 2009 Council approved the mixed use redevelopment of the site subject to conditions. The approval included demolition of all

but one of the existing school buildings, the remediation of contaminated land and the construction of 57 multi-unit dwellings, 108 self-contained seniors living dwellings, a 75 bed residential care facility, a 51 bed motel, a restaurant, a cultural and community centre, a medical centre and ancillary shops. The approved development form is 15 three to four storey buildings spread across the site. It is noted that the top storey of each building will be contained within the roof in a 'loft' format. The development will be bisected east-west by a private road referred to as 'Central Avenue' and provide a north-south private road referred to as 'Nepean Street'.

On 1 April 2010 the applicant for the DA appealed Council's decision to the NSW Land and Environment Court. The Court subsequently issued an Order pursuant to an agreement between Council and the applicant that granted a modified development consent. Since 2010 the development consent has been modified six times in 2012, 2017, 2018, 2021, 2022 and 2023. Additional information on the approval and modification history for the overall development is provided in the 'History' section of this report.

Council is now in receipt of an additional modification application (the subject of this report) that principally relates to buildings 4 and 6. The modification has been assessed against the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2021*, relevant environmental planning instruments, development control plans and policies.

The modification was publicly exhibited for a period of 28 days in accordance with Camden Community Participation Plan 2021 (Camden CPP), schedule 1 of the *Environmental Planning and Assessment Act 1979* and section 107 of the *Environmental Planning and Assessment Regulation 2021*. The exhibition period was from 10 February to 9 March 2023 and 15 submissions were received (all objecting to the modification).

The key issues raised in the submissions relate to the modified development not being substantially the same as the originally approved development, heritage impacts upon the State heritage item 'Nant Gywlan' and the modified buildings' bulk and scale.

Following feedback from Council staff the applicant submitted amended plans and additional information. The key amendments included:

- Relocating the additional building mass that will be used to link buildings 4 and 6 to the less sensitive western side of the buildings, away from the more sensitive eastern side which adjoins Nant Gywlan. The relocation will achieve a 'C' shaped building configuration, as opposed to the originally proposed 'H' shaped building configuration, providing a larger consolidated area of communal open space at ground floor level.
- Removal of 3 seniors living dwellings. This removal will retain the originally approved residential density of 28 dwellings for buildings 4 and 6.
- Design changes to achieve greater consistency with the Apartment Design Guide.
- Modifications to the approved landscaping and stormwater drainage designs.

The modification was not publicly re-exhibited as the amendments made by the applicant reduced its environmental impacts. This is consistent with the Camden CPP. It is noted



that the submissions discussed in this report were received before the plans were amended by the applicant to address feedback from Council staff.

The applicant proposes a contravention to the height of buildings development standard that applies to the site. The development standard limits buildings to a maximum height of 7m above existing ground level. However, the modified buildings will have a maximum height of 15.61m above existing ground level. This is consistent with the approved buildings 4 and 6 that would also have a maximum height of 15.61m above existing ground level.

Case law has established that the power to modify a development consent is a ‘free-standing provision’ meaning that a modification can be approved notwithstanding that it would contravene an applicable development standard. Consequently, the contravention does not require a written request pursuant to clause 4.6 of Camden Local Environmental Plan 2010. Notwithstanding, the proposed building height has been assessed in the ‘Heritage Impacts’ section of this report and is considered to be acceptable in the context of the approved development.

Based on the assessment, it is recommended that the modification be approved subject to the modified conditions attached to this report.

**KEY PLANNING CONTROL VARIATIONS**

Control	Proposed	Variation
7m maximum building height.	15.61m maximum building height.	8.61m / 123% (no change to the approved buildings 4 and 6)

AERIAL PHOTOS





**THE SITE**

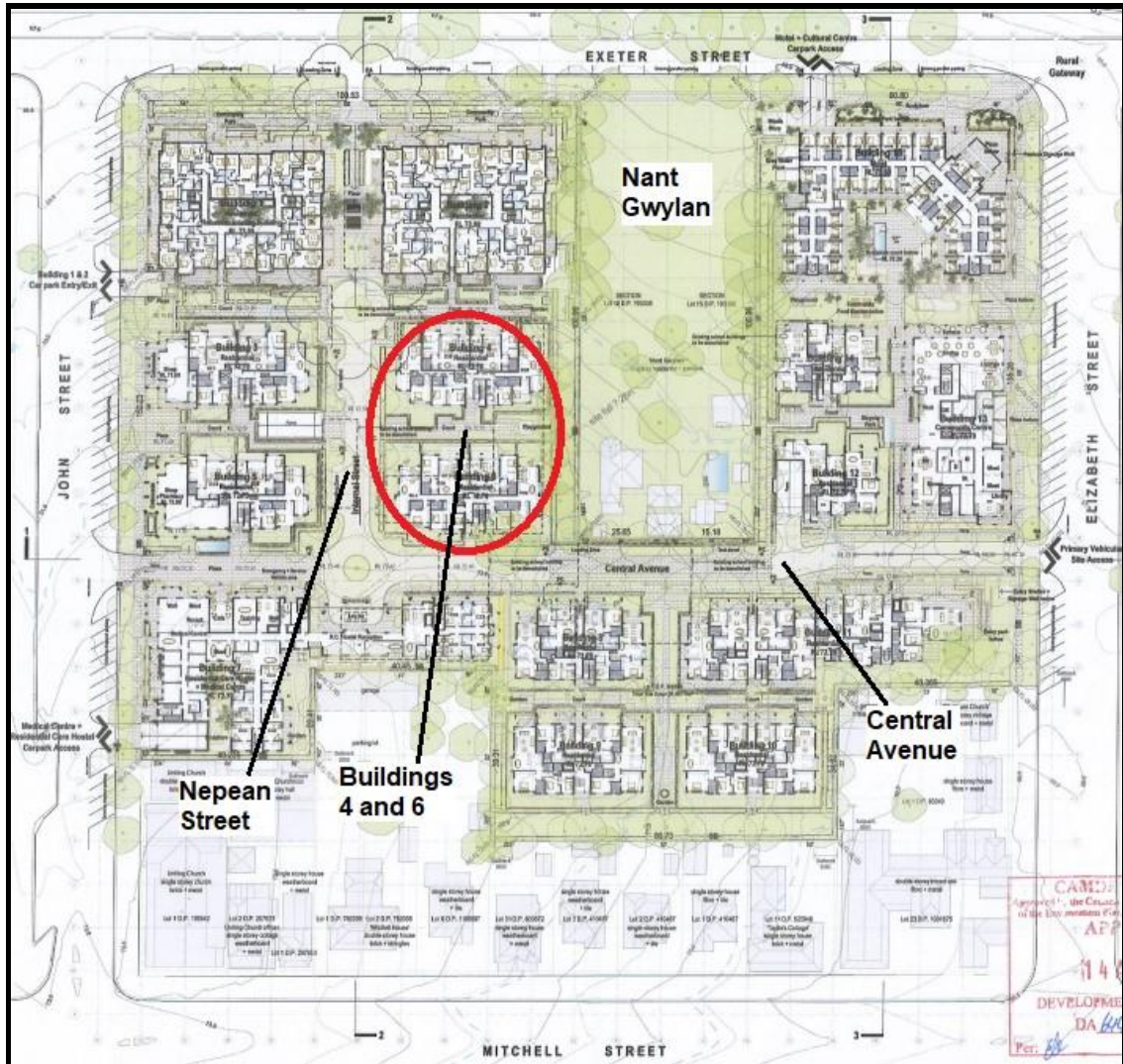
The site comprises two properties that are commonly known as 2-14 John Street and 11 Elizabeth Street, Camden and are legally described as lots 2 and 1, DP 1246185.

The site is irregular in shape and has an overall area of 26,649m<sup>2</sup> and 449m of total public road frontage to John Street, Exeter Street and Elizabeth Street. The site wraps around a State heritage item (Nant Gwylan house and garden) at 33A and 33B Exeter Street which is in separate ownership and not part of the development. The school buildings that previously existed on the site have been demolished leaving it largely vacant. Buildings 1 and 2 (four storey seniors housing buildings) at the corner of John Street and Exeter Street have been completed. Buildings 3 and 5 (four storey seniors housing buildings) fronting John Street are under construction. The key modifications proposed by the application relate to the area of approved buildings 4 and 6 which sits between buildings 1, 2, 3 and 5 and Nant Gwylan. The site is located within the Camden Town Centre Conservation Area and is in the vicinity of several local heritage items.

To the north and east lie the Nepean River and rural floodplains. The Camden Town Farm also lies to the north on the northern side of Exeter Street. The commercial core of the Camden Town Centre is located to the south and south east. To the west lie the Bicentennial Equestrian Park and Matahil Creek.

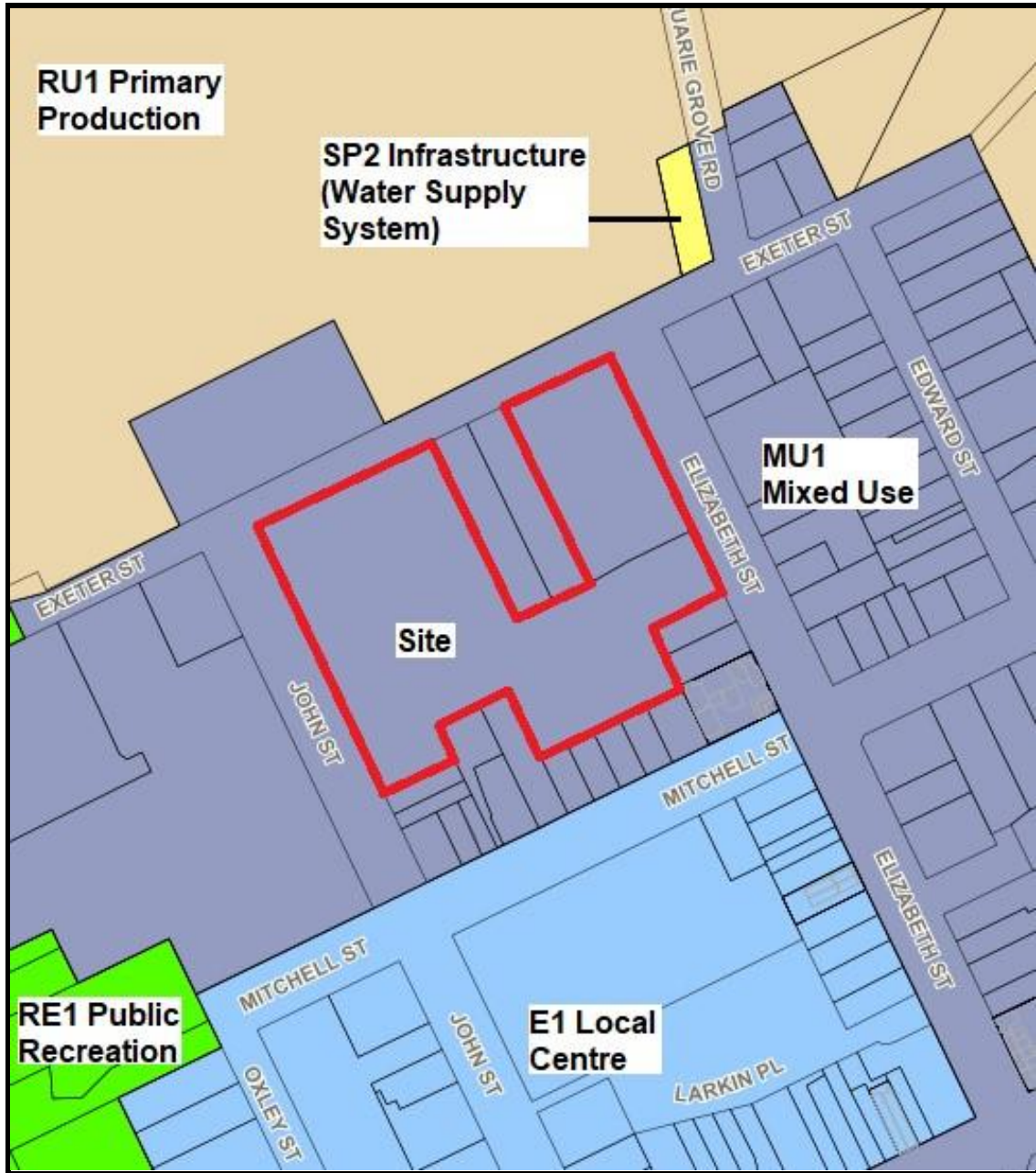
CLPP03

**DA APPROVED DEVELOPMENT SITE PLAN**



ZONING PLAN

CLPP03



### CAMDEN TOWN CENTRE CONSERVATION AREA AND HERITAGE ITEM PLAN

The site is located within the Camden Town Centre Conservation Area and is in the vicinity of several local heritage items. These are shown by the red hatching and the brown blocks respectively on the plan below. It is noted that Nant Gwylan (I25) which the site surrounds on three sides is a State heritage item.



**HISTORY**

The relevant development history of the site is summarised in the following table:

Date	Development
13 March 2023.	Approval of modification 2008/644/8 by Council staff. The modification approved the conversion of part of the ground floor of building 2 to temporary offices and workstations, additional resident gym space and treatment rooms and related car parking alterations.
27 January 2023.	Lodgement of modification 2008/644/9 with Council. The modification is the subject of this report.
9 December 2022.	Approval of modification 2008/644/7 by Council staff. The modification approved design amendments and reconfigurations including the division of one approved seniors living dwelling in combined buildings 3 and 5 into two dwellings.
19 October 2021.	Approval of modification 2008/644/5 by the Camden Local Planning Panel. The modification approved the consolidation of buildings 3 and 5, the conversion of the remaining multiple-unit dwellings to self-contained seniors living dwellings and various site layout and design changes.
16 July 2021.	Lodgement of modification 2008/644/6. The modification proposed to delete condition 7.0(4) which requires the preparation of a photographic archival record for the school buildings that previously existed on the site. The modification was withdrawn on 30 November 2021.
15 August 2018.	Approval of modification 2008/644/4. The modification approved the staging of the development's subdivision component into two stages.
30 October 2017.	Approval of modification 2008/644/3. The modification approved the full demolition of an existing school building at the corner of John Street and Exeter Street.
14 August 2012.	<p>Approval of modification 2008/644/2. The modification approved:</p> <ul style="list-style-type: none"> <li>• a reduction in the number of approved multiple-unit dwellings from 57 to 26,</li> <li>• an increase in the number of approved self-contained seniors living dwellings from 108 to 162,</li> <li>• removal of 5 shops from the ground floor of buildings 1 and 2 at the corner of John Street and Exeter Street and their replacement with residents' facilities, and</li> <li>• various layout and design changes related to buildings 1 and 2 at the corner of John Street and Exeter Street.</li> </ul>
8 October 2010.	An Order to grant a modified development consent was made by the NSW Land and Environment Court. The modified consent approved community title subdivision and the staged

	remediation of contaminated land and construction of the development across the site.
8 September 2009.	<p>Approval of DA/2008/644/1 for the redevelopment of the site. The DA approved:</p> <ul style="list-style-type: none"> <li>• demolition of existing school buildings, remediation of contaminated land and earthworks,</li> <li>• refurbishment of one existing school building at the corner of John Street and Exeter Street,</li> <li>• construction of 57 multiple-unit dwellings and 108 self-contained seniors living dwellings, a 76 bed residential care facility and a 51 bed motel,</li> <li>• construction of a restaurant, a cultural and community centre, a medical centre and ancillary shops, and</li> <li>• undercroft car parking and landscaping works.</li> </ul>

**THE PROPOSAL**

Approved Development

The originally approved development involved:

- demolition of existing school buildings, remediation of contaminated land and earthworks,
- refurbishment of one existing building,
- construction of 57 multiple-unit dwellings and 108 self-contained seniors living dwellings, a 76 bed residential care facility and a 51 bed motel,
- construction of a restaurant, a cultural and community centre, a medical centre and ancillary shops, and
- undercroft car parking and landscaping works.

The development has since been modified on six occasions and additional detail on those modifications is provided in the 'History' section of this report.

Modification

The modification involves:

- Consolidation of buildings 4 and 6 into one building with two wings and related design amendments including:
  - Increasing the length of the wings along towards the east and reducing their length towards the west.
  - Reducing the width of both wings.
  - Addition of a rooftop plant area.



- Provision of a communal residents' lounge at ground floor level.
- Reconfiguration of the basement car park beneath buildings 3, 4, 5 and 6 including the addition of:
  - A communal waste room for buildings 4 and 6.
  - Plant rooms.
  - Storage cages for residents of buildings 4 and 6.
  - 2 motorcycle parking spaces and 14 bicycle parking spaces.
- Enlargement of the communal open space area between the two building wings, the removal of a playground and the provision of a barbeque facility, a shade structure and additional seating.
- Enlargement of the communal open space area between buildings 2 to 4 including the provision of additional landscaping.
- Modifications to the approved landscaping and stormwater drainage designs. The modified stormwater drainage design will include the relocation of a drainage pipe that was previously approved to be under bored beneath a row of retained mature Jacaranda trees bordering Nant Gwylan.
- Modifications to the existing development consent conditions to facilitate the aforementioned changes.

The following table details how key aspects of the development have changed since the DA was approved by Council in 2009:

Metric	2009 Consent	2012 Modification	2021 Modification	2022 Modification	Proposed Modification	Overall Change
<b>Overall Development</b>						
Multiple-unit dwellings	57	26 (-31)	0 (-26)	No change	<b>No change</b>	-57
Seniors living dwellings	108	162 (+54)	192 (+30)	193 (+1)	<b>No change</b>	+85
Shops	8	3 (-5)	1 (-2)	No change	<b>No change</b>	-7
<b>Buildings 4 and 6 and Surrounds</b>						
Multiple-unit dwellings	0	No change	No change	No change	<b>No change</b>	No change
Seniors living dwellings	28	No change	No change	No change	<b>No change</b>	No change
Shops	0	No change	No change	No change	<b>No change</b>	No change

Maximum Building Height	15.61m	No change	No change	No change	<b>No change</b>	No change
Building Storeys	4	No change	No change	No change	<b>No change</b>	No change
Communal Open Space	188.1m <sup>2</sup>	No change	No change	No change	<b>244.2m<sup>2</sup> (+56.1m<sup>2</sup>)</b>	+56.1m <sup>2</sup> *
Deep Soil Zone	397.8m <sup>2</sup>	No change	No change	No change	<b>473.8m<sup>2</sup> (+76m<sup>2</sup>)</b>	+76m <sup>2</sup>

\*The modification will also provide more communal open space in addition to the stated 56.1m<sup>2</sup> between buildings 2 and 4 due to the decreased width of the northernmost building wing.

**MODIFICATION OF CONSENTS**

Pursuant to Section 4.56(1) of the *Environmental Planning and Assessment Act 1979*, Council staff are satisfied that:

- The development to which the consent as modified relates is substantially the same as the development for which consent was originally granted and before that consent as originally granted was modified. The Land and Environment Court of NSW has held that the modified development must be essentially or materially the same as the approved development. The modified development will be essentially or materially the same as the approved development as:
  1. The approved mixed use redevelopment of the site involved three to four storey residential buildings over basement car parks and interspersed with communal open space, three shops, a residential aged care facility, a motel, a restaurant, a cultural and community centre and a medical centre. The modification will maintain almost all of these elements in an unchanged state. Consolidating two of the fifteen buildings together will not materially change what was originally approved for the site.
  2. The modified buildings will remain essentially the same, i.e., two four storey building masses adjoining 'Nant Gwylan', albeit linked together further back within the site, around communal open space. The modified buildings' maximum overall building height will remain the same and the impacts of the additional building mass at the western side of the two wings will be offset by it being set back 28.9m from 'Nant Gwylan' and softened by existing and proposed landscaping.
- The modification was publicly exhibited for a period of 28 days in accordance with the Camden CPP, schedule 1 of the *Environmental Planning and Assessment Act 1979* and section 107 of the *Environmental Planning and Assessment Regulation 2021*.
- A reasonable attempt to notify each person who made a submission in respect of the DA of the modification has been made.
- All submissions received have been considered.

## CONSIDERATION OF REASONS FOR THE GRANT OF THE CONSENT

Section 4.56(1A) of the *Environmental Planning and Assessment Act 1979* requires the reasons why Council approved the DA to be considered. Schedule 1, Section 20 of the *Environmental Planning and Assessment Act 1979* requires reasons to be given for approving a DA. However, this requirement was only introduced on 1 March 2018 so there were no reasons given for approving the 2009 DA as this was not required at the time.

## ASSESSMENT

### ***Environmental Planning and Assessment Act 1979 - Section 4.15(1)***

In determining a modification, the consent authority is to take into consideration such of the following matters as are of relevance to the modification:

#### ***(a)(i) the provisions of any environmental planning instrument***

The environmental planning instruments that apply to the modification are:

- State Environmental Planning Policy (Resilience and Hazards) 2021.
- State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development.
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004.
- State Environmental Planning Policy (Biodiversity and Conservation) 2021.
- Camden Local Environmental Plan 2010.

#### State Environmental Planning Policy (Resilience and Hazards) 2021 (Resilience and Hazards SEPP)

The Resilience and Hazards SEPP provides a Statewide planning approach to the remediation of contaminated land.

Section 4.6 of the Resilience and Hazards SEPP requires the consent authority to consider if the site is contaminated. If the site is contaminated, the consent authority must be satisfied that it is suitable in its contaminated state for the development. If the site requires remediation, the consent authority must be satisfied that it will be remediated before the land is used for the development. Furthermore, the consent authority must consider a preliminary contamination investigation in certain circumstances.

The DA approval included the remediation of contaminated land on the site. Following remediation between 2017 and 2018, a site audit statement was issued by a site auditor. A modified procedural condition is recommended that requires the detailed design plans for the modification to be reviewed by a site auditor.

#### State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development (SEPP 65)

SEPP 65 aims to improve the design quality of residential apartment development in New South Wales.

SEPP 65 applies to the modification as it forms part of a mixed use development with a residential accommodation component. The development involves the erection of new buildings of at least three storeys and containing at least four dwellings.

#### *Planning Controls*

It is noted that the DA was approved in 2009, well before the commencement of the Apartment Design Guide (ADG) in 2015. Notwithstanding this, the applicant has designed the modification to comply with the ADG's design criteria insofar as reasonably possible. Alternative solutions to the design criteria using the ADG's design guidance have been proposed where necessary to achieve the ADG's objectives.

An assessment table in which the modification is considered against SEPP 65's planning controls and the ADG is provided as an attachment to this report.

#### State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 (BASIX SEPP)

The BASIX SEPP aims to ensure consistency in the implementation of the BASIX scheme throughout the State.

Pursuant to chapter 4 of State Environmental Planning Policy (Sustainable Buildings) 2021, the BASIX SEPP applies to the development as the application is a modification to a development consent that was submitted to Council but not determined before 1 October 2023.

The applicant has submitted a compliant BASIX certificate in support of the modification. A modified condition is recommended to ensure compliance with the BASIX commitments listed in the certificate.

#### State Environmental Planning Policy (Biodiversity and Conservation) 2021 (Biodiversity and Conservation SEPP)

The modification is considered satisfactory in terms of the matters for consideration in Chapter 6 of the Biodiversity and Conservation SEPP. There will be no unreasonable adverse impacts upon the Hawkesbury-Nepean Catchment as a result of the modification.

#### Camden Local Environmental Plan 2010 (Camden LEP)

The Camden LEP aims to make local environmental planning provisions for land in Camden in accordance with the relevant standard environmental planning instrument under section 3.20 of the *Environmental Planning and Assessment Act 1979*.

#### *Site Zoning*

The site is zoned MU1 Mixed Use pursuant to clause 2.2 of the Camden LEP.

#### *Permissibility*

A modification to the approved mixed use development is permitted pursuant to Section 4.56 of the *Environmental Planning and Assessment Act 1979*.

#### *Planning Controls*

An assessment table in which the modification is considered against the Camden LEP's planning controls is provided as an attachment to this report.

**(a)(ii) the provisions of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)**

Draft Remediation of Land State Environmental Planning Policy (Draft Remediation SEPP)

The modification is consistent with the Draft Remediation SEPP in that contamination on the site was remediated between 2017 and 2018.

Draft Environment State Environmental Planning Policy (Draft Environment SEPP)

The modification is consistent with the Draft Environment SEPP in that there will be no detrimental impacts upon the Hawkesbury-Nepean River system as a result of it.

**(a)(iii) the provisions of any development control plan**

Camden Development Control Plan 2019 (Camden DCP)

An assessment table in which the modification is considered against the Camden DCP is provided as an attachment to this report.

**(a)(iiiia) the provisions of any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4**

No relevant planning agreement or draft planning agreement exists or has been proposed as part of this modification.

**(a)(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph)**

The *Environmental Planning and Assessment Regulation 2021* prescribes several matters that will be addressed through existing and modified conditions.

**(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality**

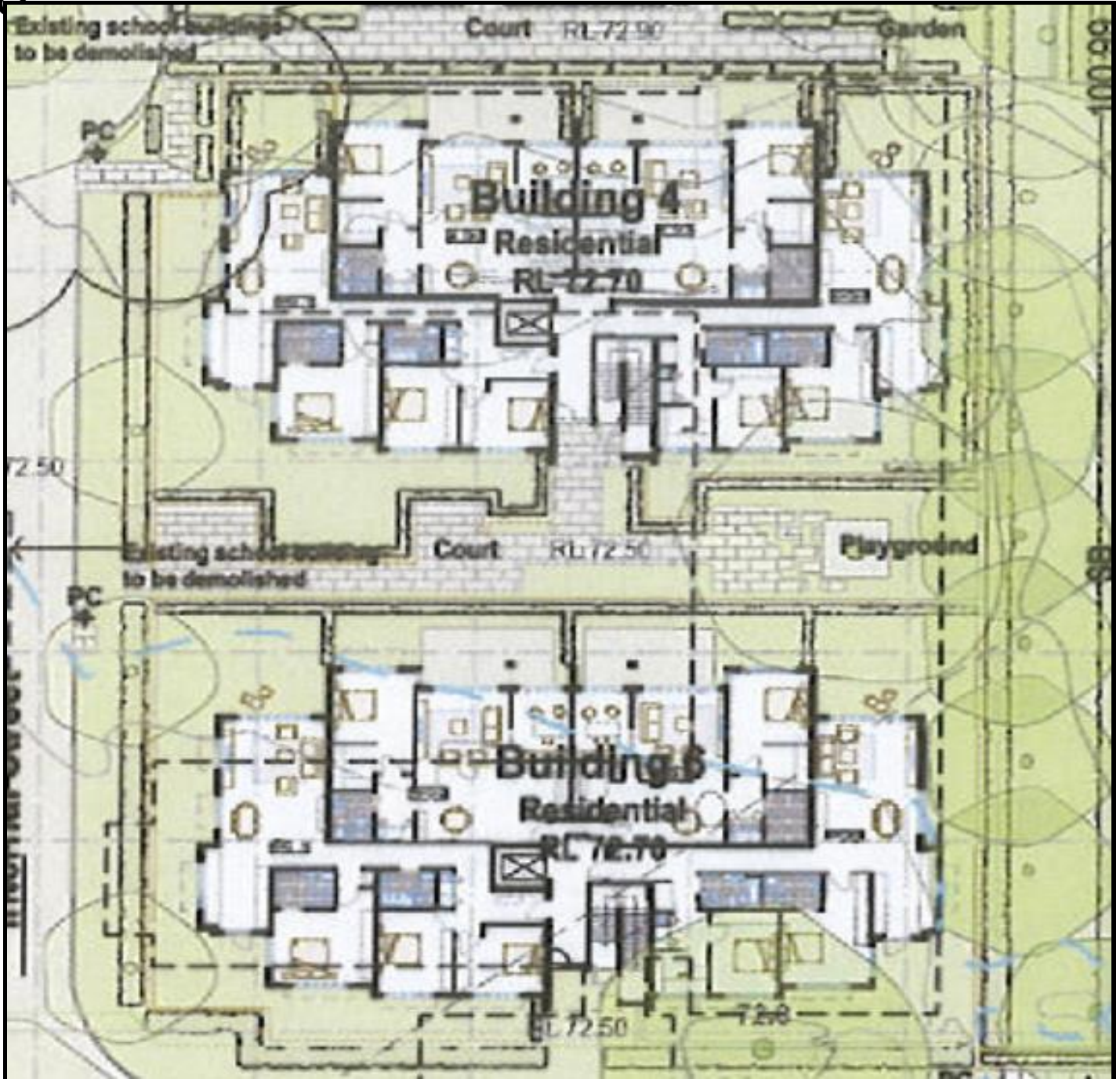
As demonstrated by the assessment, the modification is unlikely to have any unreasonable adverse impacts on either the natural or built environments, or the social and economic conditions in the locality.

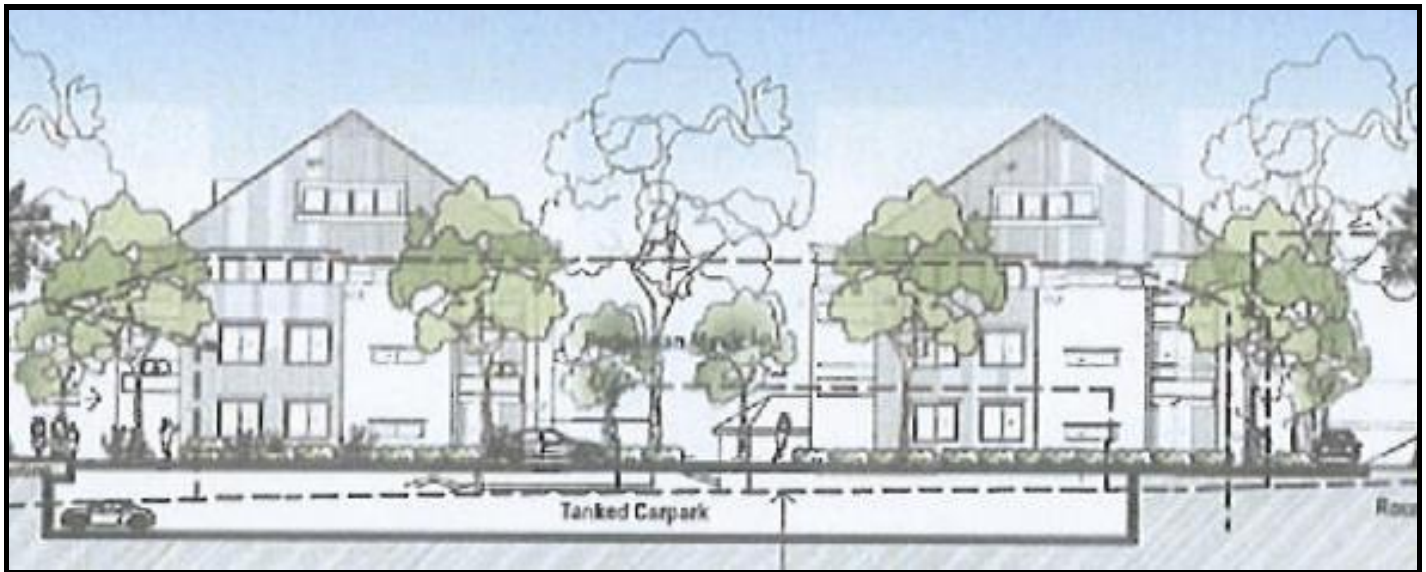
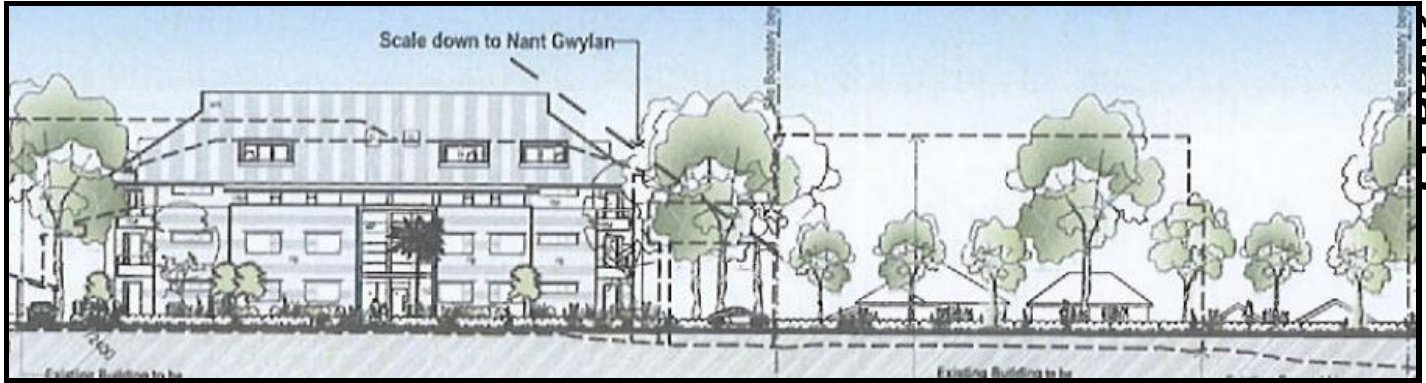
Heritage Impacts

*Approved Buildings 4 and 6*

CLPP03

Buildings 4 and 6 were approved as two separate buildings at four storeys high as defined by the Camden LEP. It is noted that the top storey of each building will be contained within the roof in a 'loft' format. Some of the key approved plans for buildings 4 and 6 are shown below and overleaf:

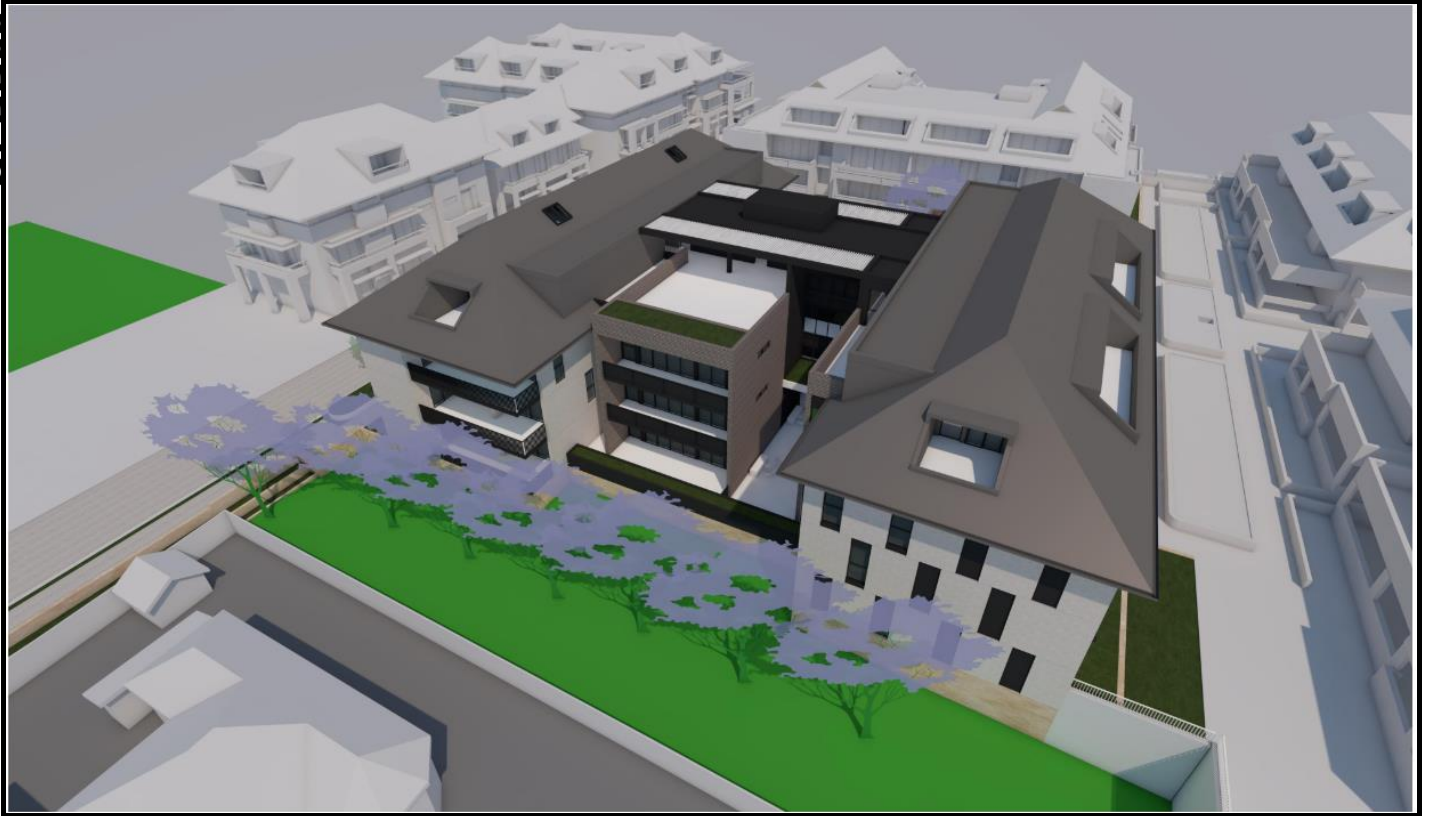




*Assessment*

The modified buildings are supported for the following reasons:

- A key feature of buildings 4 and 6 is the landscaped courtyard which provides 'breathing space' between the buildings on either side of it. The modification will retain a communal open space area between the two building wings and set back the additional building mass used to link them from Nant Gwylan by 28.9m. This is considered a sufficient set back to offset the visual impacts of the additional building mass. It is noted that the amendments made to the modification by the applicant following feedback from Council staff have significantly reduced the impacts upon Nant Gwylan and resulted in a much reduced bulk.



*Original Modified Plans*

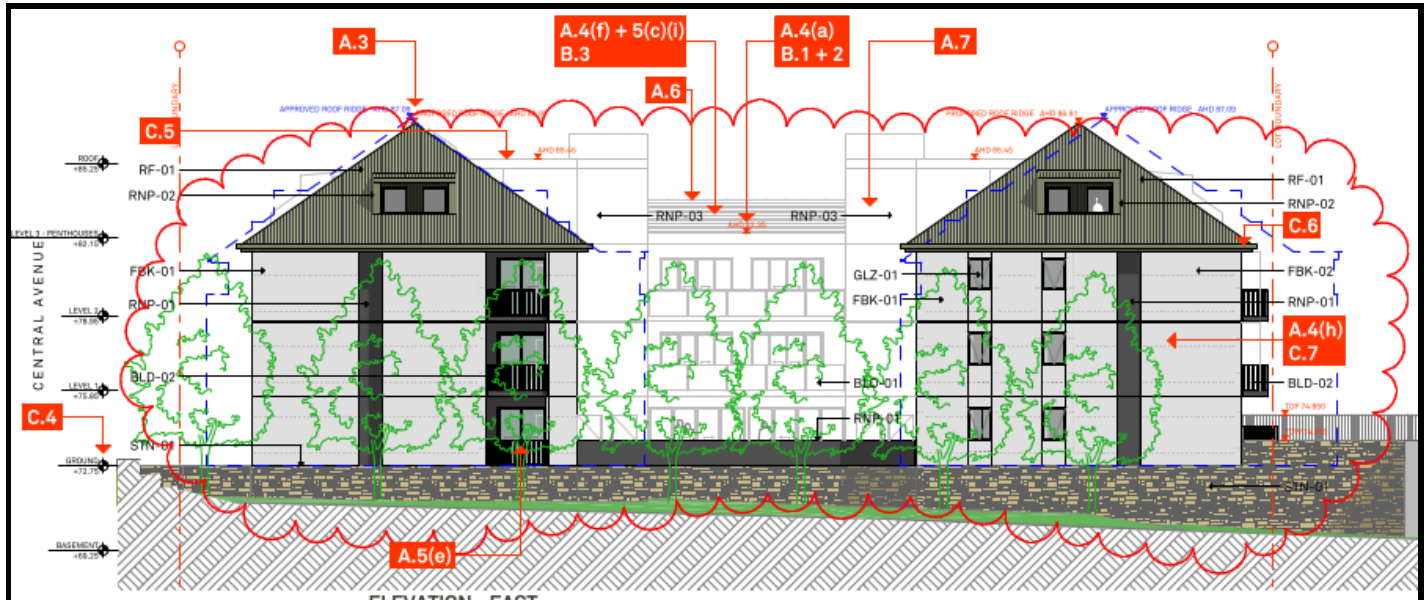


*Amended Modified Plans*



The setback will allow the modified buildings to achieve a ‘fine grain’ character along their eastern side acceptable in the context of the approved development.

- The modification will involve modifying the footprints of buildings 4 and 6. This will result in the footprints reducing in width and increasing in length. The elevation below shows the proposed eastern elevation in grey and the approved building widths (including balcony extents) via a blue dash line for comparison:

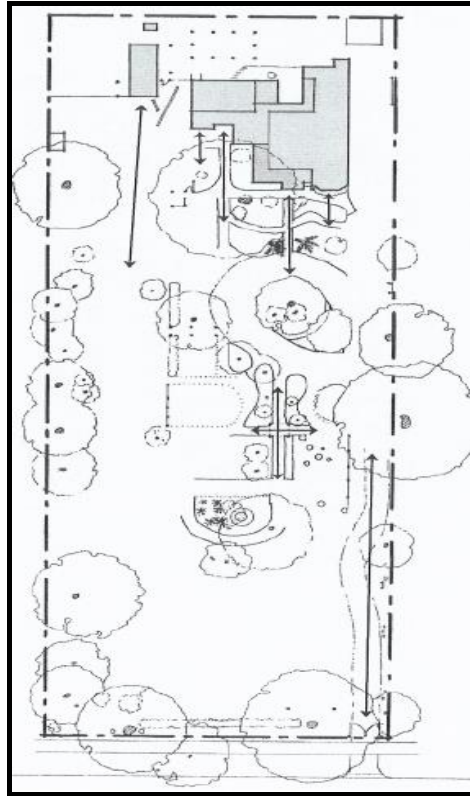


The reduced building footprint widths will reduce the modified buildings’ bulk when viewed from Nant Gwylan and again assist in achieving a ‘fine grain’ character acceptable in the context of the approved development. This reduction in width is considered to be an improvement over the approved buildings 4 and 6.

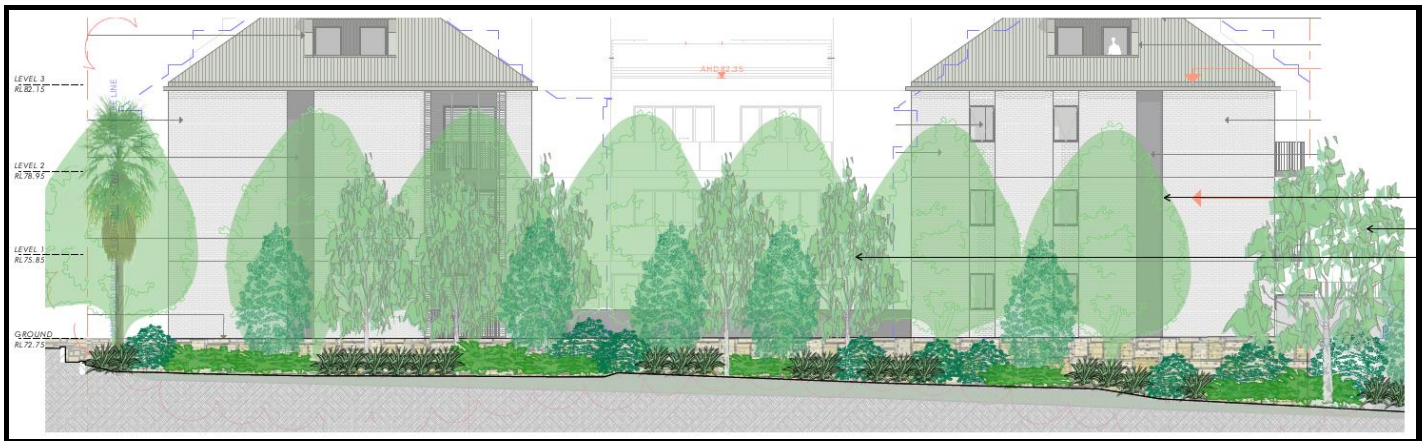
The reduction will also create additional communal open space between buildings 1, 2, 3 and 4 to the north and additional deep soil zone which is supported.

- The additional building mass will be screened from the public domain by approved buildings 3 and 5 to the west. Additionally, the additional mass will be lower in height than the two building wings that it links together. Combined with the setback from Nant Gwylan and the reduced building footprint widths, it is not considered that it will result in an unreasonably bulky building in the context of the approved development.
- The modification will not unreasonably impact upon any important views through the overall site. In 2021 the Panel approved modification 2008/644/5 that approved the consolidation of buildings 3 and 5 which removed any views to Nant Gwylan from John Street to the west. Furthermore, the conservation management plan for Nant Gwylan identifies that the “visual relationships between spaces within the garden, and between the garden and the house constitute a primary aspect of the significance of the place and should be reinstated and/or preserved”. The formal views for Nant Gwylan are shown on the plan below and involve north-south views along the property, not east-west views across the subject site:

CLPP03



- The modified landscaping design between the modified buildings and Nant Gwylan will provide screen planting to soften their impact upon that property:



- The modification will include additional building mass at the western side of the modified buildings. This will reduce the setback to Nepean Street to the west however is supported as a 12m separation distance from the buildings 3 and 5 further to the west will be provided. This is consistent with the ADG's requirement of 12m. The additional building mass will not have any unreasonable adverse overshadowing impacts upon buildings 3 and 5 or their private open spaces. The reduced setback will allow the terraces and balconies to be brought to the street edge which will provide for better activation and passive surveillance of the street and adjoining communal open space. The building façade facing Nepean Street will be well articulated via recessed and projecting building and balcony elements and varied roof forms, materials and colours.

- The modification will not increase the maximum overall building height approved for buildings 4 and 6. Whilst the modification will contravene the applicable maximum building height development standard of 7m, this is acceptable in the context of the approved development. The modified buildings will have a maximum height of 15.61m above existing ground level which is consistent with the approved buildings 4 and 6 that would also have a maximum height of 15.61m above existing ground level. The impacts of the contravention have been assessed in this section of the report and the building height is supported. The contravention is considered to be consistent with the objectives of clause 4.3 Height of buildings of the Camden LEP being:
  - To ensure that buildings are compatible with the height, bulk and scale of the existing and desired future character of the locality.
  - To minimise the visual impact, disruption of views, loss of privacy and loss of solar access to existing development.
  - To minimise the adverse impact of development on heritage conservation areas and heritage items.
- The modification will involve changes to the material palette configuration approved for buildings 4 and 6 however will still involve brickwork, rendered masonry and metal roof sheeting in appropriately subdued, neutral colours and is supported.
- The applicant has submitted adequate heritage impact statements in support of the modification. Council staff, including Council's heritage officer, have reviewed the statement and are satisfied that the modification is unlikely to have any unreasonable adverse heritage impacts in the context of the approved development.

#### Flooding Impacts

The applicant has submitted flooding related information in support of the modification which is supported by Council staff. The modified buildings will remain at the same level as the approved buildings 4 and 6 (RL 72.75). This is well above the 1% annual exceedance probability flood level of RL 71.10. Modified conditions are recommended to require that compensatory flood storage is provided in the eastern half of the site and that an update be made to a required evacuation and access strategy for the overall development to reflect the modification.

#### Tree Impacts

The modification does not propose to remove any trees. A row of existing mature Jacaranda trees between the eastern side of buildings 4 and 6 and Nant Gwylan will be retained consistent with the current approval. The relocation of a drainage pipe that was previously approved to be under bored beneath the trees will help minimise impacts upon the trees. Furthermore, modified conditions are recommended to ensure the trees are protected including by delaying landscaping works within the trees' tree protection zones to 12 months after the buildings' excavation works, having all excavation works adjacent to the trees supervised by an arborist and limiting excavation works and utility installation to 1m outside of the building footprint where adjacent to the trees.

**(c) the suitability of the site for the development**

As demonstrated by the assessment, the site is considered to be suitable for the modification.

**(d) any submissions made in accordance with this Act or the regulations**

The modification was publicly exhibited for a period of 28 days in accordance with the Camden CPP, schedule 1 of the *Environmental Planning and Assessment Act 1979* and section 107 of the *Environmental Planning and Assessment Regulation 2021*. The exhibition period was from 10 February to 9 March 2023 and 15 submissions were received (all objecting to the modification).

The following discussion addresses the issues raised in the submissions. It is noted that the submissions were received before the plans were amended by the applicant to address feedback from Council staff.

1. *Not all relevant information has been made publicly available. It is not clear what has been approved to be constructed.*

Officer comment:

Since 2021 Council has permanently maintained a [webpage](#) on its website that provides information on this site and its development including its history, the DA including approved plans and the modifications including approved plans. The subject modification was publicly exhibited in accordance with the Camden CPP and the application information was placed on Council's website in February 2023 where it still remains. The later amendments made to the application were not publicly re-exhibited as they reduced the modification's environmental impacts. This is consistent with the Camden CPP.

2. *The development is not substantially the same development as that which was originally approved. The proposal should be a new DA instead of a modification.*

Officer comment:

The development to which the consent as modified relates is substantially the same as the development for which consent was originally granted and before that consent as originally granted was modified. This issue has been addressed in the 'Modification of Consents' section of this report.

3. *Unacceptable larger building footprint, bulk and scale, squarer appearance and setbacks.*

Officer comment:

This issue has been addressed in the 'Heritage Impacts' section of this report.

4. *Insufficient landscaping has been proposed to offset the development's bulk and scale.*

Officer comment:

The modified development’s bulk and scale has been adequately reduced as described in the ‘Heritage Impacts’ section of this report. Amended landscaping plans have been provided and subject to the modified conditions, the modified landscaping design is considered appropriate for the site and area and includes a suitable mix of trees, ground covers, shrubs and grasses.

- 5. *Consolidating the buildings is inconsistent with the traditional pattern and human scale of the historic streets in Camden.*

Officer comment:

This issue has been addressed in the ‘Heritage Impacts’ section of this report.

- 6. *Joining the buildings block views, air flow and sunlight.*

Officer comment:

It is not considered that joining buildings 4 and 6 will have any unreasonable adverse impacts upon views as described in the ‘Heritage Impacts’ section of this report. It is noted that the dwellings will achieve compliant solar access and natural cross ventilation in accordance with the ADG.

- 7. *The building colours should be the same as what was originally approved and not black.*

Officer comment:

The modified buildings will be constructed of brickwork, rendered masonry and metal roof sheeting in appropriately subdued, neutral colours. The major building material will be the face brick in ‘silver birch’ colour or equivalent:



The roof sheeting will be ‘pale eucalypt’ colour or equivalent:

CLPP03



These materials and finishes are considered to be appropriate for the buildings and the overall development on the site which will use a variety of materials and colours.

8. *Unacceptable heritage impacts including upon Nant Gwylan to the east.*

Officer comment:

This issue has been addressed in the ‘Heritage Impacts’ section of this report.

9. *Additional overshadowing and overlooking impacts upon Nant Gwylan.*

Officer comment:

Due to the modified buildings’ orientation they will not have any additional overshadowing impacts upon Nant Gwylan between 9am and 3pm. This has been demonstrated by the applicant.

The modified buildings have been amended so that only balconies and bedroom windows will face towards Nant Gwylan. The bedroom windows are considered acceptable as these rooms are not occupied for significant periods of the day. However, the balconies for dwellings 4101 and 4201 on the first and second floors are larger spaces (18.9m<sup>2</sup> in area, 3.55m deep) that will be used as the private open space for those dwellings throughout the day. A condition is recommended that requires the eastern sides of those balconies to be fitted with a 1.5m high privacy screen with a block out density of 50%. This will minimise opportunities for the balconies to overlook Nant Gwylan and still allow them to provide some solar access to the dwellings which is required by the ADG.

10. *Useable outdoor space is minimal and rooftop open space is not supported.*

Officer comment:

The applicant has submitted amended plans that reconfigure the modified buildings to consolidate and increase the communal open space on the ground floor. This space will not comply with the ADG’s design criteria however it is supported because it is a 29.8% increase upon the approved communal open space for buildings 4 and 6. The amended plans have removed all rooftop communal open space.

11. *Flooding Impacts.*

Officer comment:

This issue has been addressed in the 'Flooding Impacts' section of this report.

12. *Concerns regarding insufficient car parking on the site.*

Officer comment:

The modification requires 37 off-street car parking spaces and will provide 49 spaces.

13. *The removal of all one bedroom dwellings is not supported and will make what is proposed more expensive.*

Officer comment:

It is noted that the originally approved one bedroom dwellings in the buildings will be replaced with a mix of two and three bedroom dwellings. However, the modified dwellings will still provide a range of housing options for prospective residents to consider. Council does not have any planning controls that require a certain number of dwellings to be made one bedroom.

14. *There is no community access.*

Officer comment:

The overall development was originally approved as a private mixed use development and will remain so despite the modification. The approved buildings 4 and 6 did not contain any facilities or spaces for the community to access and this is not proposed to change.

**(e) *the public interest***

The public interest is served through the detailed assessment of this modification under the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2021*, environmental planning instruments, development control plans and policies. Based on the assessment, the modification is consistent with the public interest.

**EXTERNAL REFERRALS**

No external referrals were necessary for the assessment of the modification.

**FINANCIAL IMPLICATIONS**

This matter has no direct financial implications for Council.

**CONCLUSION**

The modification has been assessed in accordance with Sections 4.56 and 4.15(1) of the *Environmental Planning and Assessment Act 1979* and all relevant instruments, plans and policies. The modification is recommended for approval subject to the modified

conditions attached to this report.

### RECOMMENDED

**That the Panel approve DA/2008/644/9 for the modification of a mixed use development at 2-14 John Street and 11 Elizabeth Street, Camden subject to the modified conditions attached to this report.**

### REASONS FOR DETERMINATION

1. The Panel is satisfied that the development as modified is substantially the same development as the development for which the consent was originally granted.
2. The modification is consistent with the objectives of the applicable environmental planning instruments, being State Environmental Planning Policy (Resilience and Hazards) 2021, State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development, State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004, State Environmental Planning Policy (Biodiversity and Conservation) 2021 and Camden Local Environmental Plan 2010.
3. The modification is consistent with the objectives of Camden Development Control Plan 2019.
4. The development as modified is considered to be of an appropriate scale and form for the site and the character of the locality in the context of the approved development.
5. The modification is unlikely to have any unreasonable adverse impacts on the natural or built environment.
6. In consideration of the aforementioned reasons, approval of the modification is in the public interest.

### ATTACHMENTS

1. Modified conditions
2. Existing conditions
3. SEPP 65 and Apartment Design Guide assessment table
4. Camden LEP assessment table
5. Camden DCP assessment table
6. Submissions - *Supporting Document*
7. Public exhibition and submissions map - *Supporting Document*
8. Proposed plans
9. Approved plans for buildings 4 and 6



**MODIFIED CONDITIONS****Modification of the Following Conditions:**

- 1.0(1) **Approved Plans** - The development must be carried out generally in accordance with the following plans to meet the requirements of this consent:

Prepared By	Plans	Numbered	Dated
Playoust Churcher Architects	Preliminary	DA 1.0(E), 1.1(C) TO 1.8(C), 1.9(0)	March 2012 May 2009
Playoust Churcher Architects	Site & Floor	DA 2.1(F), DA 2.2F and DA 2.3 to 2.6(E)	March 2012
Playoust Churcher Architects	Elevations, Sections, Shadow Diagrams	DA 3.1(E) to 3.5(E)	March 2012
Playoust Churcher Architects	Shadow Diagrams	DA 3.6(0) to 3.8(0) DA 3.9(E) to 3.11(E) DA 3.12(0) to 3.22(0)	May 2009 March 2012 May 2009
Playoust Churcher Architects	Individual Building Plans	DA 4.1(F) to DA 4.2(E) DA 4.3(F) DA 4.4(E) DA 4.5(0) to 4.23(0) DA 4.24 (H) DA 4.25 (D) to 4.25(0)	March 2012 May 2009 March 2012 June 2012 March 2012
Playoust Churcher Architects	Colour & Finishes	DA 5.1(C) to 5.8(C)	August 2008
Gary John Skow	Plan of Subdivision (Stage 1)	11502	23 February 2018
Denny Linker & Co	Plan of Subdivision (Stage 2 - Final)	091116 D-COMM-SUB Printed 23/3/10	23 March 2010
Paul Scrivener Landscape Architects	Landscape Plans	1274-1(C) to 1274-4(C)	7 July 2008
Siteplus	Drainage and Civil Works plans	07138 (C02) (C04) (C05) (C10) (C13) (C15) (C14) (C16)	17 June 2008

As amended by the conditions of this development consent and the following plans and documents approved by Modifications 2008/644/5, 2008/644/7, 2008/644/8 and 2008/644/9:

Plan Ref.	Name of Plan	Prepared by	Date
DA-0001 C	Site Context Plan	Benson McCormack Architecture	September 2021
DA-0002 C	Site Plan	Benson McCormack Architecture	September 2021
DA-0100 B	GA - Basement Plan	Benson McCormack Architecture	July 2022

DA-0101 B	GA - Ground Floor	Benson Architecture	McCormack	July 2022
DA-0102 B	GA - Level 1 Plan	Benson Architecture	McCormack	July 2022
DA-0103 B	GA - Level 2 Plan	Benson Architecture	McCormack	July 2022
DA-0104 B	GA - Level 3 Plan	Benson Architecture	McCormack	July 2022
DA-0105 B	GA - Roof Plan	Benson Architecture	McCormack	July 2022
DA-0200 B	Elevations - North & South	Benson Architecture	McCormack	July 2022
DA-0201 B	Elevations - East & West	Benson Architecture	McCormack	July 2022
DA-0300 B	Sections - A & B	Benson Architecture	McCormack	July 2022
DA-0960 B	External Finishes Schedule	Benson Architecture	McCormack	July 2022
DA-1108 B	Revised Staging Plan	Benson Architecture	McCormack	September 2021
DA-1109 A	Waste Management Plan	Benson Architecture	McCormack	September 2021
DA-1110 A	Temporary Waste Storage Structure	Benson Architecture	McCormack	September 2021
A1	Decorative Metal Panels	Camden Council		N/A
A.01 Rev 01	Building 2 Ground Level	N/A		8 November 2022
LA00	Landscape Plan 01	Matthew Landscape Architecture	Higgins	4 August 2022
LA01	Landscape Plan 02	Matthew Landscape Architecture	Higgins	4 August 2022
LA02	Planting plan: Trees 01	Matthew Landscape Architecture	Higgins	4 August 2022
LA03	Planting Plan: Trees 02	Matthew Landscape Architecture	Higgins	4 August 2022
LA04	Planting Plan: Shrubs 01	Matthew Landscape Architecture	Higgins	4 August 2022
LA05	Planting Plan: Shrubs 02	Matthew Landscape Architecture	Higgins	4 August 2022
LA06	Details 01	Matthew Landscape Architecture	Higgins	4 August 2022
Sheet 1 of 4 Sheets Issue C	Drainage Concept Plans	John M. Daly & Associates		29 September 2021
Sheet 2 of 4 Sheets Issue B	Drainage Concept Plans	John M. Daly & Associates		5 September 2021
Sheet 3 of 4 Sheets Issue C	Concept Drainage Plan Ultimate Development	John M. Daly & Associates		29 September 2021
Sheet 4 of 4 Sheets Issue A	Concept Driveway Longitudinal Sections	John M. Daly & Associates		5 September 2021

Sheet ADD1 of 4 Sheets Issue A	Plan Showing Modification of Development of Application of Buildings 3 & 5	John M. Daly & Associates	29 September 2021
A-0003 03	Site Context Plans	Benson McCormack Architecture	5 October 2023
A-0004 03	Site Plan	Benson McCormack Architecture	5 October 2023
A-0100 03	GA - Basement Plan	Benson McCormack Architecture	5 October 2023
A-0101 03	GA - Ground Plan	Benson McCormack Architecture	5 October 2023
A-0102 03	GA - Level 1 Plan	Benson McCormack Architecture	5 October 2023
A-0103 03	GA - Level 2 Plan	Benson McCormack Architecture	5 October 2023
A-0104 03	GA - Level 3 Plan	Benson McCormack Architecture	5 October 2023
A-0105 03	DA - Roof Plan	Benson McCormack Architecture	5 October 2023
A-0200 03	Elevations - North & South	Benson McCormack Architecture	5 October 2023
A-0201 03	Elevations - East & West	Benson McCormack Architecture	5 October 2023
A-0300 03	Sections - A & C	Benson McCormack Architecture	5 October 2023
A-0301 03	Sections - D & E	Benson McCormack Architecture	5 October 2023
A-0960 03	External Finishes Schedule	Benson McCormack Architecture	5 October 2023
LP01 C	Landscape Plan Ground Floor	Matthew Higginson Landscape Architecture	25 July 2023
LP02 C	Landscape Plan: Level 1, Ground Floor COS & Sections	Matthew Higginson Landscape Architecture	25 July 2023
P00658-CI- FC-1021 3	General Notes	Group Services Development	18 October 2023
P00658-CI- FC-1321 3	Stormwater Drainage Plan - Sheet 1	Group Services Development	18 October 2023
P00658-CI- FC-1322 2	Stormwater Drainage Plan - Sheet 2	Group Services Development	18 October 2023
P00658-CI- FC-1421 3	Stormwater Drainage Details	Group Services Development	18 October 2023
P00658-CI- FC-1441 3	Stormwater Longitudinal Sections - Sheet 1	Group Services Development	18 October 2023
P00658-CI- FC-1441 2	Stormwater Longitudinal Sections - Sheet 2	Group Services Development	18 October 2023

Document Title	Prepared by	Date
BASIX Certificate 1170826M_02	Certified Energy	14 July 2022
BASIX Certificate 1361799M_03	Bonnefin Consulting Pty Ltd	29 November 2023
BCA Assessment Report	BCA Logic	9 February 2021
Section J Energy Efficiency Report	Certified Energy	2 February 2021
Access Review Amended v2	Morris Goding Access Consulting	15 January 2021
Access Review DA Final V2	Morris Goding Access Consulting	24 November 2023
Stormwater Report for Buildings 3 and 5 and Incorporating Remainder of the Proposed Development of Lot 1 and Lot 2 in DP 1246185 Issue C	Beveridge Williams	29 September 2021
Review of Stormwater Drainage and Flood Levels for Proposed Modified Buildings 4 and 6	Beveridge Williams	18 January 2023
Flood Assessment	Beveridge Williams	September 2021

- 1.0(2) **Amendments to Approved Plans** - The amendments described below must be incorporated in the overall development and must be reflected in any plans prepared for the purpose of obtaining a Construction Certificate for building works for each relevant stage:
- a) Building 2 shall have the same setback from the boundary of 33a Exeter Street (Nant Gwylan and Gardens) as Buildings 4 and 6.
  - b) Balconies of Buildings 2, 4, 6, 14 and 12 shall be designed to ensure no direct overlooking of 33a Exeter Street (Nant Gwylan and Gardens). For dwellings 4101 and 4201 in the consolidated buildings 4 and 6, this must involve the installation of 1.5m high privacy screens with a minimum block out density of 50% along the eastern side of their balconies.
  - c) Acoustic wall shall be provided to the boundary of 33a Exeter Street (Nant Gwylan) adjoining The Central Avenue (internal road) and Basement Carpark access to Building 12.
  - d) The doorways to the bulky waste room underneath modified buildings 3 and 5 and the waste room underneath buildings 4 and 6 must be a minimum of 1.8m wide.
  - e) For buildings 3, 4, 5 and 6, all habitable dwelling rooms must have a window in an external wall with a total minimum glass area of at least 10% of the floor area of the room, or be in accordance with the glass areas shown on the approved plans, whichever is the greater.
  - f) The temporary waste bin storage room off Central Avenue must be provided with:

- a floor area that is 20% larger than the size of the bins or equipment,
  - internal illumination,
  - ventilation in accordance with AS 1668.2 and AS 1168.4,
  - a smooth graded ground surface,
  - an external water tap adjacent to the room,
  - a drain that discharges to a sewer connection,
  - a path to the waste collection vehicle loading zone that is smooth with a maximum grade of 1:14,
  - decorative metal panels installed between the doors on its northern elevation generally consistent with/similar to the design shown on the additional plan titled 'A1 - Decorative Metal Panels' and stamped approved by Camden Council. The panel design must be submitted to Council for approval prior to installation, and
  - 'No Parking' signage displayed in the layby.
- g) Provide a temporary turning facility within the footprint of stage 4 (as part of the construction of stage 3) to allow for cars, Council's waste collection vehicles and service vehicles to turn around at the end of Central Avenue. The facility must be designed in accordance with Council's engineering specifications and waste management guideline.
- h) Provide a flood free pedestrian path for use in the event of flooding. The path must allow residents and visitors of buildings 1 and 2 to safely evacuate those buildings and must link from buildings 1 and 2 in stage 1 across stage 2 and then to John Street.
- i) Incorporate minor design modifications to ensure that the 22 units listed as achieving compliant solar access in accordance with the design criteria of Objective 4A-1 of the Apartment Design Guide will do so.
- j) Add a shared pedestrian/vehicle zone by pavement marking between car parking spaces 28 and 32 and additional bright and even lighting along the pedestrian path of travel through this zone.
- k) Update the approved plans to ensure that accessible car parking space V2 complies with the applicable Australian Standards as a structural column is shown adjacent to it.
- l) Update the approved plans to achieve compliance with Schedule 4 of State Environmental Planning Policy (Housing) 2021.
- m) Update the approved waste management plan (DA-1109A) dated September 2021 and prepared by Benson McCormack Architecture to reflect the modifications approved by Modifications 2008/644/7 and 2008/644/9.
- n) Update the approved plans to remove the café from the lobby.
- o) Update the plans for building 7 to reflect the modifications approved by Modifications 2008/644/5 and 2008/644/7.
- p) The approved stage 2 subdivision plans must be updated to reflect the modified development layout approved by Modifications 2008/644/5, 2008/644/7 and 2008/644/9. The updates must reflect the outcomes of the approved subdivision plans listed in condition 1.0(1) of this development consent.

- q) Despite the amended plans approved by Modifications 2008/644/5, 2008/644/7 and 2008/9, the carriageway for Central Avenue and Nepean Street and the plaza between modified buildings 3 and 5 must utilise the materials and finishes as shown on the approved plans listed in the first table of condition 1.0(1) of this development consent.
- r) Increase the compensatory flood storage to be provided in the north eastern part of the site to 1,000m<sup>3</sup> in accordance with the approved flood assessment and stormwater drainage reports by Beveridge Williams listed in condition 1.0(1) of this development consent. Plans and details demonstrating the provision of the compensatory storage must be provided to Council for approval.

Amended plans or documentation demonstrating compliance must be provided to the certifier and Council prior to the issue of a Construction Certificate for the relevant stage.

- 3.0(10) **Detailed Landscape Plan** - A detailed landscape plan must be prepared in accordance with Appendix B of Camden Development Control Plan 2019. Details demonstrating compliance must be provided to the certifier.

The detailed landscape plan must also include:

- all universal access details for all open space areas and public facilities,
- consistency with the approved landscaping masterplan,
- compliance with the development control plan applicable to this site,
- consistency and mirroring of the approved Landscaping Concept Plans, (Landscaping Plans drawn by Paul Scrivener, Job No 08/1274/DA1, Sheets 1 to 4, Drawn 07/07/08, Issue C),
- the addition of the following tall tree planting:
  - one Jacaranda tree positioned centrally within the semi-circular central island at the end of Nepean Street as shown on the additional landscaping plan titled 'L6' and stamped approved by Camden Council,
  - 8 Cabbage Tree Palms positioned as shown on the additional landscaping plan titled 'L6 - Additional Tall Tree Planting' and stamped approved by Camden Council.

To achieve the additional tall tree planting, soil levels within the planters are to be gently mounded in the centre of the landscaped area by an additional 200mm above finished soil level at the edge of the planter,

- in relation to the landscaping plans approved by Modification 2008/644/9, update the plans to identify the plant species shown as 'WS' on the plans as a suitable tree species with a minimum mature height of 8m,
- all landscape amenity elements,

- detailed planting schedules, which includes positioning, species listed by botanical and common names, quantities, planting sizes and the estimated size of the plant at maturity,
- proposed landscaping that is consistent with the cultural, ecological, heritage and existing amenity of the area,
- proposed street trees including but not limited to the road verge are to be dwarf varieties (excluding the replacement street trees approved for John Street). The species selection and location are to take into account of any overhead powerlines and other existing services to satisfy Council's requirements,
- detail ongoing maintenance/irrigation management of planter landscape areas,
- updating the street tree works along John Street to only show the approved removal and replacement of the 6 existing street trees that adjoin the area of buildings 3 and 5,
- street trees positioned at approximate 10m centres,
- street trees sourced in accordance with the tests and measurements contained within AS2303-2018 - Tree Stock for Landscape Use,
- tree planting details and section drawings specifying root barriers where trees are to be planted in close proximity to hard surfaces i.e. to the back of the kerb and to footpaths,
- street trees centred within planting bays and no closer than 500mm to the back of the kerb,
- provision of a header course of pavers around each tree pit for the replacement John Street street trees. The edge of each tree pit must be reinforced concrete in accordance with Council's tree pit standards. The colour and style of clay paver must be approved by Council prior to installation, and
- compliance with the amended landscaping plans approved by Modifications 2008/644/7 and 2008/644/9 that are listed in condition 1.0(1) of this development consent.

3.0(49) **Detailed Stormwater Drainage Plans** - Detailed stormwater drainage plans must be prepared and submitted to Council and the certifier with the application for a Construction Certificate for the first building in each stage. These plans must clearly detail all proposed drainage works/infrastructure (including, but not limited to, permanent and temporary on-site stormwater detention facilities, stormwater overland flow paths and water quality treatment devices) to be installed on the overall development site to cater for stormwater drainage for each building and must be consistent with, and achieve the same outcomes as, the approved concept drainage plan and the Flood Study Report dated June 2008 by Siteplus and the drainage and civil works plans nos. 07318 (C02) (C04) (C05) (C10) (C13) (C14) (C16) (C15) by Siteplus as amended by:

- Sheet 1 of 4 Sheets Issue C by John M. Daley & Associates dated 29 September 2021.

- Sheet 2 of 4 Sheets Issue B by John M. Daley & Associates dated 5 September 2021.
- Sheet 3 of 4 Sheets Issue C by John M. Daley & Associates dated 29 September 2021.
- Sheet ADD1 of 4 Sheets Issue A by John M. Daley & Associates dated 29 September 2021.
- Drawing no. P00658-CI-FC-1021 Revision 3 by Group Development Services dated 18 October 2023.
- Drawing no. P00658-CI-FC-1321 Revision 3 by Group Development Services dated 18 October 2023.
- Drawing no. P00658-CI-FC-1322 Revision 2 by Group Development Services dated 18 October 2023.
- Drawing no. P00658-CI-FC-1421 Revision 3 by Group Development Services dated 18 October 2023.
- Drawing no. P00658-CI-FC-1441 Revision 3 by Group Development Services dated 18 October 2023.
- Drawing no. P00658-CI-FC-1441 Revision 2 by Group Development Services dated 18 October 2023.
- Stormwater Report for Buildings 3 and 5 and Incorporating Remainder of the Proposed Development of Lot 1 and Lot 2 in DP 1246185 Issue C by Beveridge Williams dated 29 September 2021.
- Flood Assessment by Beveridge Williams dated September 2021.
- Review of Stormwater Drainage and Flood Levels for Proposed Modified Buildings 4 and 6 by Beveridge Williams dated 18 January 2023.

and the conditions of this development consent.

- 3.0(53) **Site Auditor Review of Detailed Design Plans** - Prior to the issue of a construction certificate and the commencement of works involving the modifications approved by Modifications 2008/644/5 and 2008/644/9, the detailed design plans and the staging plans approved by the modifications (including all amendments required by the conditions of the development consent) must be reviewed by a NSW EPA accredited site auditor as defined by the *Contaminated Land Management Act 1997*. The auditor must confirm that the modifications (including all amendments required by the conditions of the development consent) approved by Modifications 2008/644/5 and 2008/644/9 do not alter any conclusions of Site Audit Statement 035-2124222R prepared by GHD (Andrew Kohlrusch) dated 6 August 2008.
- 3.0(56) **Lighting** - Lighting must be provided along all communal open space pathways, including within the plaza and communal open space adjoining buildings 3, 4, 5 and 6, and be designed in accordance with AS 4282 and AS 1158 and provide at least 20 lux at ground level.



Details demonstrating compliance must be provided to the certifier.

- 3.0(57) **Internal Surface Finishes** - For buildings 3, 4, 5 and 6, light coloured internal surface finishes must be used for dwellings that do not achieve any direct sunlight between 9am and 3pm at mid-winter.

Details demonstrating compliance must be provided to the certifier.

- 3.0(59) **Water and Electricity Outlets** - For buildings 3, 4, 5 and 6, water and electricity outlets must be provided for all terraces and balconies.

Details demonstrating compliance must be provided to the certifier.

- 3.0(60) **Liveable Housing Guidelines** - For buildings 3, 4, 5 and 6, 20% of the dwellings must achieve the Liveable Housing Guidelines silver level universal design features.

Details demonstrating compliance must be provided to the certifier.

- 5.0(7) **Evacuation and Access Strategy** - A detailed evacuation and access strategy must be submitted to Council for approval. The strategy must be consistent with the SES Camden Local Flood Plan and demonstrate that permanent, fail-safe maintenance free measures are incorporated in the development to ensure that timely, orderly and safe evacuation of people and potential pollutant material from the buildings on site, should a flood occur. The strategy must reflect each stage of the development and also the overall coordinated combined system of evacuation as each stage of development is completed.

The strategy must also address the following matters in relation to the modified buildings 2, 3, 4, 5 and 6 approved by Modifications 2008/644/5, 2008/644/7, 2008/644/8 and 2008/644/9:

- show the location of evacuation trigger(s) which are visible from the site i.e. no reliance upon the State Emergency Services or other emergency services,
- evacuation routes,
- rates of rise,
- evacuation centres,
- effective warning time to help facilitate safe evacuation of people and vehicles from the site,
- delineate the probable maximum flood (PMF) level flood extents,
- provide evidence that the user groups defined by Clause 18(1) of State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004 can reach areas above the PMF before PMF flows reach the maximum allowable  $D \times V = 0.4\text{m}^2/\text{s}$  product in accordance with the NSW Floodplain Development Manual. On-site sheltering is not permitted,
- include a strategy for the relocation of all vehicles and items from the basement car park prior to any inundation by flooding, and

- in relation to the modifications approved by Modifications 2008/644/8, include an evacuation strategy for all workers on the ground floor of building 2, including for the relocation of items, prior to any inundation by flooding.

The evacuation and access strategy must be complied with at all times for the life of the development.

- 6.0(14) **Protection for Existing Trees** - The protection of existing trees (on-site and street trees) must be carried out as specified by AS 4970 Protection of Trees on Development Sites. The following must also occur in relation to the existing Jacaranda trees to be retained between the eastern side of buildings 4 and 6 and Nant Gwylan:
- a) Excavation required for the basement and building works must be limited to 1m outside of the building/basement footprint.
  - b) Utility services and the like must be located within 1m of the building footprint.
  - c) A site arborist must be present during all excavation works adjacent to the trees and ensure that the works do not encroach further into the tree protection zones than permitted and that roots are cut cleanly when encountered.
  - d) The site arborist must direct and supervise the pruning of any tree branches required to be pruned to provide minimum clearance to permit building work.
  - e) The site arborist must develop a care plan for the trees including a fertiliser and watering regime following the works. The plan must be submitted to Council for approval within 1 month of the excavation works being completed. The plan must include a statement with photographic evidence confirming the works were confined to within 1m of the building footprint.

Addition of the Following Conditions:

- 3.0(67) **Detailed Drainage Design** - A detailed drainage plan and report must be provided to the certifying authority. All pipe grades, pipe covers and associated drainage infrastructure must be designed in accordance with Council's Engineering Design Specifications and AS 3500.
- 3.0(68) **Structural Certification (Drainage)** - The underground on-site detention and all non-standard (including drainage pits in excess of 2m) structural elements must be designed and certified by a suitably qualified structural engineer and take into consideration the impact of loads imposed by roads, traffic and hydraulic flows on the on-site detention. The structural certificate must reference the suitability of the top of the on-site detention tank being used as road pavement.
- The design must also take into consideration the recommendations of any geotechnical report applicable to the site. A statement to that effect must be provided to the certifier including a current copy of the structural engineer's professional indemnity insurance.
- 3.0(69) **Stormwater Detention and Water Quality** - An on-site detention system and water quality system must be provided for the site and designed in accordance with Council's engineering specifications.

A detailed on-site detention and water quality report, including a stormwater drains model and validated Camden Council MUSIC-link report with model reflecting the construction certificate plans in a pre-development vs post-development state must be provided to the certifier with the construction certificate application.

3.0(70) **Road Pavement Levels and Drainage** - The following information must be provided to the certifier with the construction certificate application:

- Detailed basin plans to demonstrate the interaction between the approved road pavement levels and the on-site detention tank.
- Plans and details demonstrating that drainage levels have been designed and referenced from the road plans by JMD Development Consultants titled 'Concept Driveway Longitudinal Sections' approved by Modification 2008/644/7.
- The 1% annual exceedance probability flood line must be provided on the on-site detention plan.

5.0(10) **Delay of Landscaping Works Adjoining Nant Gwylan** - All landscaping works within the tree protection zones of the existing Jacaranda trees to be retained between the eastern side of buildings 4 and 6 and Nant Gwylan must be delayed from commencing until 12 months following building excavation works.

7.0(32) **Positive Covenants** - Positive covenants must be registered over the:

- On-site stormwater detention/water quality facility for the maintenance, repair and insurance of the facility.
- Compensatory flood storage area in the north eastern part of the site for its use and maintenance as a flood storage area unless otherwise approved by Council.

**EXISTING CONDITIONS****1.0 - General Conditions of Consent**

- (1) **Approved Plans** - The development must be carried out generally in accordance with the following plans to meet the requirements of this consent:

Prepared By	Plans	Numbered	Dated
Playoust Churcher Architects	Preliminary	DA 1.0(E), 1.1(C) TO 1.8(C), 1.9(0)	March 2012 May 2009
Playoust Churcher Architects	Site & Floor	DA 2.1(F), DA 2.2F and DA 2.3 to 2.6(E)	March 2012
Playoust Churcher Architects	Elevations, Sections, Shadow Diagrams	DA 3.1(E) to 3.5(E)	March 2012
Playoust Churcher Architects	Shadow Diagrams	DA 3.6(0) to 3.8(0) DA 3.9(E) to 3.11(E) DA 3.12(0) to 3.22(0)	May 2009 March 2012 May 2009
Playoust Churcher Architects	Individual Building Plans	DA 4.1(F) to DA 4.2(E) DA 4.3(F) DA 4.4(E) DA 4.5(0) to 4.23(0) DA 4.24 (H) DA 4.25 (D) to 4.25(0)	March 2012 May 2009 March 2012 June 2012 March 2012
Playoust Churcher Architects	Colour & Finishes	DA 5.1(C) to 5.8(C)	August 2008
Gary John Skow	Plan of Subdivision (Stage 1)	11502	23 February 2018
Denny Linker & Co	Plan of Subdivision (Stage 2 - Final)	091116 D-COMM-SUB Printed 23/3/10	23 March 2010
Paul Scrivener Landscape Architects	Landscape Plans	1274-1(C) to 1274-4(C)	7 July 2008
Siteplus	Drainage and Civil Works plans	07138 (C02) (C04) (C05) (C10) (C13) (C15) (C14) (C16)	17 June 2008

As amended by the conditions of this development consent and the following plans and documents approved by Modifications 2008/644/5, 2008/644/7 and 2008/644/8:

Plan Ref.	Name of Plan	Prepared by	Date
DA-0001 C	Site Context Plan	Benson McCormack Architecture	September 2021
DA-0002 C	Site Plan	Benson McCormack Architecture	September 2021
DA-0100 B	GA - Basement Plan	Benson McCormack Architecture	July 2022
DA-0101 B	GA - Ground Floor	Benson McCormack	July 2022

		Architecture	
DA-0102 B	GA - Level 1 Plan	Benson McCormack Architecture	July 2022
DA-0103 B	GA - Level 2 Plan	Benson McCormack Architecture	July 2022
DA-0104 B	GA - Level 3 Plan	Benson McCormack Architecture	July 2022
DA-0105 B	GA - Roof Plan	Benson McCormack Architecture	July 2022
DA-0200 B	Elevations - North & South	Benson McCormack Architecture	July 2022
DA-0201 B	Elevations - East & West	Benson McCormack Architecture	July 2022
DA-0300 B	Sections - A & B	Benson McCormack Architecture	July 2022
DA-0960 B	External Finishes Schedule	Benson McCormack Architecture	July 2022
DA-1108 B	Revised Staging Plan	Benson McCormack Architecture	September 2021
DA-1109 A	Waste Management Plan	Benson McCormack Architecture	September 2021
DA-1110 A	Temporary Waste Storage Structure	Benson McCormack Architecture	September 2021
A1	Decorative Metal Panels	Camden Council	N/A
A.01 Rev 01	Building 2 Ground Level	N/A	8 November 2022
LA00	Landscape Plan 01	Matthew Higgins Landscape Architecture	4 August 2022
LA01	Landscape Plan 02	Matthew Higgins Landscape Architecture	4 August 2022
LA02	Planting plan: Trees 01	Matthew Higgins Landscape Architecture	4 August 2022
LA03	Planting Plan: Trees 02	Matthew Higgins Landscape Architecture	4 August 2022
LA04	Planting Plan: Shrubs 01	Matthew Higgins Landscape Architecture	4 August 2022
LA05	Planting Plan: Shrubs 02	Matthew Higgins Landscape Architecture	4 August 2022
LA06	Details 01	Matthew Higgins Landscape Architecture	4 August 2022
Sheet 1 of 4 Sheets Issue C	Drainage Concept Plans	John M. Daly & Associates	29 September 2021
Sheet 2 of 4 Sheets Issue B	Drainage Concept Plans	John M. Daly & Associates	5 September 2021
Sheet 3 of 4 Sheets Issue C	Concept Drainage Plan Ultimate Development	John M. Daly & Associates	29 September 2021
Sheet 4 of 4 Sheets Issue A	Concept Driveway Longitudinal Sections	John M. Daly & Associates	5 September 2021
Sheet ADD1	Plan Showing	John M. Daly &	29 September

of 4 Sheets Issue A	Modification Development Application Buildings 3 & 5	of of	Associates	2021
------------------------	---	----------	------------	------

Document Title	Prepared by	Date
BASIX Certificate 1170826M 02	Certified Energy	14 July 2022
BCA Assessment Report	BCA Logic	9 February 2021
Section J Energy Efficiency Report	Certified Energy	2 February 2021
Access Review Amended v2	Morris Goding Access Consulting	15 January 2021
Stormwater Report for Buildings 3 and 5 and Incorporating Remainder of the Proposed Development of Lot 1 and Lot 2 in DP 1246185 Issue C	Beveridge Williams	29 September 2021
Flood Assessment	Beveridge Williams	September 2021
Arborist Support for Stormwater Service Line Installation	Horticultural Management Services	18 July 2022

- (1A) **Development Staging** - The approved development must be constructed in accordance with the revised staging plan drawing no. DA-1108 Revision B by Benson McCormack Architecture dated September 2021 subject to the following requirements:
- the temporary waste bin storage room off Central Avenue can only be removed as part of the construction of building 7 in stage 5. The construction of building 7 in stage 5 must provide for the interim storage and collection of waste bins consistent with Council's waste management guideline until building 7 is fully completed and provides for their permanent storage and collection, and
  - the layby adjacent to the temporary waste bin storage room off Central Avenue must be completed as part of stage 2.
- (1B) **Demolition of Building 1** - Building 1 can be entirely demolished notwithstanding the reference on the approved plans to refurbish Building 1.
- (2) **Amendments to Approved Plans** - The amendments described below must be incorporated in the overall development and must be reflected in any plans prepared for the purpose of obtaining a Construction Certificate for building works for each relevant stage:
- Building 2 shall have the same setback from the boundary of 33a Exeter Street (Nant Gwylan and Gardens) as Buildings 4 and 6.
  - Balconies of Buildings 2, 4, 6, 14 and 12 shall be designed to ensure no direct overlooking of 33a Exeter Street (Nant Gwylan and Gardens).
  - Acoustic wall shall be provided to the boundary of 33a Exeter Street (Nant Gwylan) adjoining The Central Avenue (internal road) and Basement Carpark access to Building 12.
  - The doorways to the bulky waste room underneath modified buildings 3 and 5 and the waste room underneath buildings 4 and 6 must be a minimum of 1.8m wide.

- e) For buildings 3 and 5, all habitable dwelling rooms must have a window in an external wall with a total minimum glass area of at least 10% of the floor area of the room, or be in accordance with the glass areas shown on the approved plans, whichever is the greater.
- f) The temporary waste bin storage room off Central Avenue must be provided with:
- a floor area that is 20% larger than the size of the bins or equipment,
  - internal illumination,
  - ventilation in accordance with AS 1668.2 and AS 1168.4,
  - a smooth graded ground surface,
  - an external water tap adjacent to the room,
  - a drain that discharges to a sewer connection,
  - a path to the waste collection vehicle loading zone that is smooth with a maximum grade of 1:14,
  - decorative metal panels installed between the doors on its northern elevation generally consistent with/similar to the design shown on the additional plan titled 'A1 - Decorative Metal Panels' and stamped approved by Camden Council. The panel design must be submitted to Council for approval prior to installation, and
  - 'No Parking' signage displayed in the layby.
- g) Provide a temporary turning facility within the footprint of stage 4 (as part of the construction of stage 3) to allow for cars, Council's waste collection vehicles and service vehicles to turn around at the end of Central Avenue. The facility must be designed in accordance with Council's engineering specifications and waste management guideline.
- h) Provide a flood free pedestrian path for use in the event of flooding. The path must allow residents and visitors of buildings 1 and 2 to safely evacuate those buildings and must link from buildings 1 and 2 in stage 1 across stage 2 and then to John Street.
- i) Incorporate minor design modifications to ensure that the 22 units listed as achieving compliant solar access in accordance with the design criteria of Objective 4A-1 of the Apartment Design Guide will do so.
- j) Add a shared pedestrian/vehicle zone by pavement marking between car parking spaces 28 and 32 and additional bright and even lighting along the pedestrian path of travel through this zone.
- k) Update the approved plans to ensure that accessible car parking space V2 complies with the applicable Australian Standards as a structural column is shown adjacent to it.
- l) Update the approved plans to achieve compliance with Schedule 4 of State Environmental Planning Policy (Housing) 2021.
- m) Update the approved waste management plan (DA-1109A) dated September 2021 and prepared by Benson McCormack Architecture to reflect the modifications approved by Modification 2008/644/7.
- n) Update the approved plans to remove the café from the lobby.

- o) Update the plans for building 7 to reflect the modifications approved by Modifications 2008/644/5 and 2008/644/7.
- p) The approved stage 2 subdivision plans must be updated to reflect the modified development layout approved by Modifications 2008/644/5 and 2008/644/7. The updates must reflect the outcomes of the approved subdivision plans listed in condition 1.0(1) of this development consent.
- q) Despite the amended plans approved by Modifications 2008/644/5 and 2008/644/7, the carriageway for Central Avenue and Nepean Street and the plaza between modified buildings 3 and 5 must utilise the materials and finishes as shown on the approved plans listed in the first table of condition 1.0(1) of this development consent.

Amended plans or documentation demonstrating compliance must be provided to the certifier and Council prior to the issue of a Construction Certificate for the relevant stage.

- (3) **Maintenance Bond and Performance Bond** - A bond in the form of an unconditional trading bank guarantee or cash bond, to the value of \$100,000 must be lodged with Council prior to the issue of any Construction certificate. This bond is to cover:
- the maintenance of civil works constructed;
  - any damage to existing roads, drainage lines, public reserves or other Council property;
  - any damage to works required as a result of work not in accordance with Council's standards, and/or development consent conditions.

The maintenance bond shall be held for twelve (12) months after the Final Occupation Certificate for the final stage of the Development has been issued or for such longer period as determined by Council's engineer where a defect is identified and such defect arises within 6 months after the work is completed.

Council may refund the whole or any part of the bond where it is of the opinion that the quantum of expenditure to comply with the matters set out above is less than the value of the bond.

Where there is a threat to the safety of the public, Council is entitled to use the whole of or any part of the bond to rectify any damage or to undertake any maintenance or to perform any works necessary to rectify any defect in any public work required in connection with the consent. In all other cases, Council must give the applicant at least seven (7) days prior written notice of the required works and may only have recourse to the bond to carry out the works itself where the applicant has failed to carry out the works specified in the notice

In accordance with Council's Fees and Charges a non refundable administration fee of \$110 for cash/cheque bonds and \$220 for bank guarantees must be paid to Council upon lodgement of such bond.



- (4) **Waste Management Plan (Demolition and Construction)** - The management of waste must be undertaken generally in accordance with the "Waste Management Plan, prepared for AEH Group, prepared by ACOR Consultants Pty Ltd dated 4/07/08."
- (5) **Workcover Authority** - All work must comply with relevant requirements of NSW WorkCover Authority.
- (6) **Duty to Report Contamination** - Where contamination has been identified as entering or will foreseeably enter the neighbouring land, the atmosphere, groundwater or surface water, or exceeds or will foreseeably exceed a level of contamination set out in DECC's "Guidelines on the duty to report Contamination under the Contaminated Land Management Act 1997", the person who has become aware of the contamination must notify DECC immediately when they become aware of the contamination.
- (7) **Importation of Fill** - Prior to placement of any proposed fill on the subject site a validation report and sampling location plan shall be submitted to the Principal Certifying Authority for concurrence that validates that all such material: -
- (i) provides no unacceptable risk to human health and the environment;
  - (ii) is free of contaminants;
  - (iii) has had salinity characteristics identified in the report;
  - (iv) is suitable for its intended purpose and land use, and
  - (v) has been lawfully obtained.

A suitably qualified environmental consultant, as defined in Camden Council's "Management of Contaminated Lands Policy", must prepare the validation report.

The assessment of fill shall be completed in accordance with:

- The Department of Land and Water Conservation Booklet - "Site Investigation for Urban Salinity."
- The Department of Environment and Conservation Contaminated Sites Guidelines - "Guidelines For the NSW Site Auditor Scheme (2nd edition) - Soil Investigation Levels for Urban Development Sites in NSW."

The sampling for salinity of fill volumes less than 6000m<sup>3</sup> must provide for 3 sampling locations; fill volumes exceeding 6000m<sup>3</sup>, require one sampling location for each additional 2000m<sup>3</sup>. A minimum of 1 sample from each sampling location must be provided for assessment.

The sampling for Contamination should be undertaken in accordance with the following table:

Classification of Fill Material	No. of samples per volume	Volume of fill (m <sup>3</sup> )
Virgin Excavated Natural Material	1 (see note 1)	1000

*Note 1: Where the volume of each fill classification is less than that required above, a minimum of 2 separate samples from different locations must be taken*

- (8) **Location of Soil Stockpiles** - Stockpiles of soil shall not be located on or near any drainage lines or easements, natural watercourses or water bodies, footpath or roadway without first providing suitable protective measures adequate to protect these assets. All stockpiles of contaminated materials shall be suitably covered to prevent dust and odour nuisance.
- (9) **Hazardous Materials Removal Plan** - Hazardous materials to be removed as part of the demolition works must be removed in accordance with the "Hazardous Materials Removal Plan: AEH Lifestyle Estate Project No 3 Pty Ltd Camden High School John Street Camden NSW, Prepared by Noel Arnold & Associates Ref NO. SK0058:66243, Dated June 2008."
- (10) **Offensive Noise, Dust, Odour, Vibration** - Remediation, demolition and construction works shall not give rise to offensive noise, dust, odour, vibration as defined in the Protection of the Environment Operations Act 1997 (POEO) when measured at the property boundary.
- (11) **Dust** - All remediation and construction activities must be managed to ensure that dust is minimised and prevented from leaving each relevant stage.
- (12) **Prohibition of Pollution of Water** - All remediation and construction works conducted on each relevant stage must comply with "Section 120 - Prohibition of Pollution of Waters" of the POEO.
- (13) **Disposal of Stormwater** - Water seeping into any site excavations is not to be pumped into the stormwater system unless it complies with relevant EPA and ANZECC standards for water quality discharge.
- (14) **Remediation and Construction Noise Levels** - Noise levels emitted during remediation and construction works shall be restricted to comply with the construction noise control guidelines set out in Chapter 171 of the NSW EPA's Environmental Noise Control Manual. This manual recommends:
 

Remediation / Construction period of 4 weeks and under:

The L10 level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 20 dB(A).

Remediation / Construction period greater than 4 weeks:

The L10 level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 10 dB(A).
- (15) **Mechanical Plant Noise** - Noise from the combined operation of all mechanical plant and equipment shall not generate noise levels in excess of the Environment Protection Authority's Industrial Noise Policy.
- (16) **Bunding and Containment Systems** - Where there is a potential for any stored materials to spill and cause environmental harm, suitable bunding or alternative spill

containment systems must be in place. The bunding or containment systems must be designed, engineered and constructed to be suitable for the types and quantities stored therein in accordance with all appropriate standards.

- (17) **Removal Of Waste Materials** - Where there is a need to remove any identified materials from the site that contain fill / rubbish / asbestos, this material will need to be assessed in accordance with the NSW DECC Waste Classification Guidelines (April 2008) (refer [www.environment.nsw.gov.au/waste/envguidlins/index.htm](http://www.environment.nsw.gov.au/waste/envguidlins/index.htm)). Once assessed, the materials will be required to be disposed to a licensed waste facility suitable for the classification of the waste with copies of tipping dockets supplied to Council.
- (18) **Storage of Recyclable Waste** - All waste identified for recycling must be stored separately from other waste on the site.
- (19) **Vehicle Decontamination** - All vehicles that come in contact with contaminated materials will need to be swept down prior to exiting the site. The movement of vehicles should be policed so as to reduce their contact with contaminated materials.
- (20) **Site Security Fencing** - The site is to be kept secure at all times by a suitable fence that will prohibit access from non-authorised users. Any gates providing access to the relevant stage are to be locked at the conclusion of each working day.
- (21) **Recording of Complaints and Register** - The applicant / owner / site manager of each relevant stage must keep a legible record of all complaints that have been received in relation to the activity of remediation and / or construction works undertaken in each relevant stage or from works undertaken in relation to each relevant stage. A record of all complaints must be kept for the duration of remediation and development works and be produced to any Council Authorised Officer or Authorised Officer under the POEO who asks to see them.

The record must include details of the following:

- (a) the date and time of the complaint;
  - (b) the method by which the complaint was made;
  - (c) any personal details of the complainant which were provided by the complainant or, if no such details were provided, a note to that effect;
  - (d) the nature of the complaint;
  - (e) the action taken by the applicant / owner / site Manager in relation to the complaint, including any follow-up contact with the complainant; and
  - (f) if no action was taken by the applicant / owner / site Manager, the reasons why no action was taken.
- (22) **Notification of Complaint Line** - The applicant / owner / site Manager must notify the public of the complaints line telephone number and the fact that it is a complaints line so that any potentially impacted community members know how to make a complaint. Community notification must be via a letter box drop to all premises (including residential, commercial, industrial) located in the immediate area that is bounded by Mitchell, John, Exeter and Elizabeth Streets. In addition, a sign notifying the complaint line details must be erected in a prominent position and must remain

until the completion of remediation and development works on the external boundary of each relevant stage.

- (23) **No Refuse Burning** - Where building materials, trees and/or shrubs are required to be removed as part of works in each relevant stage, such materials must be removed from each relevant stage and be recycled or disposed to a licensed waste/refuse receiving facility. Under the Protection of the Environment Operations (Clean Air Regulations) 2002, the burning of anything in the Camden LGA is prohibited unless exempt by the regulations or prior written approval has been obtained from DECC.
- (24) **Copy of Consent** - A copy of the consent is to be kept on the property of the relevant stage at all times during demolition and construction following the commencement of remediation works. The consent must be produced to any Council Authorised Officer or Authorised Officer under the POEO who asks to view the consent.
- (25) **Hours Of Work** - The hours for all remediation, construction and demolition work are restricted to between:
- (a) 7am and 6pm Monday to Friday (inclusive);
  - (b) 7am to 4pm Saturday (if remediation/construction/demolition noise is inaudible to adjoining residential properties), otherwise 8am to 4pm;
  - (c) work on Sunday and Public Holidays is prohibited.
- (26) **Damaged Assets** - All engineering works and public utility relocation shall incur no cost to Camden Council. Any damage to Camden Council's assets shall be made good at no cost to Council prior to commencement of use/occupation of each relevant stage.
- (27) **Site Management** - To safeguard the local amenity, reduce noise nuisance and to prevent environmental pollution during the construction period, the following practices are to be implemented:
- The delivery of materials shall only be carried out between the hours of 7am - 6pm Monday to Friday, and between 8am - 4pm on Saturdays.
  - Stockpiles of topsoil, sand, aggregate, spoil or other material shall be kept clear of any drainage path, easement, natural watercourse, kerb or road surface and shall have measures in place to prevent the movement of such material off the site relating to each relevant stage.
  - Builder's operations such as brick cutting, washing tools, concreting and bricklaying shall be confined to the building allotment. All pollutants from these activities shall be contained on site and disposed of in an appropriate manner. Waste must not be burnt or buried on site, nor should windblown rubbish be allowed to leave the site relating to each relevant stage. All waste must be disposed of at an approved Waste Disposal Depot.
  - A waste control container shall be located in the site that relates to each relevant stage.

- (28) **Access From Public Places** - Construction access from public places (reserves, parks, walkways and the like) other than roads shall not occur without the prior consent of Camden Council. Bonds or legal agreements may be required to protect Council's assets if access from these places is approved.
- (29) **Geotechnical report** for each relevant stage indicating the assessment of stability of the excavation batters and any fence and structures on adjoining land should be submitted prior to the commencement of works in each relevant stage.
- (30) **Drainage Strategy** - The drainage strategy to address the management of stormwater during any works in each stage shall be submitted to the Consent Authority prior to the first Construction Certificate being issued for each relevant stage. The drainage system should address the stormwater generated during the staging process and all water must be treated for contamination prior to discharging to Council's system.
- (31) **Stabilised Access Point** - A Stabilised Access Point (SAP) incorporating a truck shaker must be installed and maintained at the construction ingress/egress location prior to the commencement of any work in each relevant stage. The provision of the SAP is to prevent dust, dirt and mud from being transported by vehicles from each relevant stage. Ingress and egress of each relevant stage must be limited to this single access point.
- (32) **Public Risk Insurance Policy** - Prior to the issue of any Construction Certificate, the owner/contractor is to lodge with Camden Council a Certificate of Currency for a Public Risk Insurance Policy with a minimum cover of \$10 million; the policy must relate to the occupation of and works within Council's road reserve. Where works are being carried out in more than one stage only one Public Risk Insurance Policy with a minimum cover of \$10 million shall be issued. The Public Risk Insurance Policy must cover all works being carried out by all contractors in each stage that work is being carried out in.
- The Certificate of Currency must remain current for the duration of all construction activities within Council's road reserve and until an occupation certificate is issued for the works for each stage adjacent to such road reserve.
- (33) **Excavated Sites** - All excavated sites must be stabilised with grass or other surface treatment to prevent erosion and instability and be enclosed with appropriate fencing to prevent access by public.
- (34) **Toilet Facilities** - Toilet facilities must be provided, at or in the vicinity of each relevant stage, at the rate of one toilet for every 20 persons or part of 20 persons employed in each relevant stage.

Each toilet provided must be standard flushing toilet, and must be connected:

- (i) to a public sewer, or
- (ii) if connection to a public sewer is not practicable, to an accredited sewage management facility approved by the council, or
- (iii) if connection to a public sewer or an accredited sewage management facility is not practicable, to some other sewage management facility approved by the council.

The provision of toilet facilities in accordance with this clause must be completed before any other work is commenced.

In this condition:

**accredited sewage management facility** means a sewage management facility to which Division 4A of Part 3 of the Local Government (Approvals) Regulation 1993 applies, being a sewage management facility that is installed or constructed to a design or plan the subject of a certificate of accreditation referred to in clause 95B of the Regulation.

**approved by the council** means the subject of an approval in force under Division 1 of Part 3 of the Local Government (Approvals) Regulation 1993.

**public sewer** has the same meaning as it has in the Local Government (Approvals) Regulation 1993.

**sewage management facility** has the same meaning as it has in the Local Government (Approvals) Regulation 1993.

- (35) **Hoarding and Ancillary Requirements** - Each relevant stage must be enclosed with a suitable temporary hoarding or security fence of a type approved by the Consent Authority, (i.e. Camden Council). An application must be lodged with and approved by Council prior to the erection of any hoarding or fence.

Note 1 No site or demolition works must commence before the hoarding or fence is erected and a Construction Certificate, if applicable, granted by a Certifying Authority.

Note 2 Public thoroughfares must not be obstructed in any manner whatsoever during demolition works.

Note 3 All demolition works must comply with the requirements of AS 2601 - 1991.

- (36) **Protection of Council Property** - All reasonable care must be taken to protect Council's roads, including the made footway, kerbs, trees, etc, and when plant and vehicles enter each relevant stage, the footway shall be protected against damage by deep sectioned timber members laid crosswise, held together by hoop iron straps and chamfered at their ends.
- (37) **Delivery Register** - In order to comply with the above, the applicant must maintain a register of deliveries which includes date, time, truck registration number, quantity of fill, origin of fill and type of fill delivered. This register must be made available to Camden Council officers on request and be submitted to the Council at the completion of the development.
- (38) **Protection of Nature Strips, Reserves and Trees** - All proposed work in Council's lands shall be done in consultation with the Council's Works Division with minimum disturbance to the land or activities. Where applicable, in any nature strip areas, trees shall be protected by tree guards, protective bollards etc. All disturbed areas shall be restored to Council's standard.
- (39) **Archaeological Artefacts** - During any works involving site disturbance, should artefacts be uncovered which may have archaeological or historical significance, Council or the appropriate authority must be notified immediately. Such notification should occur prior to any further land disturbance or removal of the artefact.

- (40) **Disconnection of Services** - All services (i.e. sewer, phone, gas, water and electricity) must be disconnected prior to commencement of any remediation, demolition or construction of each relevant stage. The applicant is obliged to consult with the various service authorities regarding their requirements for the disconnection of services.
- (41) **Destination of Waste Material** - Demolition materials must be disposed of to an approved land-fill site and where appropriate to an approved recycling outlet. Details of the method of waste disposal must be lodged with the Consent Authority (i.e. Camden Council) prior to commencement of work.
- (42) **Demolition/WorkCover Licence** - Persons undertaking demolition work shall be licensed under the Occupational Health and Safety (Demolition Licensing) Regulation 1995. WorkCover issues demolition licences to applicants who successfully undertake the Demolition Supervision Course, and who can demonstrate their ability and experience in the field.
- (43) **Burying of Demolition Materials** - No demolition materials shall be buried on the site, other than with the written consent of Council.
- (44) **Prevention of Nuisance to Inhabitants** - All possible and practical steps shall be taken to prevent nuisance to the inhabitants of the surrounding neighbourhood from wind blown dust, debris, noise and the like.
- (45) **Giving Notice to Other Statutory Authorities** - The applicant shall give notice of commencement to other Statutory Authorities such as Sydney Water, WorkCover etc as required under legislation and regulations.
- (46) **Vehicles Leaving the site of each relevant stage** - The demolisher shall:
- (i) cause motor lorries leaving the site of each relevant stage with demolition material and the like to have their loads covered;
  - (ii) ensure the wheels of vehicles leaving the site of each relevant stage do not track soil and other waste material onto the public roads adjoining each relevant stage.
- (47) **Removal of Hazardous and/or Intractable Wastes** - Hazardous and/or intractable wastes arising from the demolition process shall be removed and disposed of in accordance with the requirements of the relevant Statutory Authorities, and receipts submitted to Council for verification of appropriate disposal.
- (48) **Demolition Australian Standard** - Demolition of the building(s) shall be carried out in accordance with the requirements of Australian Standard 2601 - 1991 where applicable.
- (49) **Site Security for Demolition Works** - The site of each relevant stage shall be secured prior to the commencement of demolition and to the satisfaction of the Council or the Accredited Certifier and in accordance with Clause 78H of the Environment Planning and Assessment (Amendment) Regulation 1998.
- (50) **Asbestos** - All material in the building which contains asbestos shall be removed in accordance with the guidelines of the WorkCover Authority (telephone 9370 5099) and requirements of the Environmental Protection Authority.

- (51) **Demolition Access Authorised Persons** - Access to the site of each relevant stage shall be restricted to Authorised Persons Only and the site of each relevant stage shall be secured against unauthorised entry when building work is not in progress or each relevant stage is otherwise unoccupied.
- (52) **Demolition Sign Name of Builder** - A sign shall be displayed on the site of each relevant stage indicating the name of the builder or another person responsible for each site of each relevant stage and a telephone number of which the builder or other person can be contacted outside normal working hours or when each site of each relevant stage is unattended.
- (53) **Building Code of Australia** - All works must be carried out in accordance with the requirements of the Building Code of Australia.
- (54) **Disability Discrimination Act** - This approval does not necessarily guarantee compliance with the Disability Discrimination Act 1992, and the applicant/owner is therefore advised to investigate their liability under the Act.
- Your attention is drawn to AS1428 parts 2, 3 and 4 inclusive. This may be used as a comprehensive guide for disability access.
- (55) **Access For People With Disabilities** - Access for people with disabilities shall be provided in accordance with the requirements of Part 03 of the Building Code of Australia. Prior to the issue of a construction certificate, the plans shall be amended to reflect the above.
- (56) **Individual Tenancies (Commercial / Restaurant)** - Approval is given for the construction of shops, offices and Motel/Restaurant/Function Centre (and the like) only and not the use of the buildings. The use and occupation of each and all individual tenancies are subject to a separate Development Application being lodged with the Consent Authority.
- (57) **Place of Public Entertainment** - A separate development application is required for the use of the premises as a place of public entertainment.
- (58) **Materials** - Public and private footpaths should match Council's preferred clay paver, as recently used in the Argyle Street median upgrade, Austral Victorian Classic Range - Victorian Blue.
- (59) **Advertising Signs Application** - Outdoor advertising structures require prior development consent. A development application must be submitted and approval granted by the Consent Authority (i.e. Camden Council) prior to the erection of any advertising signs.
- (60) **Design Standards** - Engineering design drawings are to be prepared strictly in accordance with Camden Council's Engineering Works Development Control Plan and the Guidelines for engineering design specification.
- (61) **Construction Standards** - All civil engineering work associated with work in Council's road reserve must be carried out strictly in accordance with Camden Council's Draft Engineering Design and Construction Specifications - May 2003 for roadworks, drainage and other works associated with the development.



- (62) **General Requirement** - All activities associated with the development must be carried out- and must be carried out in an environmentally satisfactory manner as defined under section 95 of the POEO.
- (63) **Emission Requirements** - All gases, odours, fumes, steam, moisture and particulate matter generated by the use of any premises must be collected into approved stacks for discharge to the atmosphere. The quality of the discharges from the stack system must comply with the requirements of the POEO as amended and Regulations made thereunder.
- (64) **Compliance with POEO Act 1997** - Ensure that all business and operational activities are carried out in accordance with the provision of the Protection of the Operations Act (POEO) 1997 at all times.
- (65) **Swimming Pools / Spas** - Swimming and /or spa pool/s and surrounds must be constructed, operated and maintained in accordance with the Public Health (Swimming Pools and Spa Pools) Regulation 2000 and the Department of Health NSW Public Swimming Pool and Spa Pool Guidelines 1996.
- (66) **Swimming Pool Disinfection** - The swimming pool water shall be disinfected using continuous dosing equipment.
- (67) **Non-Slip Concourse for Pool** - The concourse area that surrounds the pool is to be designed of non-slip materials.
- (68) **No Sharp Edges for Pool** - The internal finish applied to the pool must ensure that there are no sharp edges.
- (69) **Ventilation of Food Premises** - Adequate provisions shall be made for the installation of mechanical ventilation shafts designed to discharge effluent air above roof level for food premises where cooking / heating of food is to be carried out. Such discharges shall be in accordance with the requirements of AS 1668 Part 1 & 2.
- (70) **Dilapidation Survey** - A photographic dilapidation survey of existing public roads, kerbs, footpaths, drainage structures and any other existing public infrastructure within the immediate area of the development site must be submitted to the Council prior to the commencement of any work.
- The survey must include descriptions of each photo and the date when each individual photo was taken.
- (71) **Waste Collection by Council** - A covenant must be created entitling Camden Council, its servants, agents, and persons authorised by it, to enter upon the subject land and to operate thereon vehicles and other equipment for the purpose of collecting refuse and recycling matter.
- The applicant must indemnify Council against any claims arising from any damage caused to any development on the site as a result of Council's waste management vehicles accessing the site for purposes of waste collection.
- (72) **No Gates** - This development consent does not approve the erection of any gates at the development's proposed entrances/exits to/from John and Elizabeth Streets. No gates must be installed across these entry/exit points.

- (73) **Stormwater Drainage Infrastructure in John Street Public Road Reserve** - The stormwater drainage infrastructure to be located in the John Street verge shall be amended to be located in the John Street road carriageway in accordance with Council's engineering specifications.

The existing discharge pipe on the northern side of Exeter Street shall be upgraded in its capacity to direct discharge additional stormwater from the proposed drainage line from this development. A direct drainage line across the intersection of John and Exeter Streets must be provided in accordance with Council's engineering specifications.

Pits and connection points shall be provided at locations where future drainage from the development site is to be discharged. Approval of these works is subject to the lodgement and approval of a Public Road Activity application by Council pursuant the Roads Act 1993.

- (74) **Deleted.**

- (75) **Deleted.**

- (76) **Deleted.**

- (77) **Car Parking Spaces and Access -**

**Buildings 1 and 2 in Stage 1**

All basement car parking spaces and the entry and exit to John Street must be fully constructed prior to the issue of an Occupation Certificate for either building 1 or 2 in stage 1.

**Buildings 3 and 5 in Stage 2 and Buildings 4 and 6 in Stage 3**

All basement car parking spaces relating to the individual stages 2 and 3, and the entry/exit from/to the overall development's internal street (located in stage 2), must be fully constructed prior to the issue of an Occupation Certificate for any or all of buildings 3 and 5 in stage 2 and for any or all of buildings 4 and 6 in stage 3.

**Buildings 8, 9, 10 and 11 in Stage 4**

All basement car parking spaces located underneath buildings 8, 9, 10, 11, 12, 13, 14 and 15 in stage 4 and the entry/exit from/to the overall development's central avenue must be fully constructed prior to the issue of an Occupation Certificate for any or all of buildings 8, 9, 10 or 11 in stage 4.

**Buildings 12, 13, 14 and 15 in Stage 4**

All basement car parking spaces located underneath buildings 12, 13, 14 and 15 in stage 4 and the entry/exit from/to the overall development's central avenue must be fully constructed prior to the issue of an Occupation Certificate for any or all of buildings 12, 13, 14 and 15 in stage 4.

**Building 7 in Stage 5**

The basement car park and entry/exit from/to John Street must be fully constructed prior to the issue of an Occupation Certificate for building 7 in stage 5.

- (78) **Deleted.**
- (79) **Use of Lower Ground Floor Levels in Buildings 1 and 2** - The use of the lower ground floor levels of building 1 and 2 is restricted to only residents, guests of residents and employees working on the subject site at all times.
- Signage is to be placed conspicuously at all entrances and exits to the lower ground floor levels of buildings 1 and 2 stating this restriction.
- (80) **Shoring and Adequacy of Adjoining Property Works** - If the approved development involves an excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, the person having the benefit of the consent shall, at the person's own expense:
- a) protect and support the adjoining building, structure or work from possible damage from the excavation; and
  - b) where necessary, underpin the building, structure or work to prevent any such damage.
- This condition does not apply if the person having the benefit of the consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.
- A copy of the written consent must be provided to the principal certifier prior to the excavation commencing.
- (81) **Temporary Waste Bin Storage Room off Central Avenue** - In the event that temporary construction site fencing around the site is modified or removed and the temporary waste bin storage room off Central Avenue becomes visible from John Street, landscaping must be provided in accordance with the following parameters:
- along the southern and western boundaries of the room for its entire length and width,
  - capable of achieving a minimum mature height of 3m,
  - planted so as to achieve a minimum visual block out density of 75% of the rooms southern and western elevations, and
  - maintained in a complete and healthy condition until the waste room's removal as part of the construction of building 7 in stage 5.
- (82) **Modifications 2008/644/5 and 2008/644/7** - Modifications 2008/644/5 and 2008/644/7 only approve the modifications specifically proposed by those applications and subject to the conditions of this development consent.
- (83) **Flood Free Pedestrian Path** - The flood free pedestrian path required by condition 1.0(2) of this development consent must be provided within 6 months of the date of an Occupation Certificate being issued for buildings 1 or 2 (unless otherwise approved in writing by Council).

## 2.0 Remediation Requirements

- (1) **Remediation Works** - All works proposed as part of the Remediation Action Plan that includes: remediation, excavation, stockpiling, onsite and offsite disposal, asbestos management that includes storage, cut, fill, backfilling, compaction, monitoring, validations, site management and security, health and safety of workers, must be undertaken on the site of each relevant stage in accordance with the Remediation Action Plan Report titled "Report on Remediation Action Plan: Former Camden High School Camden NSW, Prepared for AEH Group, Prepared by URS, Ref No 43217705/Camden rap, dated 11 June 2008," and "Report Supplement to Remediation Action Plan (URS2008), Prepared for AEH Group, Prepared by URS, Ref No 43217705, dated 3 April 2009 and "FinalReport Additional Supplement to Remediation Action Plan (URS2008), Prepared for AEH Group, Prepared by URS, Ref No 43217705, dated 30 March 2010." except as expressly provided by a separate condition of this consent.
- (2) **Further Monitoring of Groundwater** - Further monitoring of groundwater will be required to be undertaken prior to, during and post completion of all remediation works. Sampling and testing is to be undertaken at least annually or as required by the site auditor. Sampling and testing must continue until groundwater conditions have been characterised and are deemed to be acceptable to the site auditor.
- (3) **Additional Management and Operation Plans** - To support the remediation strategy the following plans are required to be completed in respect of each relevant stage and submitted to the Camden Council prior to the commencement of any works associated with the remediation of each relevant stage.
  - Contaminated Materials Management Plan (CMMP);
  - Sedimentation and Erosion Control Plan (S&ECP);
  - Emergency Response Plan (ERP);
  - Works Progress Plan (WPP);
  - Monitoring Plan (MP);
  - Odour Management Plan (OMP);
  - Quality Assurance and Quality Control Plan (QA&QCP);
  - Emergency & Contingency, Management Plan (ECMP);
  - Site Specific Project Health and Safety Plan (SSPH&SP).
- (4) **Site Management Plan** - A Site Management Plan for each relevant stage must be submitted to Council prior to the issue of a Construction Certificate. The plan must be prepared by a suitably qualified person in accordance with AS/NZ ISO 14000 - 2005 and must address, but not be limited to, the following issues as they relate to each relevant stage:
  - (a) All matters associated with Council's Erosion and Sediment Control Policy.
  - (b) All matters associated with Occupational Health and Safety.
  - (c) All matters associated with Traffic Management/Control during remediation, demolition and construction, which should address issues of access of construction traffic, storage of material, location of site office, and parking for workers, use of equipment and other matters which has an impact on the road network or immediate environment.

The purpose of such is to ensure safety and minimise the effect on adjoining pedestrian and traffic systems. Plans detailing such matters must be prepared in accordance with the most current edition of AS1742.3 and to the requirements of the Roads Authority.

Any construction work which involves access to a public road shall be subject to an approval of a Public Road Activity Application to Council accompanied by a Traffic Control Plan prepared by a RTA accredited Certifier.

Appropriate Traffic Control Plans shall be submitted for each stage of construction including the use of Council's road and footpath for construction purposes.

The plan must be included in a Public Road Activity Application (Other) submitted to, and approved by, the Roads Authority, (i.e. Camden Council) prior to the commencement of work.

Such an application is available at Camden Council's Customer Service Counter.

- (d) All other environmental matters associated with works such as noise control, dust suppression, waste management and the like.
- (5) **Notice of Commencement of Work** - Notice in the form prescribed by the Environmental Planning and Assessment Regulation 2000 shall be lodged with the Consent Authority (Camden Council) at least 2 days prior to commencing remediation works in each relevant stage.
- (6) **Variation or Modification of Works** - Any variation or modification of remedial works or compliance or validation works, from that stated in the Remediation Action Plan and other accompanying reports referenced in Condition 3, other than those variations or modifications as stated in this consent, must be requested from the Consent Authority in writing and approved by the Consent Authority and a NSW DECC Accredited Site Auditor in writing prior to any such works being undertaken.
- (7) **Supervision of Remediation Works** - A qualified and experienced Environmental Officer who is familiar with the approved Remediation Action Plan will be required to be onsite to provide full time supervision of all remediation works to complete documentation of such works and to ensure that such works are undertaken in accordance with this consent.
- (8) **Compliance of Remediation Work** - All remediation work must also comply with the following requirements:
- Contaminated Land Management Act 1997;
  - Department of Urban Affairs and Planning - Contaminated Land Planning Guidelines 1998;
  - SEPP55 -Remediation of Land;
  - Sydney Regional Plan No 20 Hawkesbury Nepean River (No 2 - 1997); and,
  - Camden Council's Adopted Policy for the Management Of Contaminated lands.

- (9) **Site Validation Report** - A validation report incorporating a notice of completion must be submitted to the Consent Authority in accordance with the requirements of clause 7.2.4 (a) -(d) and clause 9.1.1 of Council's adopted Policy - Management of Contaminated Lands and clause 17 & 18 of SEPP 55 for each stage of completed remediation works. Alternatively, where all remediation works are proposed to occur at the one time, a single report will be sufficient. The notice/s or reports must confirm that all decontamination and remediation works have been carried out in accordance with the remediation plan and must be submitted to the Site Auditor within 60 days, (or such other time as varied by the site auditor) of the final results becoming available. The Consent Authority shall be provided with the validation report within 30 days following the Auditor's review.
- (10) **Site Audit Statement** - At the conclusion of all remediation works or stages of remediation work the applicant shall have such works and validation documentation reviewed by an independent NSW Site Auditor accredited by DECC under the Contaminated Land Management Act 1997. The auditor shall undertake a site audit of the works and documentation and provide a Site Audit Statement (SAS) that clearly states if the land the subject of the remediation is suitable for the intended (future) use. The SAS must be submitted to the Consent Authority within 30 days following the auditor's review of the Site Validation Report.
- (11) The issuing of any conditions proposed to be imposed on a SAS must comply with the Contaminated Sites Guidelines for the NSW Site Auditor Scheme (2nd edition) dated April 2006, or any amended, revised or replacement guideline.
- (12) **Works As Executed Plan** - A works as executed plan that identifies the area remediated in each relevant stage and the extent of the works undertaken (that includes any encapsulation work) must be prepared by a registered surveyor and be submitted to the Consent Authority with the final Site Validation Report for each relevant stage.
- (13) **Potentially Offensive Odour** - Remediation works must not cause or permit the emission of offensive odour, as defined within the Protection of the Environment Operations Act (POEO), to occur beyond the boundary of the development site.
- (14) **Offensive Odour** - Where a Council Authorised Officer or an Authorised Officer (under POEO) deems that offensive odour has occurred beyond the boundary, then the carrying out of remediation works approved by this development consent must cease immediately until the offensive odour has been eliminated or is controlled to the satisfaction of the Authorised Officer.
- (15) **Monthly Environmental Monitoring and Performance Reporting** - The applicant must throughout the entire period of remediation works for each relevant stage and, until the remediation works for each relevant stage have been completed and validated, conduct regular environmental monitoring and prepare and submit to the Council each month a monthly environmental monitoring and performance report.

In addition to help ensuring consent compliance, the report will allow the review of environmental performance of remediation works with respect to the potential levels of odour and noise generation. The assessments must be undertaken by a Qualified Environmental Assessment Officer and be conducted when actual remediation works are at their worst. Monitoring shall be undertaken at the boundaries of the most potentially affected residents / premises located down wind of the remediation works.

The monthly report should include as a minimum:

- (a) Assessment of at least two "grab sample" odour samples (gathered at least two weeks apart) in accordance with "NSW EPA, 2001 Draft Policy: Assessment and Management of Odour from Stationary Sources in NSW, January 2001 and the Technical Notes."
- (b) At least four attended noise assessments (completed on a weekly basis for a time period of one hour) in accordance with "NSW EPA Industrial Noise Policy".
- (c) A copy of the complaints register for the month and details of how complaints were addressed and resolved;
- (d) Identification of any non-compliance with the conditions of consent that includes odour and noise.
- (e) Details of additional measures to be implemented to address any non-compliance.
- (f) Details relating to the volumes and types of materials (in tonnes) that have been excavated, sorted and processed as part of the remediation works, and how much waste material (in tonnes) has been disposed of off-site.
- (g) Details of volumes of fill (VENM) material (in tonnes) brought onto the site for each relevant stage.
- (h) A copy of the completed delivery register.

The first report must be submitted to the Consent Authority within one month after the commencement of excavation works that forms part of the remediation works and every month thereafter, or as otherwise agreed in writing by the Consent Authority.

- (16) **Storage and Treatment of Leachate** - Where liquid leachate is extracted from the landfill as a result of remediation works, the leachate is not permitted to be re-used on site for any purpose and must be temporarily stored on site in a suitably enclosed holding tank prior to transport removal off-site to a DECC licensed liquid waste facility. The holding tank must be bunded and not allow the release of odour from the stored leachate into the atmosphere. The transport of the leachate must be undertaken by a DECC licensed transport company.

Copies of disposal receipts / dockets must be obtained and be supplied to the Consent Authority as per the Condition for "Monthly Environmental Monitoring and Performance Reporting."

- (17) **Leachate Ponds** - The construction and use of leachate ponds on site is not permitted.
- (18) **Reuse of Effluent (Leachate)** - Once leachate is collected from the landfill site it is not permitted to be reused on site for any other purpose.
- (19) **Notice to Adjoining Owners of Remediation** - The following matters must be satisfied prior to and during remediation:
  - a. The applicant shall give written notice to adjoining landowners and residents seven (7) days prior to the commencement of remediation advising of commencement date;

- b. Safe access to and from adjoining buildings shall be maintained at all times;
  - c. No remediation activity shall cause damage to or adversely affect the structural integrity of any adjoining building;
  - d. Consideration shall be given to the need for shoring and underpinning, and to changes in soil conditions as a result of the remediation, and appropriate measures implemented;
  - e. The effects of vibration and concussion on adjoining buildings and their occupants must be minimised;
  - f. Where the surface of an adjoining building is exposed by remediation, the need for weatherproofing the exposed surface shall be investigated and temporary or permanent protection provided as appropriate.
- (20) **Odour Management** - Where contamination materials are determined to be odorous or potentially hazardous, the applicant shall ensure that appropriate controls are implemented to eliminate any hazard or odour impact.
- (21) **Licenses** - It is the responsibility of the applicant / owner / operator to ensure that all relevant licenses are obtained from all appropriate authorities in accordance with relevant legislation requirements prior to the commencement of remediation works.
- (22) **Stormwater Impacts on the Remediation of Stage 4** - During the remediation of the containment cell in Stage 4, an impermeable barrier must be installed in order to prevent infiltration from over land storm water flows in the event of site flooding. In addition, the containment cell area must be protected from storm water infiltration via precipitation at all times during its remediation.
- (23) **Additional Groundwater Testing** - Additional groundwater sampling and testing is to be undertaken to a sufficient depth to ensure sampling and testing of shallow regional ground water. The results of such testing are to be provided to the site auditor. Sampling and testing results are to be provided to the site auditor 14 days prior to any other works commencing in relation to any stage.
- (24) **Groundwater Assessment and Groundwater Monitoring Results** - The test results for all groundwater assessment and groundwater monitoring samples are to be provided to the Site Auditor within 60 days, (or such other time as varied by the site auditor) of the results becoming available.
- (25) **Amendments to Remediation Action Plan (RAP)** - Prior to works commencing, the site auditor is to confirm that the RAP is adequate to remediate the identified groundwater contamination. If the site auditor is of the opinion that the RAP requires amendment then the applicant is to provide the site auditor with an amended RAP prior to works commencing on any stage, and if required by the site auditor, this must include a Human Health and Environment Risk assessment as referred to in Section 7.4.2 of the RAP URS, 11 June 2008 and if necessary a Section 96 Modification application must be submitted to Council.
- (26) **Prevention of Cross Contamination** - Prior to the issue of any Occupation Certificate being issued for Stage 4 or any part of Stage 4 the applicant must provide sufficient material for the Site Auditor to be satisfied that earlier stages (that have been certified as suitable for the intended use in accordance with RAP URS 11 June



2008 and other documents referred to in condition 1 of part 2 of this consent) have not been recontaminated by site works or adjacent site contamination relating to any complete stages.

- (27) **Section 88B Instrument for Ongoing Management** - Should the site auditor incorporate a condition in any Site Audit Statement that requires ongoing compliance with a management plan for a lot, a Section 88B instrument (Conveyancing Act NSW) is to be registered on that lot prior to any Occupation Certificate being issued.
- (28) **Barrier** - The barrier referred to in Section 7.4.2 of RAP URS 11 June 2008 is not approved by this development consent. Should such a barrier as referred to in Section 7.4.2 of RAP URS 11 June 2008 be deemed necessary, a separate development application must be submitted to Council for assessment and determination.

### 3.0 - Construction Certificate Requirements

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Construction Certificate Before Work Commences** - This consent does not allow site works, building or demolition works to commence nor does it imply that the plans attached to this consent comply with the specific requirements of Building Code of Australia. Such works must only take place after a Principal Certifying Authority (PCA) has been appointed and a Construction Certificate has been issued.
- (2) **BASIX Certificate** - Under clause 97A(3) of the Environmental Planning & Assessment Regulation 2000, it is a condition of this development consent that all the commitments listed in each relevant BASIX Certificate for the development are fulfilled. In this condition:

Relevant BASIX Certificate means:

- (a) a BASIX Certificate that was applicable to the development when this development consent was granted (or, if the development consent is modified under section 96 of the Act, a BASIX Certificate that is applicable to the development when this development consent is modified); or
- (b) if a replacement BASIX Certificate accompanies any subsequent application for a construction certificate, the replacement BASIX Certificate; and
- (c) BASIX Certificate has the meaning given to that term in the Environmental Planning & Assessment Regulation 2000."

A BASIX Certificate must be submitted prior to the issue of the first Construction Certificate for building works for each relevant stage.

- (3) **Additional Salinity Investigations and Management Plan** - A qualified environmental consultant is required to undertake further salinity assessments of the site of each relevant stage to determine if the soils are aggressive to concrete and steel. The assessment is to be undertaken in accordance with the requirements of Department of Infrastructure Planning and Natural Resources Booklet "Site Investigations for Urban Salinity" and be investigated following the completion of the approved remediation works / bulk earthworks for each site within each relevant

stage. The depth of sampling must extend (below the ground surface) to the approved depth of development in each site for each relevant stage.

A salinity assessment must be carried out prior to any works being carried out in each relevant stage and prior to the issue of the first Construction Certificate for each relevant stage.

Where the assessment report indicates that soil / groundwater is aggressive to concrete and/or steel then the applicant must prepare and submit to Camden Council a detailed Salinity Management Plan for each relevant stage.

Where a detailed Salinity Management Plan (SMP) is required for the development, the plan prepared for each site for each relevant stage should address the risks posed to all proposed built assets by the saline environment and also address risks posed to the natural environment by the proposed assets. The SMP for each site for each relevant stage is to be submitted to Camden Council prior to the Certifying Authority issuing the first Construction Certificate for each site for each relevant stage.

Where required, the SMP for each relevant stage must address:

- private (including dwellings) and public assets that will be constructed
- major construction activities and associated risks;
- the appropriate management strategies that includes construction requirements to mitigate the risk;
- the person / party responsible for managing the action.

The plan is to be prepared by a suitably qualified Consultant who has recognised expertise in the management of "salinity aggressiveness" and its impacts on construction materials and be approved in writing by the Certifying Authority prior to the commencement of construction works in each relevant stage. Following Certifying Authority approval, all recommendations in the SMP must be implemented for each relevant stage.

- (4) **Services** - Prior to the issue of the first Construction Certificate for each relevant stage the following service authority clearances must be obtained and submitted to the Certifying Authority for inclusion in any Construction Certificate application:
- A certificate pursuant to s73 of the Sydney Water Act 1994 stating that both water and sewerage facilities are available to each allotment in each relevant stage. Application for such a certificate must be made through an authorised Water Servicing Co-Ordinator.
  - A letter from Integral Energy stating that all its requirements and any conditions of this consent for each relevant stage have been satisfied.
  - A letter from an approved telecommunications service provider stating that satisfactory arrangements have been made for the provision of underground telephone plant within each site for each relevant stage.
- (5) **Public Utility Service Plans** - Public Utility Service plans must be submitted to the Certifying Authority for inclusion in the first Construction Certificate application for each relevant stage. The plan/s must:-

- be prepared by a designer accredited by a scheme approved by relevant Public Utility Service Authorities,
  - be suitable for approval by relevant Public Utility Service Authorities,
  - incorporate any relevant conditions associated with this Development Consent,
  - recognise all provisions and requirements of the current Streets Opening Conference.
- (6) **Plan of Management** - Prior to the issue of the first Construction Certificate for each relevant stage the Applicant must submit to the Consent Authority for approval operation, maintenance and monitoring manuals for the temporary water quality treatment devices proposed to service the development. The manuals are to include, but not be limited to the following:
- Desilting
  - Flocculation
  - Sediment removal
  - Removal of noxious weeds
  - Acceptance of water quality discharge parameters as stated in the Clean Waters Regulations 1972.

The manuals are to be prepared by a suitably qualified professional and make recommendations where water quality does not comply with the Clean Waters Regulations prior to any proposal to discharge from the temporary devices.

- (7) **Works Within Each Relevant Stage** - Design plans for drainage, roads, access ways, earthworks, pavement design, details of line marking and traffic management and all other matters associated with Development Control Plan 2006.

The recommendations of the Salinity Management Plan, Camden Council's Draft Engineering Design Specification - May 2003, and certified by accredited certifiers with Civil Engineering and Subdivisional Geotechnics accreditation must be submitted to the Certifying Authority for inclusion in any application for the first Construction Certificate for each relevant stage.

- (8) **Landscaping Plan** - Prior to the issue of the first Construction Certificate (CC) for building works for each stage, detailed Landscaping Plans prepared by a qualified landscape architect or qualified landscape designer, must be submitted with the CC application to Council and the Principal Certifying Authority. Council must approve all landscaping works proposed to take place within all public road reserves.

- (9) **Landscaping Maintenance & Establishment Period** - All landscaping works associated with this Consent are to be maintained and successfully established. The landscaping maintenance and establishment works will be for a period of 12 months. The maintenance and establishment period is to commence from the earlier of the issue of the Occupation Certificate for each site of each stage or the Date of Practical Completion.

For the purposes of this Condition of consent the Date of Practical Completion (DPC) is that date when the Applicant and the Principal Certifying Authority (PCA) agree that the Landscaping works have been satisfactorily completed as per:

- the approved Landscaping Plans applying to this Consent; and
- the Detailed Landscape Plan.

It is the Applicant's responsibility to arrange a site inspection with the PCA, upon initial completion of the Landscaping works, to determine and agree upon, an appropriate DPC.

At the completion of the landscaping maintenance and establishment period, all areas of lawn and plantings, including any nature strip/road verge areas and garden bed areas, shall have signs of healthy and vigorous growth. Any trees, shrubs, grasses, nature strip/road verge areas, garden areas or lawn areas in a state of decline, damaged or missing are to be replaced or restored to a healthy and vigorous condition.

At the completion of the maintenance and establishment period, the landscaping works must comply with the Detailed Landscape Plan.

Any landscaping works that require repair or replacement are to be successfully repaired or replaced prior to the completion of the landscaping maintenance and establishment period.

- (10) **Detailed Landscape Plan** - A detailed landscape plan must be prepared in accordance with Appendix B of Camden Development Control Plan 2019. Details demonstrating compliance must be provided to the certifier.

The detailed landscape plan must also include:

- all universal access details for all open space areas and public facilities,
- consistency with the approved landscaping masterplan,
- compliance with the development control plan applicable to this site,
- consistency and mirroring of the approved Landscaping Concept Plans, (Landscaping Plans drawn by Paul Scrivener, Job No 08/1274/DA1, Sheets 1 to 4, Drawn 07/07/08, Issue C),
- the addition of the following tall tree planting:
  - one Jacaranda tree positioned centrally within the semi-circular central island at the end of Nepean Street as shown on the additional landscaping plan titled 'L6' and stamped approved by Camden Council,
  - 8 Cabbage Tree Palms positioned as shown on the additional landscaping plan titled 'L6 - Additional Tall Tree Planting' and stamped approved by Camden Council.

To achieve the additional tall tree planting, soil levels within the planters are to be gently mounded in the centre of the landscaped area by an additional 200mm above finished soil level at the edge of the planter,

- all landscape amenity elements,

- detailed planting schedules, which includes positioning, species listed by botanical and common names, quantities, planting sizes and the estimated size of the plant at maturity,
  - proposed landscaping that is consistent with the cultural, ecological, heritage and existing amenity of the area,
  - proposed street trees including but not limited to the road verge are to be dwarf varieties (excluding the replacement street trees approved for John Street). The species selection and location are to take into account of any overhead powerlines and other existing services to satisfy Council's requirements,
  - detail ongoing maintenance/irrigation management of planter landscape areas,
  - updating the street tree works along John Street to only show the approved removal and replacement of the 6 existing street trees that adjoin the area of buildings 3 and 5,
  - street trees positioned at approximate 10m centres,
  - street trees sourced in accordance with the tests and measurements contained within AS2303-2018 - Tree Stock for Landscape Use,
  - tree planting details and section drawings specifying root barriers where trees are to be planted in close proximity to hard surfaces i.e. to the back of the kerb and to footpaths,
  - street trees centred within planting bays and no closer than 500mm to the back of the kerb,
  - provision of a header course of pavers around each tree pit for the replacement John Street street trees. The edge of each tree pit must be reinforced concrete in accordance with Council's tree pit standards. The colour and style of clay paver must be approved by Council prior to installation, and
  - compliance with the amended landscaping plans approved by Modification 2008/644/7 that are listed in condition 1.0(1) of this development consent.
- (11) **Tree Pruning** - Any pruning of trees must be completed with Council Consent and in accordance with the standards, specified in the "Australian Standard of Pruning Amenity Trees - AS 4373-2007".
- (12) **Street Trees, Street Tree protective guards and Nature Strip/Road Verge Areas** - Any street trees, tree guards, protective bollards or any area of the nature strip/road verge, which are disturbed, removed, or damaged during the development, construction and the Consent conditioned Landscaping Maintenance and Establishment Period, must be repaired or replaced.

Any repairs or replacements needed to the tree/s, lawn area, bollards, tree guards, nature strip/road verge area are to be completed with the same type, species and maturity and the works carried out prior to the completion of the Landscaping Maintenance and Establishment Period.

- (13) **Protect Existing Vegetation and Natural Landscape Features** - Approval must be sought from Council prior to the removal, pruning, impact upon or any disturbance of the existing vegetation and natural landscape features, other than any existing vegetation and/or natural landscape feature authorised for removal, pruning, impact upon or disturbance by this Consent.

The following procedures shall be strictly observed:

- no additional works or access/parking routes, transecting the protected vegetation shall be undertaken without Council approval,
- Pedestrian and vehicular access within and through the protected vegetation shall be restricted to Council approved access routes.

- (14) **Protection for Existing Trees and Other Landscape Features On Site** - The protection of existing trees and other landscape features, other than any existing trees and natural landscape features authorised for removal, pruning, impact upon or disturbance by this Consent, must be carried out as specified in the Australian Standard AS 4970-2009 Protection of Trees on Development Sites

All initial procedures for the protection of existing trees and landscape features, as detailed in AS 4970-2009, must be installed prior to the commencement of any earthworks, demolition, excavation or construction works on the Development site.

- (15) **Transport Mobility Access Plan** - Prior to the issue of the first Construction Certificate for any stage of the approved development, the applicant shall provide to Council and the Roads and Traffic Authority a Transport Mobility Access Plan (TMAP) that identifies the demands of pedestrian, cyclist, vehicular and public transport associated with the development and recommends facilities and actions to address these demands to the satisfaction of the NSW Roads and Traffic Authority and the local roads authority.

- (16) **Roads Act 1993 Consent** - Prior to the issue of the first Construction Certificate for each relevant stage consent pursuant to s.193 of the Roads Act 1993 must be obtained from the Roads Authority, Camden Council for the design and construction of all the proposed work in, on or over the road reserves adjacent to the subject site.

The design must include, but not be limited to, plans/documents associated with:

- (a) the construction of kerb and gutter, road shoulder and drainage
- (b) footway formation
- (c) public utility service adjustment or installation
- (d) an Environmental Site Management Plan - it should be noted that the plan required by condition (Management Plan) may also include all aspects associated with this requirement.

The design and subsequent construction of items (a) to (c) above is for the express purpose of providing pedestrian and vehicular facilities as a result of the development.

Further, all such plans and documents associated with the design must be certified by:

- (i) persons who are suitably accredited by a scheme approved by the NSW Department of Planning or when no scheme exists,
- (ii) persons who are suitably qualified, are specialists and in that regard, currently practicing in that specialist area, or
- (iii) in the case of a Public Utility Authority, an appropriately delegated officer of that Authority or accredited person by that Authority,

and be prepared in accordance with Camden Council's Current Engineering Design Specification.

- (17) **Intersection Design** - Prepare a detailed design plan to indicate the feasibility of efficient truck and vehicle movement in and out of the proposed intersections of the development and submitted to Council for approval prior to the issuing of the first Construction Certificate for each relevant stage. All roads and intersection must be designed to facilitate the safe turning of the Large Rigid Truck (12.5m) as per AS 2890.2.
- (18) **Drainage Design** - A stormwater management plan is to be prepared prior to the issue of the first Construction Certificate relating to site and/or building works in each development stage to ensure that the final stormwater flow rate off the site is no greater than the maximum flow rate currently leaving the development site for all storm events. This plan must be submitted and approved by the certifier. The plan must cater for future developments of land adjoining the site, overland flow from adjoining properties and:
  - (a) The stormwater drainage system must include the existing stormwater runoff from the upstream catchment from John Street.
  - (b) Any stormwater line draining the basement shall be fully located in the roadway along with other street drainage at the time of the construction of the roads.
  - (c) Provide on-site detention to ensure that at all times, the post-development stormwater discharge from the site is no greater than the pre-development stormwater discharge from the site. This may involve the provision of additional on-site detention facilities over and above those that are shown on the approved plans.
  - (d) Consistency with Council's engineering specifications.
- (19) **Sub-Floor Drainage** - Sub-floor excavations must be provided with an agricultural pipe and rubble drain not less than 300mm deep nor less than 300mm wide and connected to the building's existing stormwater drainage system.
- (20) **Stormwater Detention** - The capacity of the existing stormwater drainage system must be checked to ensure its capability of accepting the additional run-off from this development. If necessary, an onsite detention system must be provided to restrict stormwater discharges from the site to pre-development flows. The system is to provide for all storms up to and including the 1% AEP event. Engineering details and supporting calculations must be prepared by a qualified Hydrology Engineer and submitted to the PCA for approval prior to issue of the first Construction Certificate for each relevant stage.

On completion of the on-site detention system for each relevant stage, Works-as-Executed plans are to be prepared by a registered surveyor or the design engineer and submitted to the Principal Certifying Authority. If Camden Council is not the Principal Certifying Authority, a copy is to be submitted to the Council prior to the issue of the Occupation Certificate for each relevant stage in which the on-site detention system is built. The plans are to be certified by the designer and are to clearly make reference to:

- the works having been constructed in accordance with the approved plans,
- actual storage volume and orifice provided,
- the anticipated performance of the system with regard to the design intent.

(21) **Overland Flow Path** - A depression must be formed over the full width and length of the drainage easement to provide a stormwater escape route. The escape route must be designed to have a capacity to carry the difference between a 1:100 year flow and the flow in the pipe. A Restriction as to User must be created on the title of lot/s affected prohibiting the alteration of the surface levels within the drainage easement and limiting permissible fencing across the easement to an open form fence to allow overland flow to be contained within the easement, prior to the first Construction Certificate for any building works.

(22) **Dilapidation Survey** - A photographic dilapidation survey (not more than 30 days old) of existing public roads, drainage reserves, drainage easements and any other existing public infrastructure within the immediate area of the development site must be submitted to Council for inclusion in any application for the first Construction Certificate for each relevant stage.

The survey must include descriptions of each photo and the date when each individual photo was taken.

(23) **Civil Engineering Plans for Works within the Existing Road Reserve** - Indicating drainage, roads, accessways, earthworks, pavement design, details of linemarking and traffic management details must be prepared strictly in accordance with Camden Council's Draft Engineering Design and Construction Specifications-May 2003 and are to be submitted for approval to the Principal Certifying Authority prior to the first Construction Certificate being issued for each relevant stage.

Note: Under the Roads Act 1993, only the Council can issue a Construction Certificate for works within an existing road reserve. Under section 109E of the Environmental Planning and Assessment Act 1997, Council must be nominated as the Principal Certifying Authority and has the option of undertaking inspection of physical construction works.

Note: The developer must obtain a Construction Certificate prior to commencement of any physical site works.

All works associated with the development are to be undertaken at no cost to Council.

(24) **Car Washing Facilities and Sydney Water Approval** - All water and run-off from car wash bays proposed under the BASIX Certificate(s) shall be drained to Sydney Water's sewer. Polluted water shall not be disposed of into the stormwater drainage



system. Prior to the issue of the first Construction Certificate for building works for each relevant stage, approval from Sydney Water for car wash bay drainage to their sewerage system shall be submitted to the certifying authority. Drainage plans shall also accurately show the drainage of the car wash areas to the sewer and not the stormwater drainage system.

- (25) **Indigenous or Low Water Use Landscaping** - Prior to the issue of the first Construction Certificate for building works in each relevant stage all indigenous or low water use landscaped areas as stipulated in the relevant BASIX Certificate(s) shall be shown on final landscaping plans prepared for each relevant stage.
- (26) **Crime Prevention Through Environmental Design** - The applicant is to submit to Council a schedule of measures proposed to be implemented in the construction of each relevant stage of the development in order to minimise the risk of crime. Details are to be provided prior to the release of the first Construction Certificate for each relevant stage.

The following measures are listed for consideration in each of the relevant stages:

- (i) Security mirrors within corridors and on blind corners;
  - (ii) Vandal proof lighting;
  - (iii) Directional signage at entry and exit points;
  - (ii) A Graffiti Management Plan;
  - (iv) Monitoring within basement car parking;
  - (v) Electronic access control equipment;
  - (vii) Laminated glass windows to retail development.
- (27) **Trees to be Removed** - Prior to the issue of the first Construction Certificate for each relevant stage a plan is to be provided which identifies all existing trees on each site relevant to each relevant stage and shows those trees proposed to be removed.

The trees along the north-eastern boundary of Parcel 4 are to be retained and incorporated within an amended landscape plan to be separately approved by Council prior to the issue of the first Construction Certificate for Parcel 4.

- (28) **Roof Mounted Equipment** - Prior to the issue of the first Construction Certificate for each relevant stage Council must be provided with plans which identify all roof mounted equipment including air conditioning units and communication towers. The roof mounted equipment must be designed in a manner which compliments and is integrated into the overall design of the building.
- (29) **Waste Management Plan (Post Construction)** - Prior to the issue of the first Construction Certificate for building works for each relevant stage a Waste Management Plan must be submitted to Council documenting the following:
- (i) a step-by-step outline of the proposed waste management infrastructure and procedures from individual unit/business to removal of waste from site;
  - (ii) the type and size of garbage and recycling receptacles to be used;
  - (iii) the configuration of receptacles within each waste storage area/room;
  - (iv) the volumes of garbage and recycling expected to be generated per unit block. This must be based on the figures in the Department of Environment and

Conservation's Best Practice Guide for Multi-Unit Dwellings publication found at <http://www.resource.nsw.gov.au/publications.htm#multi-unit>;

- (v) the educational material, eg signage, which will be provided for residents regarding the use of the waste management system;
- (vi) the ventilation and drainage of waste storage areas in accordance with appropriate Australian Standards;
- (vii) the visual amenity of waste storage areas, such as screening;
- (viii) storage and collection locations clearly identified on a site plan;
- (ix) the activities of collection vehicles including timing, manoeuvrability, traffic movements with turning templates.

Note: The waste management infrastructure and procedures should give appropriate consideration to the safety of residents and service providers, minimising visual, traffic and noise impact, and maximising resource recovery through accessible recycling. The Best Practice Guide to Multi-Unit Dwellings provides a helpful guide on these areas.

- (30) **Road Stability** - The detail construction strategy for each basement construction must be submitted to council in order to prevent any damage to the road structure. A Public Road Activity application shall be lodged with appropriate Traffic Control plan for approval from the Council for each of the basement construction activities on the development.
- (31) **Basement Drainage** - The proposed on-site detention facilities and rainwater tank shall be designed and installed to achieve the following:
  - (i) an unobstructed overflow path must be created from the OSD tank and rainwater tank to Council's drainage system;
  - (ii) an appropriate strategy should be provided to prevent any backflow of water into the proposed basements from the road drainage system;
  - (iii) any storm water line draining the basement should be fully located in the internal road way along with other street drainage;
  - (iv) any individual water quality facilities which are located in each parcel must be maintained and replaced when required by the Community Association and Strata Corporation in accordance with the Maintenance Manual;
  - (v) an appropriate Restriction to user and Positive Covenant shall be provided in the 88B instrument for the subdivision.
- (32) **Required Car Parking** - Provision of a minimum of 390 car parking spaces across the entire development site in accordance with Camden Council's Development Control Plan 2006.
- (33) **Parking Design** - All proposed basement parking must comply with the requirement of the AS 2890.1. In particular disabled parking head room requirement, parking bay width adjacent to obstructions, grades of the ramp and appropriate transitions at the footway facilitates and sight distances for vehicles exiting the basement. Any security

shutters shall be located so as to provide that there is no obstruction to pedestrian movement. The disabled parking spaces shall be nominated in the basement. An amended plan covering parking for all units must be provided to council and endorsed by the Private certifier as satisfying the car parking requirements set out in the approved plans prior to the release of the first Construction Certificate for each relevant stage. Wheel stops are to be provided for all parking spaces.

- (34) **Bicycle Facilities** - Bicycle racks shall be provided in appropriate locations for use of visitors and residents with an easy access to the community.
- (35) **Water Quality Management** - A comprehensive strategy for the management of the water quality from the development must be prepared and implemented to achieve the water quality objectives of the Council prior to the issue of the first Construction Certificate for each relevant stage.
- (36) **Structural Certification** - A structural certificate must be prepared by a practicing structural engineer and must be submitted to Council prior to the first construction certificate being issued for each stage. The certificate must attest that the building design (including all structures) is capable of withstanding the effects of water and water pressure due to flooding up to and including a probable maximum flood event.
- (37) **Flood Study Required** - A flood study prepared by a suitably qualified engineer must be submitted to Council in order to determine the impact of the proposed development on the flood behaviour, levels and velocity of flood and any potential increase of flood hazard or damage to the subject property or others, prior to the first Construction Certificate being issued for site and/or building works. This study must be related to each stage of development and also to the overall development once it is fully developed.
- (38) **Site Management Plan** - The approved Site Management Plan for remediation and construction for each relevant stage must be included in the application for the first Construction Certificate for each relevant stage.
- (39) **State Environmental Planning Policy No 65 Requirement** - In accordance with the provisions of State Environmental Planning Policy No 65 the following are to be provided to Council prior to the issue of a Construction Certificate for each relevant stage.
  - (i) drawings of the proposed development in the context of surrounding development, including the streetscape;
  - (ii) photomontages of the proposed development in the context of surrounding development;
  - (iii) a sample board of the proposed materials and colours of the facade; and
  - (iv) detailed sections of proposed facades.
- (40) **Free Flow Of Water** - The location and design of the proposed doors must allow free access and escape of floodwaters without causing damage to the building. Details shall be evident in the first Construction Certificate application for building works in each relevant stage.
- (41) **Water Resisting Construction** - All external and internal partitions, framework, service and flooring must be constructed using flood compatible material. Details

shall be evident in the first Construction Certificate application for building works in each relevant stage.

- (42) **Retaining Walls** - The detail design of the retaining walls at common boundaries and appropriate consent from the adjoining landowner must be submitted to the PCA prior to the issue of the first Construction Certificate building works for each relevant stage. All retaining walls including the footing for the same shall be located wholly within the subject property.

- (43) **Interpretation Plan** - shall be prepared prior to the issue of the first Construction Certificate for building works for each relevant stage. The Plan shall include, but not be limited to, the following opportunities for public interpretation:

The proposed feature signage wall and sculpture at the corner of Elizabeth and Exeter Streets would contribute to the creation of a landmark entrance to the new site which is a strategy for the Camden High School precinct outlined in the Town Centre Strategy.

The opening up of this plaza area would also act as a transitional space between the rural character of the Town Farm and the proposed residential and commercial development on the site.

- (44) **Design Plan** - A design plan for the widening of Exeter Street shall be carried out with appropriate barriers, line marking and signage to prevent parking on the grass verge in consultation prior to issue of the Construction Certificate for building works for each relevant stage of development fronting Exeter Street and work must be completed prior to occupation of each relevant stage.

- (45) **All internal roads**, roundabouts and other facilities must be designed to cater for a minimum of medium truck access. The development must facilitate the manoeuvring and entry/exit (in a forward direction) of furniture trucks, fire trucks and other utility vehicles. This must also include provision for Council's waste collection vehicles in accordance with Council's engineering specifications at those locations where Council's waste collection vehicles may enter the site, undertake waste collection and exit the site. Such work must be completed prior to the issue of the first Construction Certificate for each relevant stage.

- (46) **Acoustic Report** - For the noise protection of future occupants of the proposed dwellings an acoustic report must be submitted to the Consent Authority prior to the issue of the first Construction Certificate for each relevant stage. The report shall represent the development within each relevant stage and recommend suitable attenuation treatments for the buildings within each relevant stage to ensure full compliance with "AS/NZS 2107 - 2000 Acoustics - Recommended design sound levels and reverberation times for building interiors". In addition, the acoustic report must also consider treatments for both private and communal open space to achieve external acoustic amenity in accordance with the NSW DEC's (Formerly EPA) Industrial Noise Policy and Environmental Criteria for Road Traffic Noise.

Note: Where it is not possible to achieve internal noise level compliance in accordance with AS2107: 2000, with the dwelling doors and windows open, then dwellings may require mechanical ventilation (air conditioning) in accordance with the minimum standards prescribed by the Building Code of Australia.

The acoustic report provided with the construction certificate that incorporates the construction of the temporary waste bin storage room off Central Avenue must

include an assessment of noise from the operation of the room and related waste collection activities. The report must include recommendations regarding the construction methods for the room and attenuation measures required to ensure that the applicable noise criteria is achieved at all receivers.

- (47) **Commercial Kitchen Fit-out Plans** - Detailed and scaled fit-out plans are to be provided for all commercial kitchens and ancillary areas within each relevant stage that demonstrates compliance with Camden Council's Food Premises Code, The Food Act 2003 and the Food Regulation 2004 (Incorporating the Food Standards Code). The plans are to be provided to the PCA for approval prior to the issue of the first construction certificate for each relevant stage.
- (48) **Site Management Plan** - A Site Management Plan for each relevant stage must be submitted to Council prior to the issue of a Construction Certificate. The plan must be prepared by a suitably qualified person in accordance with AS/NZ ISO 14000 - 2005 and must address, but not be limited to, the following issues as they relate to each relevant stage:
- All matters associated with Council's Erosion and Sediment Control Policy.
  - All matters associated with Occupational Health and Safety.
  - All matters associated with Traffic Management/Control during remediation, demolition and construction, which should address issues of access of construction traffic, storage of material, location of site office, and parking for workers, use of equipment and other matters which has an impact on the road network or immediate environment.
  - All other environmental matters associated with works such as noise control, dust suppression, waste management and the like.

Any construction work which involves access to a public road shall be subject to an approval of a Public Road Activity Application to Council accompanied by a Traffic Control Plan prepared by a RTA accredited Certifier.

- (49) **Detailed Stormwater Drainage Plans** - Detailed stormwater drainage plans must be prepared and submitted to Council and the certifier with the application for a Construction Certificate for the first building in each stage. These plans must clearly detail all proposed drainage works/infrastructure (including, but not limited to, permanent and temporary on-site stormwater detention facilities, stormwater overland flow paths and water quality treatment devices) to be installed on the overall development site to cater for stormwater drainage for each building and must be consistent with, and achieve the same outcomes as, the approved concept drainage plan and the Flood Study Report dated June 2008 by Siteplus and the drainage and civil works plans nos. 07318 (CO2) (C04) (C05) (C10) (C13) (C14) (C16) (C15) by Siteplus as amended by:
- Sheet 1 of 4 Sheets Issue C by John M. Daley & Associated dated 29 September 2021.
  - Sheet 2 of 4 Sheets Issue B by John M. Daley & Associated dated 5 September 2021.

- Sheet 3 of 4 Sheets Issue C by John M. Daley & Associated dated 29 September 2021.
- Sheet ADD1 of 4 Sheets Issue A by John M. Daley & Associated dated 29 September 2021.
- Stormwater Report for Buildings 3 and 5 and Incorporating Remainder of the Proposed Development of Lot 1 and Lot 2 in DP 1246185 Issue C by Beveridge Williams dated 29 September 2021.
- Flood Assessment by Beveridge Williams dated September 2021.

and the conditions of this development consent.

- (50) **Basement Drainage (Stage 1)** - The stormwater from the ramps to the basement and floodwater during flood events must be properly collected and connected to the Council's drainage system. The design for this design must incorporate a one-way valve to prevent any floodwaters entering the basement due to flood events which have lower flood heights than the entrance level of the basement.
- (51) **Design of Basement Entrance** - The proposed entrance to the basement car park shall be designed with appropriate sight distance in accordance with AS 2890.1.
- (52) **Signage for Car Park** - All accessible parking, ramps and turn bays shall be appropriately marked and signposted.
- (53) **Site Auditor Review of Detailed Design Plans** - Prior to the issue of a construction certificate and the commencement of works involving the modifications approved by Modification 2008/644/5, the detailed design plans and the staging plans approved by the modification must be reviewed by a NSW EPA accredited site auditor as defined by the *Contaminated Land Management Act 1997*. The auditor must confirm that the modifications approved by Modification 2008/644/5 do not alter any conclusions of Site Audit Statement 035-2124222R prepared by GHD (Andrew Kohlrusch) dated 6 August 2008.
- (54) **Fibre-Ready Facilities/Telecommunications Infrastructure** - Documentary evidence must be provided to the certifier demonstrating that satisfactory arrangements have been made for:
- a) the installation of fibre-ready facilities to all individual lots and/or premises in a real estate development project so as to enable fibre to be readily connected to any premises that is being or may be constructed on those lots. The carrier must confirm in writing that they are satisfied that the fibre ready facilities are fit for purpose; and
  - b) the provision of fixed-line telecommunications infrastructure in the fibre-ready facilities to all individual lots and/or premises in a real estate development project demonstrated through an agreement with a carrier.

This condition does not apply where an applicable exemption exists under Commonwealth law. Documentary evidence of any exemption relied upon must be provided to the certifier.

- (55) **BCA Assessment Report** - For buildings 3 and 5, the design issues identified in the BCA Assessment Report Reference 113058-BCA-r1 by BCA Logic dated 9 February 2021 must be addressed in the construction certificate application.
- Details demonstrating compliance must be provided to the certifier.
- (56) **Lighting** - Lighting must be provided along all communal open space pathways, including within the plaza adjoining buildings 3 and 5, and be designed in accordance with AS 4282 and AS 1158 and provide at least 20 lux at ground level.
- Details demonstrating compliance must be provided to the certifier.
- (57) **Internal Surface Finishes** - For buildings 3 and 5, light coloured internal surface finishes must be used for dwellings that do not achieve any direct sunlight between 9am and 3pm at mid-winter.
- Details demonstrating compliance must be provided to the certifier.
- (58) **Glass Reflectivity** - The reflectivity of glass index for all glass used externally shall not exceed 20%.
- Details demonstrating compliance must be provided to the certifier.
- (59) **Water and Electricity Outlets** - For buildings 3 and 5, water and electricity outlets must be provided for all terraces and balconies.
- Details demonstrating compliance must be provided to the certifier.
- (60) **Liveable Housing Guidelines** - For buildings 3 and 5, 20% of the dwellings must achieve the Liveable Housing Guidelines silver level universal design features.
- Details demonstrating compliance must be provided to the certifier.
- (61) **Wayfinding Signage** - Legible and discrete wayfinding signage for residents and visitors must be integrated into the development.
- Details demonstrating compliance must be provided to the certifier.
- (62) **Waste Bin Storage Areas** - All waste bin storage areas must be designed in accordance with Council's waste management guideline.
- Details demonstrating compliance must be provided to the certifier.
- (63) **Mountable Roundabout** - The mountable roundabout on Central Avenue must be designed to accommodate the weight of Council's waste collection vehicles and other service vehicles that will enter the road.
- Details demonstrating compliance must be provided to the certifier.
- (64) **Design Quality Statement (Construction)** - A statement from a qualified designer verifying that the plans and specifications achieve or improve the design quality of the development, having regard to the design quality principles in Schedule 1 of State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development, must be submitted to the certifier with the Construction Certificate application.

- (65) **1% Annual Exceedance Probability (AEP) Design** - The piped drainage within the development must be designed to a minimum of 1% AEP design.

Details demonstrating compliance must be provided to the certifier.

- (66) **Ground Floor of Building 2 Access** - In relation to the modifications approved by Modification 2008/644/8, access must be provided in accordance with AS 1428.1 so that a person using a wheelchair can use common areas and facilities associated with the development.

#### 4.0 - Section 94 Contributions

##### EXPLANATORY NOTE

The section 94 calculations which arrive at these section 94 contribution conditions have been prepared on the basis of the existing section 94 contributions plan and adjusted in accordance with the merit assessment of the development. Due to this adjustment made to reflect the merit assessment of the development and the benefit that the development provides to the Camden community, the s.94 conditions and the calculations pertaining thereto should not be used as a precedent.

Prior to the issue of a Construction Certificate for each building, the following Section 94 Contributions must be paid for each building:

(1) **Building 1**

A contribution must be paid to Council of \$266,265.74 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

(2) **Building 2**

A contribution must be paid to Council of \$286,747.72 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

(3) **Deleted.**

(4) **Building 4**

A contribution must be paid to Council of \$143,373.86 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

(5) **Deleted.**



(6) **Building 6**

A contribution must be paid to Council of \$143,373.86 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

(7) **Building 7**

A contribution must be paid to Council of \$49,743.89 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

(8) **Building 8**

A contribution must be paid to Council of \$143,373.86 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

(9) **Building 9**

A contribution must be paid to Council of \$102,409.90 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

(10) **Building 10**

A contribution must be paid to Council of \$102,409.90 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

(11) **Building 11**

A contribution must be paid to Council of \$196,027 .81 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

(12) **Building 12**

A contribution must be paid to Council of \$92,168.91 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

(13) **Building 13**

A contribution must be paid to Council of \$81,927.92 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

(14) **Building 14**

A contribution must be paid to Council of \$102,409.90 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

(15) **Building 15**

A contribution must be paid to Council of \$25,845.55 for Section 94 Contributions as outlined in the Camden Contributions Plan adopted 28 June 2004.

The contribution must be indexed to the Consumer Price Index and paid prior to the issue of a Construction Certificate.

- (16) **Section 7.11 Contributions - Monetary** - A contribution pursuant to the provisions of Section 7.11 of the *EP&A Act 1979* for the services and amounts detailed below must be paid to Council prior to the issue of a Construction Certificate for the modified buildings 3 and 5 approved by Modification 2008/644/7:

Plan Name	Contribution Type	Indexed Rate	Amount Payable
Camden Contributions Plan 2011	Open Space Land Acquisition	\$9,637 per dwelling	\$298,747.00
Camden Contributions Plan 2011	Community Land Land Acquisition	\$59 per dwelling	\$1,829.00
Camden Contributions Plan 2011	Recreation and Community Facilities, Volunteer Emergency Services Facilities and Plan Preparation and Administration Services	\$5,876 per dwelling	\$182,156.00
<b>Total</b>			<b>\$482,732.00</b>

A copy of the Section 7.11 Contributions Plan may be inspected at Council's Camden office at 70 Central Avenue Oran Park or can be accessed on Council's website at [www.camden.nsw.gov.au](http://www.camden.nsw.gov.au).

The amount of contribution payable under this condition has been calculated at the date of consent. In accordance with the provisions of the Contributions Plan, this amount shall be indexed at the time of actual payment in accordance with the applicable Index.

#### 5.0 - Prior To Works Commencing

The following conditions of consent shall be complied with prior to any works commencing.

- (1) **Notice of Commencement of Work** - Notice in the form prescribed by the Environmental Planning and Assessment Regulation 2000 shall be lodged with the Consent Authority (Camden Council) at least 2 days prior to commencing building works. The notice shall provide details relating to any Construction Certificate issued by a certifying authority and the appointed Principal Certifying Authority.
- (2) **Construction Access** - Construction access from public places other than roads (reserves, parks, walkways and the like) shall not occur without the prior consent of the local roads authority. Monetary bonds may be required to protect assets if access from these places is approved.
- (3) **Signs to be Erected** - Prior to the commencement of any work within each site of each relevant stage a rigid and durable sign (minimum size of 300mm x 400mm) must be displayed within each site of each relevant stage and be clearly visible and legible from the adjoining roadway advising the following:

- (a) The name, address and telephone number of the PCA.
- (b) The name of the principal contractor, and a telephone number on which the principal contractor can be contacted at any time.
- (c) Stating unauthorised entry is prohibited.

The sign must be displayed for the duration of the construction works.

Note: Any such sign is to be maintained while the construction work is being carried out and removed only once the work has been completed.

- (4) **Information Required by Council Prior to Demolition** - The demolisher shall lodge with Council at least forty-eight (48) hours prior to the commencement of work:
  - Written notice indicating the date when demolition of the building is to commence.
  - Details of name, license, address and business hours contact number.
  - Copy of the demolisher's current public liability/risk insurance policy indicating cover of at least \$5,000,000.
- (5) **Notice to Adjoining Owners of Demolition** - The following matters must be satisfied prior to and during remediation and demolition in each relevant stage.
  - (a) The applicant shall give written notice to adjoining land owners and residents seven (7) days prior to the commencement of demolition advising of commencement date and the details of structures being demolished;

- (b) Safe access to and from adjoining buildings shall be maintained at all times;
  - (c) No demolition activity shall cause damage to or adversely affect the structural integrity of any adjoining building;
  - (d) Consideration shall be given to the need for shoring and underpinning, and to changes in soil conditions as a result of the demolition, and appropriate measures implemented.
  - (e) The effects of vibration and concussion on adjoining buildings and their occupants must be minimised;
  - (f) Where the surface of an adjoining building is exposed by demolition, the need for weatherproofing the exposed surface shall be investigated and temporary or permanent protection provided as appropriate.
  - (g) The demolition of below ground walls which support the adjoining ground shall not be undertaken until it is established that demolition will not cause the collapse of the adjoining ground, or effective lateral support is provided to prevent collapse.
- (6) **Drainage Design** - The proposed drainage connection to the Council's system shall be approved and inspected by the Council. The final design shall comply with the Council's Design Specification and shall have a free board of 300mm of any floor level to the overland flow path. All on-site detention systems should be provided with overland flow paths.
- (7) **Evacuation and Access Strategy** - A detailed evacuation and access strategy must be submitted to Council demonstrating that permanent, fail-safe maintenance free measures are incorporated in the development to ensure that timely, orderly and safe evacuation of people and potential pollutant material from the buildings on site, should a flood occur. The strategy must reflect each stage of the development and also the overall coordinated combined system of evacuation as each stage of development is completed.

The strategy must also address the following matters in relation to the modified buildings 2, 3 and 5 approved by Modifications 2008/644/5, 2008/644/7 and 2008/644/8:

- show the location of evacuation trigger(s) which are visible from the site i.e. no reliance upon the State Emergency Services or other emergency services,
- delineate the probable maximum flood (PMF) level flood extents,
- provide evidence that the user groups defined by Clause 18(1) of State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004 can reach areas above the PMF before PMF flows reach the maximum allowable  $D \times V = 0.4\text{m}^2/\text{s}$  product in accordance with the NSW Floodplain Development Manual. On-site sheltering is not permitted,
- include a strategy for the relocation of all vehicles and items from the basement car park prior to any inundation by flooding,

- in relation to the modifications approved by Modification 2008/644/8, include an evacuation strategy for all workers on the ground floor of building 2, including for the relocation of items, prior to any inundation by flooding.
- (8) **Flood Risk Management Policy** - The design and construction of the development shall be carried out in accordance with the Council's Flood Risk Management Policy.
- (9) **Public Liability Insurance** - The owner or contractor shall take out a Public Liability Insurance Policy with a minimum cover of \$20 million in relation to the occupation of, and works within, public property (i.e. kerbs, gutters, footpaths, walkways, reserves, etc.) for the full duration of the proposed works. Evidence of this Policy shall be provided to Council and the certifier.

#### 6.0 - During Construction

The following conditions of consent shall be complied with during the construction phase.

- (1) **Building Inspections** - The Principal Certifying Authority (PCA) must determine when inspections of critical building components are necessary. The 'principal contractor' for the building works (as defined by the Environmental Planning and Assessment Act, 1979) must notify the PCA for the inspection of the building components. Where Camden Council has been nominated as the PCA, the following stages must be inspected and passed prior to proceeding to the subsequent stage of construction.

Note: If Council is appointed as the PCA, the Council agrees to the commencement inspection being combined with the first required inspection.

- (a) **Commencement of Building Works** - When environmental controls are in place.
- (b) **Foundation Preparation** - The foundation material prior to the placement of slab preparation (prior to sand base and plastic membrane).
- (c) **Swimming Pool Excavations** - The foundation material prior to placement of sand bedding, steel reinforcement or fibreglass shell.
- (d) **Pier Holes** - Excavated pier holes prior to pouring of concrete.
- (e) **Strip Footings** - When foundation excavations have been undertaken and steel reinforcement provided, prior to footings being poured with concrete.
- (f) **Slab On Ground** - When steel reinforcement and associated formwork has been provided, prior to the slab being poured with concrete.
- (g) **Formwork and Steel Placement** - When formwork and reinforcement of structural components (such as concrete lintels, beams, columns, walls, swimming pools, etc) have been completed, prior to pouring of concrete.
- (h) **Swimming Pool Coping/Bond Beam** - When reinforcement and formwork for the coping around fibreglass swimming pools has been provided, prior to pouring of concrete.
- (i) **Swimming Pool Fencing** - The swimming pool safety fence prior to filling the pool with water.

- (j) **Wall & Roof Framing** - When the wall and roof frame have been completed (with plumbing and electrical wiring installed), brick work complete and the roof covering fixed, prior to internal lining.
- (k) **Wet Area Flashing** – When wall and floor junctions have been flashed with an approved product, prior to installation of floor/wall coverings. Wet areas include bathrooms, laundries, sanitary compartments, ensuites and the like.
- (l) **Drainage Line-work** - When roofwater or stormwater drainage lines have been laid and connection to a street kerb or drainage easement or rubble pit, prior to back filling of lines.
- (m) **Sewer Line-work** - When external line-work has been laid and connected to the approved wastewater treatment system.

Note: Septic tank(s) excavation must be inspected prior to backfilling.

**Occupation Certificate (final inspection)** - Upon completion of the development and before occupation or commencement of use.

The Environmental Planning and Assessment Act 1979 and Regulation may prescribe other 'critical stage inspections' of the works. It is recommended that you discuss and confirm all required inspections with the PCA.

Missed critical stage inspections are an offence under the Environmental Planning and Assessment Act 1979 and may prohibit the issue of an Occupation Certificate.

- (2) **Telephone Complaint Line** - The applicant / owner / site manager must operate during the approved hours of operation a telephone complaints line for the purpose of receiving any complaints from members of the public in relation to remediation and / or construction works undertaken on each relevant stage or from works undertaken in relation to each relevant stage.
- (3) **Excavation And Backfilling** - All excavations and backfilling associated with the erection of demolition of a building must be executed safely and in accordance with appropriate professional standards.  
  
All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.
- (4) **Protection of Nature strips, Reserves and Trees** - All proposed work in Council's lands shall be done in consultation with the Council's Works Division with minimum disturbance to the land or activities. Where applicable, any nature strip areas, tree shall be protected by tree guards, protective bollards etc. All disturbed areas shall be restored to councils' standard. All work is to be designed so that no change is required to the existing bitumen access road within Council's depot site.
- (5) **Compaction (Roads)** - All filling on roadways must be compacted at 100% standard compaction and tested in accordance with Camden Council's Engineering Works Development Control Plan and associated guidelines and AS 1289 by a NATA registered laboratory.

- (6) **Compaction (Allotments)** - Those proposed allotments which are subject to filling must be compacted to 95% standard compaction. The applicant's Geotechnical Engineer must supervise the placing of fill material and certify that the work has been carried out to level 1 responsibility in accordance with Appendix B of AS 3798-1990.
- (7) **Security Fencing** - Any temporary detention, water quality facility and basement exaction areas which are 1.2m below the foot way level shall be enclosed by a 1.8 metre high security fence of a type approved by the Consent Authority (Camden Council). Any such fence is to be suitably maintained and is to remain in place until the facility is de-commissioned or ground is raised to safe level.
- (8) **Works Hours** - All work (including delivery of materials) shall be:
- restricted to between the hours of 7am to 5pm Monday to Saturday (inclusive), and
  - not carried out on Sundays or public holidays,
- unless approved in writing by Council.
- (9) **Excavations and Backfilling** - All excavations and backfilling associated with this development consent shall be executed safely and be properly guarded and protected to prevent them from being dangerous to life or property, and in accordance with the design of a suitably qualified structural engineer.
- If an excavation extends below the level of the base of the footings of a building on an adjoining allotment, the person causing the excavation shall:
- a) preserve and protect the building from damage, and
  - b) if necessary, underpin and support the building in an approved manner, and
  - c) give at least seven days notice to the adjoining owner before excavating, of the intention to excavate.
- The principal contractor, owner builder or any person who needs to excavate and undertake building work, shall contact "Dial Before You Dig" prior to works commencing, and allow a reasonable period of time for the utilities to provide locations of their underground assets.
- This condition does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.
- (10) **Finished Floor Level** - A survey report prepared by a registered land surveyor confirming that the finished floor level complies with the approved plans or floor levels specified by the development consent, shall be provided to principal certifier prior to the development proceeding beyond floor level stage.
- (11) **Building Height** - A survey report prepared by a registered land surveyor confirming that the building height complies with the approved plans or as specified by the development consent, shall be provided to the principal certifier prior to the development proceeding beyond frame stage.

- (12) **Survey Report** - The building shall be set out by a registered land surveyor. A peg out survey detailing the siting of the building in accordance with the approved plans shall be provided to the principal certifier prior to the pouring of concrete.
- (13) **Anti-Graffiti Finish** - An anti-graffiti finish must be applied to all retaining walls that face public areas.
- (14) **Protection for Existing Trees** - The protection of existing trees (on-site and street trees) must be carried out as specified by AS 4970 Protection of Trees on Development Sites. The approved stormwater under bore works must be inspected by Council to ensure that the existing Jacaranda trees are undamaged and remain in a healthy condition.

#### 7.0 - Prior To Issue Of Occupation Certificate

The following conditions shall be complied with prior to the issuing of Occupation Certificates. The issue of "interim" Occupation Certificates may occur if the Principal Certifying Authority (PCA) is satisfied that outstanding matters will be completed within a reasonable time frame. Additional fees for the issue of interim Occupation Certificates may be applied by the PCA.

- (1) **Occupation Certificate** - An Occupation Certificate must be issued by the principal certifier prior to occupation or use of a building within the development. The principal certifier must submit a copy of the Occupation Certificate to the Consent Authority (ie. Camden Council) within seven (7) days from the date of determination together with all relevant documentation including the Fire Safety Certificate.

The use or occupation of individual buildings within the approved development must not commence until such time as all the relevant conditions of this development consent have been complied with. The use or occupation of the development prior to compliance with all the relevant conditions of development consent may render the applicant/owner liable to legal proceedings.

- (2) **Seniors Living Covenant** - A restriction prepared pursuant to the *Conveyancing Act 1919* must be placed on the title of the land occupied by the 'seniors housing' components of the development. The restriction must limit the occupation of the seniors housing to only the following people as defined by State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004:
  - (a) seniors or people who have a disability,
  - (b) people who live within the same household with seniors or people who have a disability, or
  - (c) staff employed to assist in the administration of and provision of services to the seniors housing.
- (3) **Fire Safety Certificate** - On completion of the building works and prior to occupation of the building the owner of the building shall furnish to Council a Fire Safety Certificate for each fire safety measure in the building.

The owner of the building shall then furnish Council with a Fire Safety Statement annually for each Fire Safety Measure in the building.



- (4) **Archival Record** - The buildings and their setting be recorded through photographic archival recording in accordance with the most recently published guidelines set by the Heritage Branch, Department of Planning prior to their demolition.
- (5) **Noise Attenuation Report Compliance** - A compliance report (from the author of the acoustic report) that contains a certifying statement confirming compliance with AS/NZS 2107 - 2000 Acoustics - Recommended design sound levels and reverberation times for building interiors and, compliance with the NSW DEC's (Formerly EPA) Industrial Noise Policy and Environmental Criteria For Road Traffic Noise, must be submitted to the Consent Authority prior to the issuing of the final Occupation Certificate for each relevant building.
- (6) **Plant and Operational Noise Restriction** - The level of total continuous noise emanating from operation of all the plant or processes in all buildings (LAeq) (measured for at least 15 minutes) must not exceed the background level by more than 5dB(A) when measured at any point on any residential boundary and must also comply with the acoustic criteria contained within Camden Council's Environmental Noise Policy.
- (7) **Commercial Waste Management Plan** - A commercial waste management plan must be provided for all commercial businesses. The Plan is to address all waste generated from the operation of the business and must be signed off by a Company Director and be resubmitted to the Principal Certifying Authority prior to the issue of the Occupation Certificate for the relevant business.
- (8) **Commercial Waste Storage and Labelling** - To ensure compliance with environmental legislation, all waste containers are to be labelled with waste stored in a manner that prevents the escape of pollutants to the environment.
- (9) **General Waste Service Contract** - The business proprietor shall enter into a commercial contract for the collection of trade waste and recycling. A copy of this agreement shall be held on the premises at all times.
- (10) **Swimming Pool Operation and Maintenance** - All swimming pool must be operated and maintained in such a manner so that the pool water meets the applicable chemical and biological criteria stated in the "Department of Health NSW: Public Swimming Pool And Spa Pool Guidelines: June 1996".
- (11) **Wastewater Disposal** - All swimming pool wastewater must be disposed of to the Sydney Water sewer.

In areas not serviced with a sewer (such as rural areas), the swimming pool wastewater must not be discharged to a septic tank or on-site sewage management installation, or disposal area.

In non-sewered areas, chlorinated pool wastewater can either be disposed of by:

- (a) discharging to a rubble pit 600mm wide x 600mm deep x 3.0 metres long, located not less than 3.0 metres from any structure or property boundary; or
- (b) to a tail out drain to disperse the water over a large grassed area or paddock, provided that the land fall does not direct water to buildings on the subject or adjoining properties, or create a nuisance to an adjoining property owner.

Saltwater pool wastewater must be disposed of in the manner mentioned in (b) above so that concentrated levels of salt do not form in the vicinity of the rubble pit.

- (12) **Recirculation Systems** - The swimming pool water recirculation and filtration system must comply with AS 1926.3 Water recirculation systems with regard to the provision of safety measures, to avoid the entrapment of or injury to a young child.

Prior to issue of an Occupation Certificate, a certificate of compliance, or other documentary evidence confirming that the recirculation system and filtration system has been constructed in accordance with AS1926.3, must be submitted to the Principal Certifying Authority (PCA).

- (13) **Swimming Pool Fence Design** - The swimming pool must be fenced so that the pool is effectively isolated from the dwelling and adjoining lands. The swimming pool fence must comply with the following requirements:

The swimming pool safety fencing must strictly adhere to the design and location approved with the development consent, and any conditions of the development consent.

Fences and gates must strictly comply with AS1926- 2007 - Swimming pool safety - Part 1: Safety barriers for swimming pools.

Fencing shall have a minimum effective height of 1.2m.

All swimming pool gates shall be self-closing and self-latching. All gates must open outwards from the swimming pool enclosure.

The filtration equipment including any cover, housing or pipe work, must not be located within a distance of 900mm from the outside face of the swimming pool safety fencing enclosure, nor within 300mm from the inside of the swimming pool safety fencing enclosure (where footholds are possible).

The swimming pool safety fencing must be installed prior to the swimming pool being filled with water.

The Principal Certifying Authority (PCA), or an accredited certifier must inspect the swimming pool safety fencing.

- (14) **Warning Notice** - A warning notice complying with the provisions of Clause 10 of the Swimming Pools Regulation 2008, must be displayed and maintained in a prominent position in the immediate vicinity of the swimming pool, in accordance with Section 17 of the Swimming Pools Act, 1992.

The Principal Certifying Authority (PCA) shall ensure that this warning notice is provided and displayed prior to the issue of the Occupation Certificate.

Council also recommends that all owners and/or users of swimming pools obtain a copy of the 'Cardiopulmonary Resuscitation Guideline' known as "Guideline 7: Cardiopulmonary Resuscitation " published in February 2006 by the Australian Resuscitation Council (available through [www.resus.org.au](http://www.resus.org.au)).

- (15) **Depth Markers** - Legible and durable depth markers shall be affixed to the swimming pool coping indicating the water depth at the most shallow and deepest portions of

the swimming pool. Depth markers are to be installed prior to the issue of an Occupation Certificate.

- (16) **Prohibitions Within Swimming Pool Enclosure** - The area contained within the swimming pool safety fencing enclosure must not be used for other non-related activities or equipment, such as the installation of children's play equipment or clothes drying lines.
- (17) **Testing of Pool Water** - The swimming pool water must be tested in accordance with the Department of Health current NSW Public Swimming Pool and Spa Pool Guidelines. The tests must be carried out in accordance with the applicable frequency, parameters and methods stated in the Guidelines.
- (18) **Stormwater Water Cycle Management Plan** - The collection and flow of stormwater across the boundaries of the development site onto adjoining land must comply with the Water Quality Targets "Table 3.3.9" contained within Camden Council's Engineering Design Specifications (2009). A water cycle management plan that demonstrates compliance with the water quality targets is to be provided to the consent authority (Camden Council) for written approval prior to the issue of the first Construction Certificate for each relevant stage. All relevant water quality treatment devices proposed to allow compliance with water quality targets contained within the approved water cycle management plan must be constructed prior to the issue of any occupation certificate.
- (19) **Ventilation** - Where natural ventilation cannot be adequately achieved for all internal areas adequate natural ventilation shall be provided with a system of mechanical ventilation in accordance with the requirements of the Building Code of Australia and Australian Standard AS1668 Parts 1 and 2.
- (20) **Swimming Pool Compliance Letter** - Where the consent authority is not the Principal Certifying Authority (PCA) an additional inspection of the swim centre must be undertaken by the Consent Authority) prior to the issuing of an Occupation Certificate for each relevant building. A letter is to be issued from the Consent Authority certifying that the swim centre complies with the current NSW Health Public Swimming Pool and Spa Pool Guidelines.
- (21) **Footpath** - A full width pedestrian footpath shall be provided at the frontage of the road prior to occupation of each stage of development with appropriate connecting footpath to existing footpath in accordance with the Camden Town Centre Master Plan and in consultation with Council's Urban Planner.
- (22) **Street Lighting** - The street lighting along John, Exeter and Elizabeth Streets is to be checked and upgraded to Australia Standard 1158 (latest edition) prior to issue of the first Occupation Certificate for any stage in order to provide safe environment for the residents and other users.
- (23) **Deleted.**
- (24) **Services** - Certificates and/or relevant documents shall be obtained from the following service providers and provided to the principal certifier:
  - a) Energy supplier - A Notice of Arrangement for the provision of distribution of electricity from Endeavour Energy to service the proposed development.

- b) **Water supplier** - A Section 73 Compliance Certificate demonstrating that satisfactory arrangements have been made with a water supply provider to service the proposed development.

The assessment will determine the availability of water and sewer services, which may require extension, adjustment or connection to Sydney Water mains. Sydney Water will assess the development and if required will issue a Notice of Requirements letter detailing all requirements that must be met. Applications can be made either directly to Sydney Water or through a Sydney Water accredited Water Servicing Coordinator (WSC). Go to [www.sydneywater.com.au/section73](http://www.sydneywater.com.au/section73) or phone 1300 082 746 to learn more about applying through an authorised WSC or Sydney Water.

- (25) **External Walls Cladding and Flammability** - The external walls of the building, including attachments, must comply with the relevant requirements of the National Construction Code (NCC). Prior to the issue of an Occupation Certificate the principal certifier must:
- a) be satisfied that suitable evidence is provided to demonstrate that the products and systems used in the construction of external walls, including finishes and claddings such as synthetic or aluminium composite panels, comply with the relevant requirements of the NCC; and
  - b) ensure that the documentation relied upon in the approval processes includes an appropriate level of detail to demonstrate compliance with the NCC as built.
- (26) **Survey Certificate** - A registered surveyor shall prepare a Survey Certificate to certify that the location of the building in relation to the allotment boundaries complies with the approved plans or as specified by this consent. The Survey Certificate shall be provided to the satisfaction of the principal certifier.
- (27) **Building Height** - A registered surveyor shall certify that the maximum height of the building is consistent with the height in the approved plans and this consent. The certification/verification shall be provided to the satisfaction of the principal certifier.
- (28) **Completion of Landscape Works** - All landscape works, including the removal of noxious weed species, are to be undertaken in accordance with the approved landscape plans and conditions of this development consent.
- (29) **Inspection of Existing Street Trees** - All existing street trees must be inspected by Council to ensure that they are undamaged and in a healthy condition.
- (30) **Waste Management Plan Compliance** - The principal certifier must ensure that all works have been completed in accordance with the approved waste management plans referred to in this development consent.
- (31) **Design Quality Statement (Occupation)** - A statement from a qualified designer verifying that the development achieves the design quality of the development as shown in the plans and specifications in respect of which the construction certificate was issued, having regard to the design quality principles in Schedule 1 of State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development, must be submitted to the principal certifier.

### 8.0 - Subdivision Certificate

The following conditions of consent shall be complied with prior to Council issuing a Subdivision Certificate (Subdivision certificates may be issued in respect of the allotments created by the staged subdivision of the land provided they are consistent with the approved final plan).

(1) **Prior to the issue of any Subdivision Certificate** the following service authority clearances must be obtained and submitted to the Principal Certifying Authority:

- A Section 73 Compliance Certificate under the Sydney Water Act 1994 shall be obtained from Sydney Water Corporation.
- Application must be made through an authorised Water Servicing Co-ordinator. Please refer to the Building Developing and Plumbing section of the website [www.sydneywater.com.au](http://www.sydneywater.com.au) then refer to "Water Servicing Co-ordinator" under "Developing Your Land" or telephone 13 20 92.

Following application a "Notice of Requirements" will advise of water and sewer infrastructure to be built and charges to be paid. Please make early contact with the Co-ordinator since building of water/sewer infrastructure can be time consuming and may impact on other services and building, driveway or landscape design.

The Section 73 Certificate must be submitted to the Principal Certifying Authority prior to occupation of the development/release of any plan of subdivision.

- A letter from Integral Energy stating that all its requirements and any conditions of this consent have been satisfied.
- A letter from an approved telecommunications service provider (Telstra, Optus etc) stating that satisfactory arrangements have been made for the provision of underground telephone plant within any subdivision/development

If the applicant proposes to provide services within public reserves or laneways, written permission must be received from Camden Council prior to commencing construction.

(2) **Show Easements on the Plan of Subdivision** - The developer must acknowledge all existing easements on the final plan of subdivision.

(3) **Show Restrictions on the Plan of Subdivision** - The developer must acknowledge all existing restrictions on the use of the land on the final plan of subdivision.

(4) **Section 88b Instrument** - The developer must prepare a Section 88B Instrument for approval by the Principal Certifying Authority which incorporates, but is not limited to, the following easements and restrictions to user:

- (a) Easements for services.
- (b) Easements to drain water.
- (c) Drainage easements over overland flow paths.

- (d) Easements for pedestrian/vehicular access. In the case of Stage 1 of the subdivision, the developer must provide for such easements as required by the final plan of subdivision.

The instrument must also indicate that Camden Council is the only authority permitted to modify, vary or extinguish such easements and restrictions as to user.

- (5) **Burdened Lots to be Identified** - Any lots subsequently identified during construction of the subdivision as requiring restrictions must also be suitably burdened.
- (6) **Community Title Subdivision Management Statement** - A Community Title subdivision management statement must be prepared and submitted with the subdivision certificate application which intends to create the Community Title Lot as shown on the Stage 2 (final) plan of subdivision.

### 9.0 - Ongoing Use

The following conditions of consent are operational conditions applying to the development.

- (1) **Maintenance of Landscaping** - Landscaping shall be maintained in accordance with the approved landscape plans in perpetuity. Landscaping must be maintained to ensure that plants and trees reach their full growing potential and remain healthy and show good vigour at all times.
- (2) **Waste Collection and Delivery Vehicles** - For buildings 3-14 (inclusive), all waste bins must be collected from the temporary waste bin storage room and layby off Central Avenue that will be constructed in stage 2. Waste collection vehicles must only enter the site to service the waste bin storage room off Central Avenue between the hours of 7am-10pm Monday to Saturday and 8am-10pm on Sundays and public holidays.
- (3) **Movement of Waste Bins** - Movement of waste bins within the site, including between the basement waste rooms and the waste bin storage room off Central Avenue, must only occur between the hours of 7am-10pm Monday to Saturday and 8am-10pm on Sundays and public holidays.
- (4) **Seniors Housing** - The 'seniors housing' components of the development must only be occupied by the following people as defined by State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004:
- (a) seniors or people who have a disability,
  - (b) people who live within the same household with seniors or people who have a disability, or
  - (c) staff employed to assist in the administration of and provision of services to the seniors housing.
- (5) **Ground Floor of Building 2** - The use of the modifications to the ground floor of building 2 approved by Modification 2008/644/8 must comply with the following requirements:
- The office must be used by the development's management for administration and project management related to this development, as well as being able to be

used for administration and project management for other off-site development projects. A maximum of three people are approved to work in this office. 10 years after the issue of an occupation certificate for the office, the office must be converted back to a residents only library.

- A maximum of 16 office workstations must be provided for the developer's staff for business administration and operations, as well as staff providing resident services. 10 years after the issue of an occupation certificate for the workstations area, the area must be converted back to a residents only lounge.
- The additional gym space and treatment rooms must be used exclusively for residents. A maximum of four staff are approved to work in these spaces.
- The four off-street resident car parking spaces approved to be converted to serve the additional staff must be converted back to resident or resident visitor spaces following the cessation of the temporary office and workstation areas after 10 years.

State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development (SEPP 65) and Apartment Design Guide (ADG) Assessment Table

SEPP 65 Design Quality Principle	Assessment	Achieved?
<b>1 Context and Neighbourhood Character</b>	The modification adequately responds to the site's context and neighbourhood character. As detailed in the assessment report, the site is being redeveloped for a large mixed use development and the proposed design changes are consistent and compatible with the character approved as part of that redevelopment.	Yes.
<b>2 Built Form and Scale</b>	As detailed in the assessment report, the modification's built form and scale are considered to be acceptable in the context of the approved development.	Yes.
<b>3 Density</b>	The modification will not involve any increase in residential density.	Yes.
<b>4 Sustainability</b>	The modified buildings will comply with the ADG's design criteria for solar access and natural cross ventilation. The modification will also provide more deep soil zone than was approved by the DA.	Yes.
<b>5 Landscape</b>	Subject to the modified conditions, the modified landscaping design is considered appropriate for the site and area and includes a suitable mix of trees, ground covers, shrubs and grasses.	Yes.
<b>6 Amenity</b>	The modification will achieve good amenity through appropriate building and habitable space separation, generously sized and well-proportioned dwellings, ADG compliant solar access and natural cross ventilation and accessibility for all users.	Yes.
<b>7 Safety</b>	The modification will optimise safety and security by providing ample opportunities for passive surveillance of the public domain within the site and clearly defined, well-lit and visible communal open spaces (COS).	Yes.
<b>8 Housing Diversity and Social Interaction</b>	The modification will provide a variety of 2 and 3 bedroom dwellings that have been purpose-designed as part of a larger seniors living development.	Yes.
<b>9 Aesthetics</b>	The modification largely replicates the aesthetics of the approved buildings 4 and 6 and maintains their key elements including a four storey built form with upper level lofts, two building masses surrounding communal open space, hipped roofs and a materials palette involving brickwork, rendered masonry and metal roof sheeting. The appearance of the modified buildings will adequately respond to the context of the approved development.	Yes.
<b>ADG Objective</b>	<b>Assessment</b>	<b>Achieved?</b>
<b>3A-1 Site Analysis</b>		
Site analysis illustrates that design decisions have been based on opportunities and constraints of the site conditions and their relationship to the surrounding context.	Sufficient site analysis information has been provided on the plans and documents submitted in support of the modification.	Yes.



State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development (SEPP 65) and Apartment Design Guide (ADG) Assessment Table

<p><b>3B-1 Orientation</b></p> <p>Building types and layouts respond to the streetscape and site whilst optimising solar access within the development.</p>	<p>The modified buildings will respond to Central Avenue and Nepean Street by fronting them with dwellings and communal entrances to the building. The modified development will provide solar access to the communal open space comparable to that that was originally approved.</p>	<p>Yes.</p>
<p><b>3B-2 Orientation</b></p> <p>Overshadowing of neighbouring properties is minimised during mid-winter.</p>	<p>Living areas and private open spaces of adjoining properties will receive solar consistent with Section 4A Solar and Daylight Access of the ADG. The modification will not unreasonably impact upon solar access to any of the other buildings approved for the site.</p>	<p>Yes.</p>
<p><b>3C-1 Public Domain Interface</b></p> <p>Transition between private and public domain is achieved without compromising safety and security.</p>	<p>Direct resident access will be provided to dwellings facing the communal open space to the north, Nepean Street and Central Avenue. Privacy to these dwellings' terraces will be provided by fencing and landscaping. Upper level balconies and windows will overlook the adjoining public domain and the design has avoided blank walls facing streets.</p>	<p>Yes.</p>
<p><b>3C-2 Public Domain Interface</b></p> <p>Amenity of the public domain is retained and enhanced.</p>	<p>Landscaping will be provided along the interface of the ground floor dwellings with the adjoining street edge to soften the interface. Waste rooms and service installations will be located within the modified basement.</p>	<p>Yes.</p>
<p><b>3D-1 Communal and Public Open Space</b></p> <p>An adequate area of communal open space is provided to enhance residential amenity and to provide opportunities for landscaping.</p> <p>Communal open space has a minimum area equal to 25% of the site area.</p> <p>Developments achieve a minimum of 50% direct sunlight to the principal usable part of the communal open space for a minimum of two hours between 9am and 3pm on 21 June (mid-winter).</p>	<p>COS will not equate to 25% of the site area for the modified buildings (only 11.3%). The DA approved buildings 4 and 6 with a COS area in the form of a landscaped courtyard. This COS had an area of 188.1m<sup>2</sup>. The modification will reconfigure the buildings and such that a larger COS area of 244.2m<sup>2</sup> will be provided. This is a 29.8% increase on the approved COS.</p> <p>The principal usable part of the COS will achieve less than 50% direct sunlight for a minimum of two hours between 9am and 3pm on 21 June (mid-winter).</p> <p>The approved COS receives little direct sunlight due to the approved configuration of buildings 4 and 6. The modified COS will receive a comparable amount of direct sunlight.</p> <p>The modified COS is supported because it has been well designed with landscaping, seating, a barbecue facility and a shade structure. The COS dimensions will exceed 3m and direct, equitable access will be provided to it both from the building lobby and the adjoining access corridors inside the building. The dwellings' terraces and balconies will well exceed the ADG's minimum area requirements and will provide an appropriate offset to the non-compliant COS. Ultimately the modified COS will be an improvement over the approved COS.</p>	<p>Acceptable alternative solution.</p>

State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development (SEPP 65) and Apartment Design Guide (ADG) Assessment Table

	The modification will also provide further additional COS to the north between buildings 2 and 4 due to the decreased width of the northernmost building wing.	
<p><b>3D-2 Communal and Public Open Space</b></p> <p>Communal open space is designed to allow for a range of activities, respond to site conditions and be attractive and inviting.</p>	The COS will provide seating and all-weather protection via a shade structure that will facilitate informal gathering and meeting opportunities. A barbecue facility will also be provided. The COS will be surrounded by building mass on three sides which will afford it protection from strong winds.	Yes.
<p><b>3D-3 Communal and Public Open Space</b></p> <p>Communal open space is designed to maximise safety.</p>	The COS will be overlooked by dwelling balconies and windows and will be visible from the building lobby and the adjoining access corridors inside the building. A condition is recommended that requires that lighting within the COS is designed and provided in accordance with AS 4282 and AS 1158.	Yes.
<p><b>3E-1 Deep Soil Zones</b></p> <p>Deep soil zones provide areas on the site that allow for and support healthy plant and tree growth. They improve residential amenity and promote management of water and air quality.</p> <p>Deep soil zones are to meet the following minimum requirements:</p> <p>Site area &lt;650m<sup>2</sup>: 7% of site area.</p> <p>Site area 650m<sup>2</sup>-1,500m<sup>2</sup>: Minimum dimensions of 3m and 7% of site area.</p> <p>Site area &gt;1,500m<sup>2</sup>: Minimum dimensions of 6m and 7% of site area.</p> <p>Site area &gt;1,500m<sup>2</sup> with significant existing tree cover: Minimum dimensions of 6m and 7% of site area.</p>	<p>The DA approved buildings 4 and 6 and their vicinity with deep soil zones of 397.8m<sup>2</sup> which equated to 18.5% of the site area for those buildings. The minimum dimension was 8.6m.</p> <p>The modified deep soil zones will have a total area of 473.8m<sup>2</sup> which will equate to 22% of the site area for the modified buildings. The minimum dimension is 9.4m.</p>	Yes.
<p><b>3F-1 Visual Privacy</b></p> <p>Adequate building separation distances are shared equitably between neighbouring sites, to achieve reasonable levels of external and internal visual privacy.</p> <p>Separation distance between windows and balconies is provided to ensure visual privacy is achieved. Minimum requires separation distance from buildings to the side and rear boundaries are as follows:</p> <p>Building up to 12m (4 storeys): 6m between habitable rooms and balconies, 3m between non-habitable rooms.</p> <p>Building up to 25m (5-8 storeys): 9m between</p>	<p>The modified buildings remain four storeys high and therefore generally require a minimum 12m separation distance from other buildings. The modified buildings will be separated from all other buildings on the site by a minimum of 12m. The modified buildings' setback to Nant Gwylan will be 14.4m</p> <p>A minimum 12m separation distance between habitable rooms and balconies within the modified buildings' footprint will generally be provided. It is noted that some habitable spaces will be separated by less than 12m, however these are supported as the view lines between them will be at oblique angles. This will adequately minimise any direct lines of sight between them.</p>	Acceptable alternative solution.

State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development (SEPP 65) and Apartment Design Guide (ADG) Assessment Table

<p>habitable rooms and balconies, 4.5m between non-habitable rooms.</p> <p>Building over 25m (9+ storeys): 12m between habitable rooms and balconies, 6m between non-habitable rooms.</p> <p>Separation distances between buildings on the same site should combine required building separations depending on the type of room.</p> <p>Gallery access circulation should be treated as habitable space when measuring privacy separation distance between neighbouring properties.</p>		
<p><b>3F-2 Visual Privacy</b></p> <p>Site and building design elements increase privacy without compromising access to light and air and balance outlook and views from habitable rooms and private open space.</p>	<p>Terraces and balconies will be located in front of living rooms to increase internal privacy. Terraces facing COS and internal roads will be shielded by privacy screens. Vertical fins will be used between adjacent balconies for privacy.</p>	Yes.
<p><b>3G-1 Pedestrian Access and Entries</b></p> <p>Building entries and pedestrian access connects to and addresses the public domain.</p>	<p>Direct resident access will be provided to dwellings facing the communal open space to the north, Nepean Street and Central Avenue. Communal entries to the modified buildings will be provided from Nepean Street and Central Avenue.</p>	Yes.
<p><b>3G-2 Pedestrian Access and Entries</b></p> <p>Access, entries and pathways are accessible and easy to identify.</p>	<p>Access points into and through the modified buildings will be accessible and easy to identify. The ground floor will be at one consistent RL (72.75) without any level changes.</p>	Yes.
<p><b>3G-3 Pedestrian Access and Entries</b></p> <p>Large sites provide pedestrian links for access to streets and connection to destinations.</p>	<p>The modification will largely maintain the approved resident links through the site, including from and to the COS located between buildings 1, 2, 3 and 4. Whilst the approved buildings 4 and 6 will be linked together, east-west resident access through them will still be possible and an additional southern access for all residents from and to Central Avenue to the south will be provided.</p>	Yes.
<p><b>3H-1 Vehicle Access</b></p> <p>Vehicle access points are designed and located to achieve safety, minimise conflicts between pedestrians and vehicles and create high quality streetscapes.</p>	<p>The modified buildings' basement access will remain off Nepean Street that will run between buildings 3, 4, 5 and 6 and be unaltered by the modification.</p>	Yes.
<p><b>3J-1 Bicycle and Car Parking</b></p> <p>Car parking is provided based on proximity to public transport in metropolitan Sydney and centres in regional areas.</p> <p>For development in the following locations:</p> <ul style="list-style-type: none"> <li>on sites that are within 800m of a railway station or light rail stop in the Sydney</li> </ul>	<p>Camden Development Control Plan 2019 adopts the minimum car parking requirements of State Environmental Planning Policy (Housing) 2021. The requirement is 0.5 spaces per bedroom. The car parking calculations for the modification are:</p> <ul style="list-style-type: none"> <li>74 bedrooms / 2 = 37 spaces required.</li> </ul>	Yes.

State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development (SEPP 65) and Apartment Design Guide (ADG) Assessment Table

<p>Metropolitan Area, or</p> <ul style="list-style-type: none"> <li>on land zoned, and sites within 400m of land zoned, B3 Commercial Core, B4 Mixed Use or equivalent in a nominated regional centre.</li> </ul> <p>the minimum car parking requirement for residents and visitors is set out in the Guide to Traffic Generating Developments, or the car parking requirement prescribed by the relevant council, whichever is less.</p> <p>The car parking need for a development must be provided off-street.</p>	<p>Therefore the modified buildings will require 37 spaces. The modified section of the basement underneath the modified buildings will provide 49 spaces.</p>	
<p><b>3J-2 Bicycle and Car Parking</b></p> <p>Parking and facilities are provided for other modes of transport.</p>	<p>Secure, undercover bicycle parking will be provided in the modified basement.</p>	<p>Yes.</p>
<p><b>3J-3 Bicycle and Car Parking</b></p> <p>Car park design and access is safe and secure.</p>	<p>Plant rooms and storage areas will be accessible in the modified basement without crossing car parking spaces. Direct, clearly visible, well lit access will be provided into common circulation areas. Lifts and stairwells will open out onto lobby areas.</p>	<p>Yes.</p>
<p><b>3J-4 Bicycle and Car Parking</b></p> <p>Visual and environmental impacts of underground car parking are minimised.</p>	<p>The car parking layout will be logical and efficient as it will use a grid configuration.</p>	<p>Yes.</p>
<p><b>4A-1 Solar and Daylight Access</b></p> <p>To optimise the number of apartments receiving sunlight to habitable rooms, primary windows and private open space.</p> <p>Living rooms and private open spaces of at least 70% of apartments in a building receive a minimum of two hours direct sunlight between 9am and 3pm at mid-winter in the Sydney Metropolitan Area and in the Newcastle and Wollongong local government areas.</p> <p>A maximum of 15% of apartments in a building receive no direct sunlight between 9am and 3pm at mid-winter.</p>	<p>20 dwellings (71.4%) will receive a minimum of two hours direct sunlight between 9am-3pm in mid-winter.</p> <p>3 dwellings (10.7%) will receive no direct sunlight between 9am and 2pm in mid-winter.</p>	<p>Yes.</p>
<p><b>4A-2 Solar and Daylight Access</b></p> <p>Daylight access is maximised where sunlight is limited.</p>	<p>Light coloured internal surface finishes will be used where sunlight is limited. A condition is recommended to ensure that this occurs.</p>	<p>Yes.</p>
<p><b>4A-3 Solar and Daylight Access</b></p> <p>Design incorporates shading and glare control, particularly for warmer months.</p>	<p>The balcony designs will achieve an appropriate balance between winter sun penetration and summer sun shade. An existing standard condition requires that all glazing used externally not exceed a reflectance level of 20%.</p>	<p>Yes.</p>
<p><b>4B-1 Natural Ventilation</b></p>	<p>All habitable rooms will have external openings which will provide natural ventilation. The</p>	<p>Yes.</p>

State Environmental Planning Policy No 65 - Design Quality of Residential Apartment  
Development (SEPP 65) and Apartment Design Guide (ADG) Assessment Table

All habitable rooms are naturally ventilated.	depths of all habitable rooms will support natural ventilation.	
<b>4B-2 Natural Ventilation</b>  The layout and design of single aspect apartments maximises natural ventilation.	The dwelling depths are limited to maximise ventilation and airflow consistent with Figure 4D.3 of the ADG.	Yes.
<b>4B-3 Natural Ventilation</b>  The number of apartments with natural cross ventilation is maximised to create a comfortable indoor environment for residents.  At least 60% of apartments are naturally cross ventilated in the first nine storeys of the building. Apartments at ten storeys or greater are deemed to be naturally ventilated only if any enclosure of the balconies at these levels allows adequate natural ventilation and cannot be fully enclosed.  Overall depth of a cross-over or cross-through apartment does not exceed 18m, measured glass line to glass line.	18 dwellings (64.2%) will be naturally cross ventilated.  The overall depth of the cross-through dwellings will not exceed 18m, measured glass line to glass line.	Yes.
<b>4C-1 Ceiling Heights</b>  Ceiling height achieves sufficient natural ventilation and daylight access.  Measured from finished floor level to finished ceiling level, minimum ceiling heights are:  Habitable rooms: 2.7m.  Non-habitable rooms: 2.4m.  Two storey apartments: 2.7m for main living area floor and 2.4m for second floor, where its area does not exceed 50% of the apartment area.  Attic spaces: 1.8m at the edge of room with a 30 degree minimum ceiling slope.  If located in mixed use areas: 3.3m for ground and first floor to promote future flexibility of use.	The proposed ceiling heights will generally comply with the ADG's design criteria. The 3.1m ground and first floor (floor to floor) heights are supported as although the site is zoned MU1 Mixed Use, the modified buildings form part of a larger, purpose-built, seniors living development and so the need to provide flexibility for future uses at ground and first floor is not warranted.	Acceptable alternative solution.
<b>4C-2 Ceiling Heights</b>  Ceiling height increases the sense of space in apartments and provides for well-proportioned rooms.	The dwelling rooms will be well proportioned and service areas will be stacked floor to floor to maximise ceiling heights in habitable rooms.	Yes.
<b>4C-3 Ceiling Heights</b>  Ceiling heights contribute to the flexibility of building use over the life of the building.	The ground and first floor ceiling heights are supported as although the site is zoned MU1 Mixed Use, the modified buildings form part of a larger, purpose-built, seniors living development and so the need to provide flexibility for future uses at ground and first floor is not warranted.	Yes.

State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development (SEPP 65) and Apartment Design Guide (ADG) Assessment Table

<p><b>4D-1 Apartment Size and Layout</b></p> <p>The layout of rooms within an apartment is functional, well organised and provides a high standard of amenity.</p> <p>Apartments are required to have the following minimum internal areas:</p> <p>Studio: 35m<sup>2</sup>.</p> <p>One bedroom: 50m<sup>2</sup>.</p> <p>Two bedroom: 70m<sup>2</sup>.</p> <p>Three bedroom: 90m<sup>2</sup>.</p> <p>The minimum internal areas include only one bathroom. Additional bathrooms increase the minimum internal area by 5m<sup>2</sup> each.</p> <p>A fourth bedroom and further additional bedrooms increase the minimum internal area by 12m<sup>2</sup> each.</p> <p>Every habitable room must have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room. Daylight and air may not be borrowed from other rooms.</p>	<p>All of the dwellings will exceed the minimum internal areas required by the ADG.</p> <p>All habitable rooms will have a window in an external wall with a total minimum glass area of not less than 10% of the floor area of the room.</p>	<p>Yes.</p>
<p><b>4D-2 Apartment Size and Layout</b></p> <p>Environmental performance of the apartment is maximised.</p> <p>Habitable room depths are limited to a maximum of 2.5 x the ceiling height.</p> <p>In open plan layouts (where the living, dining and kitchen are combined) the maximum habitable room depth is 8m from a window.</p>	<p>Habitable room depths will be no greater than 2.5m x the ceiling height, except for open plan layout rooms which the ADG allows to be up to 8m deep.</p>	<p>Yes.</p>
<p><b>4D-3 Apartment Size and Layout</b></p> <p>Apartment layouts are designed to accommodate a variety of household activities and needs.</p> <p>Master bedrooms have a minimum area of 10m<sup>2</sup> and other bedrooms 9m<sup>2</sup> (excluding wardrobe space),</p> <p>Bedrooms have a minimum dimension of 3m (excluding wardrobe space).</p> <p>Living rooms or combined living/dining rooms have a minimum width of:</p> <p>One bedroom apartments: 3.6m.</p>	<p>All of the master bedrooms will have a minimum area of 10m<sup>2</sup> and all other bedrooms will have a minimum area of 9m<sup>2</sup> (excluding wardrobe space).</p> <p>All bedrooms will have a minimum dimension of 3m (excluding wardrobe space).</p> <p>The combined living/dining rooms and cross-through dwellings will have a minimum width of 4m.</p>	<p>Yes.</p>

State Environmental Planning Policy No 65 - Design Quality of Residential Apartment  
Development (SEPP 65) and Apartment Design Guide (ADG) Assessment Table

Two or three bedroom apartments: 4m.  The width of cross-over or cross-through apartments are at least 4m internally to avoid deep narrow apartment layouts.		
<b>4E-1 Private Open Space and Balconies</b>  Apartments provide appropriately sized private open space and balconies to enhance residential amenity.  All apartments are required to have primary balconies as follows:  Studio apartments: 4m <sup>2</sup> .  One bedroom apartments: 8m <sup>2</sup> with a minimum depth of 2m.  Two bedroom apartments: 10m <sup>2</sup> with a minimum depth of 2m.  Three+ bedroom apartments: 12m <sup>2</sup> with a minimum depth of 2.4m.  For apartments at ground level or on a podium or similar structure, a private open space is provided instead of a balcony. It must have a minimum area of 15m <sup>2</sup> and a minimum depth of 3m.	All of the dwellings will have balconies that meet, and often exceed, the minimum requirements of the ADG.  The ground floor dwellings will all have terraces with a combined area greater than 15m <sup>2</sup> . Each of these terraces will have a component that is at least 3m deep in a primary terrace area of approximately 15m <sup>2</sup> . Whilst some primary terrace areas will be less than 15m <sup>2</sup> , these are supported as all of the terraces will have overall areas that will exceed the minimum 15m <sup>2</sup> .	Acceptable alternative solution.
<b>4E-2 Private Open Space and Balconies</b>  Primary private open space and balconies are appropriately located to enhance liveability for residents.	All terraces and balconies will be located adjacent to the dwellings' living rooms, dining rooms or kitchens.	Yes.
<b>4E-3 Private Open Space and Balconies</b>  Private open space and balcony design is integrated into and contributes to the overall architectural form and detail of the building.	The fencing and balcony balustrade design will allow for passive surveillance of the COS and the surrounding roads. A condition is recommended that requires water and electricity outlets be provided for the terraces and balconies.	Yes.
<b>4E-4 Private Open Space and Balconies</b>  Private open space and balcony design maximises safety.	The modified building design has avoided changes in ground levels and will provide appropriate terrace and balcony edge treatments that will balance passive surveillance and privacy.	Yes.
<b>4F-1 Common Circulation and Spaces</b>  Common circulation spaces achieve good amenity and properly service the number of apartments.  The maximum number of apartments off a circulation core on a single level is eight.  For buildings of 10 storeys and over, the maximum number of apartments sharing a single lift is 40.	The modified buildings' will provide no more than 8 dwellings per level off a circulation core.	Yes.

State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development (SEPP 65) and Apartment Design Guide (ADG) Assessment Table

<p><b>4F-2 Common Circulation and Spaces</b></p> <p>Common circulation spaces promote safety and provide for social interaction between residents.</p>	<p>Tight corners will be avoided and all circulation spaces will be well lit at night</p>	<p>Yes.</p>
<p><b>4G-1 Storage</b></p> <p>Adequate, well designed storage is provided in each apartments.</p> <p>In addition to storage in kitchens, bathrooms and bedrooms, the following storage is provided:</p> <p>Studio apartments: 4m<sup>3</sup>.</p> <p>One bedroom apartments: 6m<sup>3</sup>.</p> <p>Two bedroom apartments: 8m<sup>3</sup>.</p> <p>Three+ bedroom apartments: 10m<sup>3</sup>.</p> <p>At least 50% of the required storage is to be located within the apartment.</p>	<p>All of the dwellings will meet, and typically exceed, the minimum storage requirements of the ADG.</p>	<p>Yes.</p>
<p><b>4G-2 Storage</b></p> <p>Additional storage is conveniently located, accessible and nominated for individual apartments.</p>	<p>Storage cages in the modified basement will be secure, clearly allocated and not visible from the public domain. Storage cages will be located at the rear or side of car parking spaces.</p>	<p>Yes.</p>
<p><b>4H-1 Acoustic Privacy</b></p> <p>Noise transfer is minimised through the siting of buildings and building layout.</p>	<p>Adequate separation from adjoining buildings will be provided. The number of party walls shared between dwellings has been minimised.</p>	<p>Yes.</p>
<p><b>4H-2 Acoustic Privacy</b></p> <p>Noise impacts are mitigated within apartments through layouts and acoustic treatments.</p>	<p>Modified condition 3.0(46) requires an acoustic report to be prepared prior to the first construction certificate for each stage of the development. This report will guide any required acoustic treatments for the dwellings. Whilst the overall development will contain some noisy components, e.g. the waste collection point along Central Avenue and the basement entries/exits, it is not anticipated that there will be any unreasonable adverse noise impacts that cannot be mitigated through reasonable acoustic treatments.</p>	<p>Yes.</p>
<p><b>4J-1 Noise and Pollution</b></p> <p>In noisy or hostile environments the impacts of external noise and pollution are minimised through the careful siting and layout of buildings.</p>	<p>Modified condition 3.0(46) requires an acoustic report to be prepared prior to the first construction certificate for each stage of the development. This report will guide any required acoustic treatments for the dwellings. Whilst the overall development will contain some noisy components, e.g. the waste collection point along Central Avenue and the basement entries/exits, it is not anticipated that there will be any unreasonable adverse noise impacts that cannot be mitigated through reasonable acoustic treatments.</p>	<p>Yes.</p>
<p><b>4J-2 Noise and Pollution</b></p>	<p>Modified condition 3.0(46) requires an acoustic</p>	<p>Yes.</p>



State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development (SEPP 65) and Apartment Design Guide (ADG) Assessment Table

Appropriate noise shielding or attenuation techniques for the building design, construction and choice of materials are used to mitigate noise transmission.	report to be prepared prior to the first construction certificate for each stage of the development. This report will guide any required acoustic treatments for the dwellings. Whilst the overall development will contain some noisy components, e.g. the waste collection point along Central Avenue and the basement entries/exits, it is not anticipated that there will be any unreasonable adverse noise impacts that cannot be mitigated through reasonable acoustic treatments.	
<b>4K-1 Apartment Mix</b> A range of apartment types and sizes is provided to cater for different household types now and into the future.	A variety of 2 and 3 bedroom dwellings are proposed.	Yes.
<b>4K-2 Apartment Mix</b> The apartment mix is distributed to suitable locations within the building.	The dwellings will all exceed the minimum size requirements of the ADG and will be configured to maximise private open space opportunities.	Yes.
<b>4L-1 Ground Floor Apartments</b> Street frontage is maximised where ground floor apartments are located.	Direct street access will be provided to dwellings 4002, 4003 and 4004. These dwellings will provide terraces fronting Central Avenue and Nepean Street that will provide an active frontage.	Yes.
<b>4L-2 Ground Floor Apartments</b> Design of ground floor apartments delivers amenity and safety for residents.	Privacy for the terraces for dwellings 4002, 4003 and 4004 will be achieved by level changes, fencing and landscaping. Privacy for dwellings 3001, 3006 and 3007 will be achieved via a mix of setbacks, fencing and landscaping.	Yes.
<b>4M-1 Facades</b> Building facades provide visual interest along the street while respecting the character of the local area.	The modified buildings' facades will include brickwork, rendered masonry and metal roof sheeting in their material palette. The facades will be articulated by recessed and projecting balconies to ensure that they visually read as an assemblage of smaller elements.	Yes.
<b>4M-2 Facades</b> Building functions are expressed by the façade.	The building entries will be clearly defined and visible from the public domain within the site.	Yes.
<b>4N-1 Roof Design</b> Roof treatments are integrated into the building design and positively respond to the street.	The roof mass will be broken down by using smaller elements and feature high pitches which are appropriate to the surrounding context.	Yes.
<b>4N-2 Roof Design</b> Opportunities to use roof space for residential accommodation and open space are maximised.	The roof form will be used to accommodate dwellings with generous balconies for private open space.	Yes.
<b>4N-3 Roof Design</b> Roof design incorporates sustainability features.	The dwellings within the roof will achieve a good level of solar access and their balconies will be provided with overhangs for weather protection and shading.	Yes.
<b>4O-1 Landscape Design</b> Landscape design is viable and sustainable.	Subject to the modified conditions, the modified landscaping design is considered appropriate for the site and area and includes	Yes.

State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development (SEPP 65) and Apartment Design Guide (ADG) Assessment Table

	a suitable mix of trees, ground covers, shrubs and grasses.	
<b>4O-2 Landscape Design</b>  Landscape design contributes to the streetscape and amenity.	Subject to the modified conditions, the modified landscaping design is considered appropriate for the site and area and includes a suitable mix of trees, ground covers, shrubs and grasses.	Yes.
<b>4P-1 Planting on Structures</b>  Appropriate soil profiles are provided.	Appropriate soil profiles will be provided for the proposed landscaping.	Yes.
<b>4P-2 Planting on Structures</b>  Plant growth is optimised with appropriate selection and maintenance.	The proposed landscaping is suitable for the site conditions.	Yes.
<b>4P-3 Planting on Structures</b>  Planting on structures contributes to the quality and amenity of communal and public open spaces.	The modification will provide appropriately designed planter boxes.	Yes.
<b>4Q-1 Universal Design</b>  Universal design features are included in apartment design to promote flexible housing for all community members.	A condition is recommended that requires 20% of the dwellings to achieve the Livable Housing Guidelines silver level universal design features.	Yes.
<b>4Q-2 Universal Design</b>  A variety of apartments with adaptable designed are provided.	The applicant has submitted an access report in support of the modification that demonstrates compliance with AS 4299 and adaptability requirements.	Yes.
<b>4Q-3 Universal Design</b>  Apartment layouts are flexible and accommodate a range of lifestyle needs.	The dwelling sizes exceed the ADG requirements and the second and third bedrooms could be converted into study areas if desired.	Yes.
<b>4U-1 Energy Efficiency</b>  Development incorporates passive environmental design.	Adequate natural light will be provided to habitable rooms.	Yes.
<b>4U-2 Energy Efficiency</b>  Development incorporates passive solar design to optimise heat storage in winter and reduce heat transfer in summer.	The balcony/balcony overhang design will provide an appropriate balance between winter sun penetration and summer sun shade.	Yes.
<b>4U-3 Energy Efficiency</b>  Adequate natural ventilation minimises the need for mechanical ventilation.	The modified buildings will comply with the ADG's natural cross ventilation requirements.	Yes.
<b>4V-1 Water Management and Conservation</b>  Potable water use is minimised.	A compliant BASIX certificate has been submitted and a standard condition is recommended to ensure compliance with its requirements.	Yes.
<b>4V-2 Water Management and Conservation</b>  Urban stormwater is treated on site before being discharged to receiving waters.	The modification involves an amended stormwater management design that, subject to the modified conditions, will ensure compliance with Council's engineering specifications.	Yes.
<b>4V-3 Water Management and Conservation</b>  Flood management systems are integrated	The modification will include both interim and ultimate compensatory flood storage systems that will adequately integrate into the design of the overall development.	Yes.

State Environmental Planning Policy No 65 - Design Quality of Residential Apartment  
Development (SEPP 65) and Apartment Design Guide (ADG) Assessment Table

into the site design.		
<b>4W-1 Waste Management</b>  Waste storage facilities are designed to minimise impacts on the streetscape, building entry and amenity of residents.	Waste rooms will be located in the modified basement. An existing condition requires that all waste bin storage areas be designed in accordance with Council's Waste Management Guideline.	Yes.
<b>4W-2 Waste Management</b>  Domestic waste is minimised by providing safe and convenient source separation and recycling.	The modified buildings will provide a communal waste storage room for general, recyclable and bulky waste conveniently located between two lift cores in the modified basement.	Yes.
<b>4X-1 Building Maintenance</b>  Building design detail provides protection from weathering.	Appropriate roof and balcony overhangs will be provided and will provide sufficient protection from weathering.	Yes.
<b>4X-2 Building Maintenance</b>  Systems and access enable ease of maintenance.	The design will enable more frequent/short term maintenance tasks to be undertaken from within the modified buildings.	Yes.
<b>4X-3 Building Maintenance</b>  Material selection reduces ongoing maintenance costs.	The proposed brickwork and rendered masonry that will be used in the building facades are robust and durable materials that will weather well over time.	Yes.

## Camden Local Environmental Plan 2010 (Camden LEP) Assessment Table

Clause	Assessment	Compliance?
<p><b>2.3 Zone objectives and land use table</b></p> <p>The land use table for each zone sets out what development is permitted without consent, permitted with consent and prohibited.</p> <p>The consent authority must have regard to the objectives for development in a zone when determining a development application in respect of land within a zone.</p> <p>The zone objectives for this site are:</p> <ul style="list-style-type: none"> <li>• To encourage a diversity of business, retail, office and light industrial land uses that generate employment opportunities.</li> <li>• To ensure that new development provides diverse and active street frontages to attract pedestrian traffic and to contribute to vibrant, diverse and functional streets and public spaces.</li> <li>• To minimise conflict between land uses within this zone and land uses within adjoining zones.</li> <li>• To encourage business, retail, community and other non-residential land uses on the ground floor of buildings.</li> <li>• To encourage development that supports or complements the primary office and retail functions of the local centre zone.</li> </ul>	<p>The modification is consistent with the relevant objectives of the MU1 Mixed Use zone in that:</p> <ul style="list-style-type: none"> <li>• The modified buildings will provide active frontages to the internal streets within the site through a combination of communal building entries and semi-private dwelling terraces with direct street access.</li> <li>• The modified buildings will not conflict with any land uses within this or any adjoining zones.</li> </ul>	<p>Yes.</p>
<p><b>4.3 Height of buildings</b></p> <p>Maximum building heights must not exceed the maximum building height shown on the Height of Buildings Map.</p> <p>The maximum building height for this site is 7m.</p>	<p>The modification will involve building mass that exceeds 7m in height from existing ground level. The building mass and height has been assessed in detail in the assessment report and is considered to be acceptable in the context of the approved development. It is noted that the modification will not increase the maximum overall building height approved for buildings 4 and 6.</p> <p>Case law has established that the power to modify a development consent is a 'free-standing provision' meaning that a modification can be approved notwithstanding that it would contravene a development standard. Consequently, the contravention does not require a written request pursuant to clause 4.6 of the Camden LEP.</p>	<p>No. Variation supported.</p>

## Camden Local Environmental Plan 2010 (Camden LEP) Assessment Table

Clause	Assessment	Compliance?
<p><b>5.10 Heritage conservation</b></p> <p>Before granting development consent in respect of a heritage items or a heritage conservation area, the consent authority must consider the effect of the proposed development on the heritage significance of the item or area concerned.</p> <p>The consent authority may require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the item or heritage conservation area concerned. The submission of a heritage conservation management plan may also be required.</p>	<p>As detailed in the assessment report, Council staff are satisfied that the modification is unlikely to have any unreasonable adverse heritage impacts in the context of the approved development.</p> <p>The applicant has submitted adequate heritage impact statements in support of the modification.</p>	Yes.
<p><b>5.21 Flood planning</b></p> <p>Development consent must not be granted to development on land the consent authority considers to be within the flood planning area unless the consent authority is satisfied the development:</p> <p>(a) Is compatible with the flood function and behaviour on the land.</p> <p>(b) Will not adversely affect flood behaviour in a way that results in detrimental increases in the potential flood affectation of other development or properties.</p> <p>(c) Will not adversely affect the safe occupation and efficient evacuation of people or exceed the capacity of existing evacuation routes for the surrounding area in the event of a flood.</p> <p>(d) Incorporates appropriate measures to manage risk to life in the event of a flood.</p> <p>(e) Will not adversely affect the environment or cause avoidable erosion, siltation, destruction of riparian vegetation or a reduction in the stability of river banks or watercourses</p>	<p>As detailed in the assessment report, the applicant has submitted flooding related information in support of the modification which is supported by Council staff. Council staff are satisfied that the modification is consistent with the requirements of this clause, noting that the modified buildings will remain at the same level as the approved buildings 4 and 6 (RL 72.75). This is well above the 1% annual exceedance probability flood level of RL 71.10. To ensure consistency with this clause, modified conditions are recommended to require that compensatory flood storage be provided in the eastern half of the site and that an update be made to a required evacuation and access strategy for the overall development to reflect the modification.</p>	Yes.
<p><b>7.4 Earthworks</b></p> <p>Before granting development consent for earthworks the consent authority must consider the following matters:</p>	<p>The matters listed by this clause have been considered and, subject to the existing and modified conditions, the modification is considered to be acceptable in terms of them.</p>	Yes.

Camden Local Environmental Plan 2010 (Camden LEP) Assessment Table

Clause	Assessment	Compliance?
(a) the likely disruption of, or any detrimental effect on, existing drainage patterns and soil stability in the locality, (b) the effect of the proposed development on the likely future use or redevelopment of the land, (c) the quality of the fill or the soil to be excavated, or both, (d) the effect of the proposed development on the existing and likely amenity of adjoining properties, (e) the source of any fill material and the destination of any excavated material, (f) the likelihood of disturbing relics, (g) the proximity to and potential for adverse impacts on any watercourse, drinking water catchment or environmentally sensitive area.		

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
<p><b>2.1 Earthworks</b></p> <p>Building work should be designed to respond to the natural topography of the of the site wherever possible and minimise the extent of cut and fill.</p> <p>All proposed retaining walls are to be identified, a maximum of 1 metre high, of masonry construction (or the like) and finished with anti-graffiti coating.</p> <p>All land forming operations should involve the use of clean fill with salinity characteristics matching the receiving land.</p>	<p>The modification proposes levels that are generally consistent with the originally approved levels.</p> <p>The retaining wall forming part of the planter facing Nant Gwylan will have a height of 1.04m however this minor variation is supported as the slightly higher height will not be perceptible given that the walls will be well screened by existing and proposed landscaping in the adjoining deep soil zone.</p> <p>Existing condition 1.0(7) will ensure the use of suitably clean fill with consistent salinity characteristics if required.</p>	No. Variation supported.
<p><b>2.2 Salinity Management</b></p> <p>Groundwater recharge is to be minimised.</p> <p>Development must incorporate soil conservation measures. Sediment and erosion controls are to be installed prior to works commencing.</p> <p>Where salinity is identified on the site a salinity report and management plan must be prepared.</p>	Existing condition 3.0(3) requires the completion of additional salinity testing and the preparation of stage specific salinity management plans if required. This will achieve the intent of these controls.	Yes.
<p><b>2.3 Water Management</b></p> <p>Development must comply with Council's engineering specifications including requirements for detention, drainage and water sensitive urban design.</p>	Subject to the existing and modified conditions, the modification will be consistent with Council's engineering specifications.	Yes.
<p><b>2.8 Flood Hazard Management</b></p> <p>Development on flood prone land must comply with Council's engineering specifications and Flood Risk Management Policy.</p>	As detailed in the assessment report, the applicant has submitted flooding related information in support of the modification which is supported by Council staff. Council staff are satisfied that the modification is satisfactory in terms of Council's Flood Risk Management Policy (in the context of the approved development), noting that the modified buildings will remain at the same level as the approved buildings 4 and 6 (RL 72.75). This is well above the 1% annual exceedance probability flood level of RL 71.10. Modified conditions are recommended to require that compensatory flood storage be provided in the eastern half of the site and that an update be made to a required evacuation and access strategy for the overall development to reflect the modification.	Yes.
<p><b>2.9 Contaminated and Potentially Contaminated Land Management</b></p> <p>Council may require a site audit review conducted by a NSW EPA accredited site auditor to be provided at any stage of the</p>	The DA approval included the remediation of contaminated land on the site. Following remediation between 2017 and 2018, a site audit statement was issued by a site auditor. A modified procedural condition is recommended that requires the detailed design plans for the	Yes.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
contamination investigation, remediation and validation stages. All site audit reviews will lead to a site audit statement being issued by the site auditor at the conclusion of the works.	modification to be reviewed by a site auditor and for the developer to comply with any requirements of the auditor.	
<b>2.10 Development Near Camden Airport</b>  Buildings or structures located within the area affected by the Camden Airport obstacle limitation surface or procedures for air navigation services contained in the Camden Airport Master Plan must use materials that have low reflectivity.	The development will not penetrate the Camden Airport obstacle limitation surface or procedures for air navigation services level and will use materials that have low reflectivity.	Yes.
<b>2.12 Acoustic Amenity</b>  Acoustic reports (where required) must be prepared by a suitably qualified consultant.  Bedrooms, main living areas and principal private open spaces must be located away from noise sources.  For dwellings in areas outside of the new release areas, the principle private open space area is to be attenuated to 55dBA LAeq (15hr) from 7am to 10pm. Council may consider an increased decibel level where it can be demonstrated that the objectives of this Camden DCP section are met and the above criteria is not able to be reasonably or feasibly achieved.	Modified condition 3.0(46) requires an acoustic report to be prepared prior to the first construction certificate for each stage of the development. This report will guide any required acoustic treatments for the dwellings.	Yes.
<b>2.14 Waste Management</b>  A waste management plan must be submitted for new development. Waste management plans must be in accordance with Council's waste management guideline.	Waste management arrangements for this part of the overall development have already been approved as part of a previous modification. Subject to the modified conditions, the modification will be consistent with Council's waste management guideline.	Yes.
<b>2.16.2 Heritage Concepts</b>  A heritage impact statement is required where, in the opinion of Council, the heritage significance of the following could be affected:  (a) a heritage item,  (b) a heritage conservation area,  (c) a culturally significant place (built environment, cultural landscape or an archaeological site) identified in Table 2-2, 2-3 and 2-4 and Figures 2-8 and 2-9,  (d) development in the vicinity of any of	The applicant has submitted adequate heritage impact statements in support of the modification.	Yes.



Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
the above and in the vicinity of St Thomas Chapel and the area shown on Figure 2-7.		
<p><b>2.16.3 General Heritage Provisions - Compatibility of New Work</b></p> <p>Ensure development is based on, and sympathetic to, an understanding of the heritage significance of the place.</p> <p>Ensure that any development within a heritage conservation area is compatible with and sympathetic to the significant characteristics of the conservation area as a whole and makes a positive contribution to the area.</p> <p>Ensure that the development in the vicinity of a heritage place is undertaken in a manner that does not detract from the heritage significance of the place.</p>	The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.	Yes.
<p><b>2.16.3 General Heritage Provisions - Development Details</b></p> <p>Ensure the integrity of the heritage item and its setting (including landscape visual catchment and significant characteristics); or the Heritage Conservation Area is retained by the careful design, scale and siting of new buildings and alterations and additions to existing buildings.</p> <p>New development may use contemporary design, materials and construction techniques; but must maintain and not adversely impact the heritage significance of the place, and the significant elements that make up the character of the Heritage Conservation Area.</p> <p>Promote the use of high quality design, materials, finishes and detailing which is appropriate sympathetic to the architectural style, building type and historic context of a heritage place.</p> <p>Promote the use of colour schemes that are sympathetic to the character of the individual building, group of buildings and the historic context of a heritage place.</p>	The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.	Yes.
<p><b>2.16.3 General Heritage Provisions - Associated Details</b></p> <p>Ensure that fences, gates, and outbuildings and other ancillary structures are sympathetic to the significance of the heritage place.</p>	The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.	Yes.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
<p>Promote landscaping that is consistent with appropriate to the significance of the heritage place.</p> <p>Minimise the impact of new driveways on heritage items and the streetscape and retain an active retail street frontage.</p>		
<p><b>2.16.3 General Heritage Provisions - Design</b></p> <p>New buildings must be of a simple, contemporary design that avoids 'heritage style' replication of architectural or decorative detail.</p> <p>New work must be easily identified as such and is required to be sympathetic to the heritage place.</p> <p>New development must be designed to interpret and complement the general form, bulk, scale, height, architectural detail and other significant elements of the surrounding heritage place.</p>	<p>The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.</p>	Yes.
<p><b>2.16.3 General Heritage Provisions - Siting</b></p> <p>Alterations and additions to a heritage item or within a conservation area will be sited and designed to retain the intactness and consistency of the streetscape and the significance of the conservation area.</p> <p>Where there is a uniform building front setback, new development must recognise this.</p>	<p>The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.</p>	Yes.
<p><b>2.16.3 General Heritage Provisions - Verandas and Balconies</b></p> <p>Verandas and balconies on new buildings should generally be of a contemporary design and materials that respond to the character, scale and from setting of the heritage place.</p>	<p>The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.</p>	Yes.
<p><b>2.16.3 General Heritage Provisions - Height</b></p> <p>Dormers with traditional proportions and sympathetic detailing that complements the style and details of the roof may be considered.</p> <p>Loft type structures in the conservation area may be appropriate only where the bulk, size and scale does not overwhelm the existing or surrounding buildings and can be included in the roof space of a pitch that reflects surrounding existing</p>	<p>The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.</p>	Yes.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
development.		
<p><b>2.16.3 General Heritage Provisions - Materials and Finishes</b></p> <p>Materials, finishes, and textures must be sympathetic to the historic context of the original significant buildings within the streetscape.</p> <p>Contemporary materials are permitted where their proportions, detailing and quantities are compatible with the character of the area. Large expanses of glass and reflective wall and roof cladding are not appropriate.</p>	<p>The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.</p>	Yes.
<p><b>2.16.3 General Heritage Provisions - Colours</b></p> <p>New buildings need not employ traditional colour schemes but should use colours sympathetic to surrounding development and contribute to the cohesiveness of the heritage place. A material and colour palette sheet must be provided to Council for assessment.</p>	<p>The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.</p>	Yes.
<p><b>2.16.3 General Heritage Provisions - Fences and Gates</b></p> <p>Traditional fence heights and styles that do not obscure heritage items or visually dominate heritage conservation areas are to be used.</p> <p>On sloping sites fences and walls should be stepped down the slope.</p>	<p>The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.</p>	No. Variation supported.
<p><b>2.16.3 General Heritage Provisions - Landscaping</b></p> <p>Landscaping in a heritage place should, retain the original design elements, paths, significant trees and established gardens.</p>	<p>The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.</p>	Yes.
<p><b>2.16.4 Camden Heritage Conservation Area</b></p> <p>Views associated with the St John's Church spire must not be compromised.</p> <p>The rural-urban interface must be sensitively addressed in new development proposals.</p> <p>The strong street grid must be maintained and not compromised by closures and/or permanent malls.</p> <p>Opportunities for enhanced pedestrian linkages must be sensitively promoted.</p>	<p>The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.</p> <p>The modification will not increase the maximum overall building height approved for buildings 4 and 6 and that the main additional building mass will be nestled between and lower than the two building wings.</p> <p>The modification will largely maintain the approved resident links through the site, including from and to the communal open space (COS) located between buildings 1, 2, 3 and 4. Whilst the approved buildings 4 and 6</p>	Yes.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
<p>A two storey height limit must prevail except for significant architectural features incorporated into the design of buildings in significant locations.</p> <p>Large built forms in cottage dominated precincts must be avoided through the use of various roof forms and pitches, wall openings and recesses, materials, recessive colours and landscaping.</p> <p>Development of the flood affected fringes of the town must not compromise the prevailing character.</p>	<p>will be linked together, east-west resident access through them will still be possible and an additional southern access for all residents from and to Central Avenue to the south will be provided.</p>	
<p><b>2.18.2 Off-Street Car Parking Rates/Requirements</b></p> <p>0.5 off-street car parking spaces per bedroom.</p> <p>Service vehicle provision must be provided having regard to the nature of a particular development and its likely servicing requirements.</p> <p>Where provision of separate off-street loading/unloading areas may prove difficult Council may consider shared parking and loading areas with limitations on the hours during which vehicular loading/unloading may take place or the creation of kerbside loading zones.</p> <p>Access by a waste collection vehicle, where necessary, must be provided to development.</p>	<p>The car parking calculations for the modification are:</p> <ul style="list-style-type: none"> <li>74 bedrooms / 2 = 37 spaces required.</li> </ul> <p>Therefore the modified buildings will require 37 spaces. The modified section of the basement underneath the modified buildings will provide 49 spaces.</p> <p>Provision for servicing and waste collection vehicles has already been approved as part of a previous modification.</p>	Yes.
<p><b>2.18.3 Car Parking Design Criteria</b></p> <p>Visitor parking spaces should be clearly marked and conveniently located to encourage their use by their intended users. Spaces should be freely accessible, preferably in front of the building.</p> <p>Waste storage and collection areas should be conveniently located and designed so as not to cause unacceptable on-street conflicts. Reference must be made to Council's Waste Management Guideline.</p> <p>Where basement car parking extends beyond the building envelope, a minimum soil depth of 1 metre is to be provided, measured from the top of the slab and will not be calculated as part of the deep soil zone.</p>	<p>The modified basement will provide ample resident and visitor car parking spaces that will be freely and conveniently accessible.</p> <p>The previously approved waste collection will be from within the site and not from a public road.</p> <p>Planters that will be located above the basement car park will have soil depths ranging from 0.5m to 1m. This has not been calculated as part of the deep soil zone. The reduced soil depth is supported as it will still provide an appropriate soil profile for the proposed landscaping.</p>	No. Variation supported.

## Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
<p><b>2.19 Landscape Design</b></p> <p>A landscape plan is to be submitted for all development that, in Council's opinion, will significantly alter the existing and intended landscape character of the land.</p>	<p>A landscaping plan has been submitted in support of the modification. Subject to the modified conditions, the modified landscaping design is considered appropriate for the site and area and includes a suitable mix of trees, ground covers, shrubs and grasses.</p>	Yes.
<p><b>4.8 Residential Flat Buildings and Shop Top Housing - General</b></p> <p>All residential flat buildings and shop top housing are to be consistent with the design quality principles outlined in State Environmental Planning Policy No 65 - Design Quality of Residential Apartment Development and the objectives, design criteria and design guidance outlined in the Apartment Design Guide (or equivalent).</p> <p>In addition to the controls in this section, the controls within Part 2 General Land Use Controls of this DCP must also be taken into consideration when preparing a development application for residential flat buildings.</p> <p>Residential flat buildings are to be located on sites with a minimum street frontage of 30m and have direct frontage to an area of the public domain (including streets and public parks).</p> <p>Residential flat buildings are not to adversely impact upon the existing or future amenity of any adjoining land upon which residential development is permitted with respect to overshadowing impact, privacy impact or visual impact.</p> <p>A minimum of 10% of all residential flat building developments containing 10 dwellings or more, are to be designed to be capable of adaptation for access by people with all levels of mobility. Dwellings must be designed in accordance with the Australian Adaptable Housing Standard (AS 4299-1995), which includes 'pre-adaptation' design details to ensure visitability is achieved.</p> <p>Where adaptable dwellings are proposed above the ground level, lift access must be provided. The lift access must provide access from the basement to allow access for people with disabilities.</p> <p>The development application must be accompanied by certification from a</p>	<p>It is noted that the DA was approved in 2009, well before the commencement of the Apartment Design Guide (ADG) in 2015. Notwithstanding this, the applicant has designed the modification to comply with the ADG's design criteria insofar as reasonably possible. Alternative solutions to the design criteria using the ADG's design guidance have been proposed where necessary to achieve the ADG's objectives.</p> <p>The relevant controls in Part 2 of the Camden DCP have been considered.</p> <p>The site has a frontage to John Street of 152m.</p> <p>The modification will not adversely impact upon the existing or future amenity of any adjoining land upon which residential development is permitted with respect to overshadowing impact, privacy impact or visual impact, as detailed in the assessment report and assessment tables.</p> <p>The applicant has submitted an access report in support of the modification that demonstrates compliance with AS 4299 and adaptability requirements.</p> <p>Lift access will be provided to all floors of the modified buildings including the modified basement.</p> <p>The applicant has submitted an access report in support of the modification that demonstrates compliance with AS 4299.</p> <p>The modified basement will provide disabled car parking spaces that will comply with the applicable Australian Standards.</p> <p>The modification is consistent with safer by design principles.</p> <p>All of the dwellings will meet, and often exceed, the minimum storage requirements of the ADG.</p>	No. Variation supported.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
<p>suitably qualified (and experienced) Access Consultant confirming that the adaptable dwellings are capable of being modified, when required by the occupant, to comply with the Australian Adaptable Housing Standard (AS 4299-1995).</p> <p>Car parking and garages allocated to adaptable dwellings must comply with the requirements of Australian Standards for disabled parking spaces.</p> <p>The proposed development should be designed to comply with 'Safer by Design' Guidelines.</p> <p>Each dwelling must be provided with a separate secure storage space of 8m<sup>3</sup>. This space is to be provided exclusively for storage purposes and must be provided in addition to any garage space.</p>		
<p><b>4.8 Residential Flat Buildings and Shop Top Housing - Access and Entries</b></p> <p>The proposed development should:</p> <p>(a) minimise vehicular entry and exit points to the site,</p> <p>(b) provide a defined and well-lit pedestrian 'safe route' which can be clearly viewed by residents for passive surveillance, and</p> <p>(c) consider site accessibility to people in wheelchairs and with lesser mobility.</p>	<p>No additional vehicular entry and exit points to the site are proposed.</p> <p>The modification will largely maintain the approved resident links through the site, including from and to the COS located between buildings 1, 2, 3 and 4. Whilst the approved buildings 4 and 6 will be linked together, east-west resident access through them will still be possible and an additional southern access for all residents from and to Central Avenue to the south will be provided. The pedestrian links will be direct, have clear sight lines, be overlooked and well lit.</p> <p>The modified buildings will be at one ground level which will enhance their accessibility for people in wheelchairs and with lesser mobility.</p>	Yes.
<p><b>4.8 Residential Flat Buildings and Shop Top Housing - Building Height, Bulk and Scale</b></p> <p>The maximum height of buildings is established by Clauses 4.3A, 4.3B and 4.3C of the Camden LEP and the associated Height of Buildings Map.</p> <p>Residential flat buildings may be designed with flat roof forms in order to maximise the number of storeys within a building. However, such buildings must feature a high level of architectural design and incorporate appropriate treatments to minimise the visual bulk and scale of the building.</p> <p>Basement car parks that do not exceed</p>	<p>The modification involves building mass that will exceed 7m (the maximum building height) from existing ground level. The building mass has been assessed in detail in the assessment report and is considered to be acceptable in the context of the approved development. It is noted that the modification will not increase the maximum overall building height approved for buildings 4 and 6.</p>	No. Variation supported.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
more than 1m above natural ground level are not considered to be a storey.		
<p><b>4.8 Residential Flat Buildings and Shop Top Housing - Communal Open Space and Landscaping</b></p> <p>Landscaping must take into account probable day and night use by residents, seating, shade and allows surveillance by residents i.e. the plants are either high (canopy trees) or low (ground covers).</p> <p>Communal open space landscaping must be designed to minimise water usage and maintenance requirements.</p> <p>A landscape plan is to be submitted with every application for residential flat buildings.</p>	<p>A landscaping plan has been submitted in support of the modification. Subject to the modified conditions, the modified landscaping design is considered appropriate for the site and area and includes a suitable mix of trees, ground covers, shrubs and grasses.</p>	Yes.
<p><b>4.8 Residential Flat Buildings and Shop Top Housing - Waste Management</b></p> <p>A detailed waste management plan (WMP) must be submitted for the ongoing use of the site. A WMP must outline the waste that will be generated from the site, how the development proposes to manage the waste on site and collection. The site plan and floor layout plans submitted with a development application must show:</p> <p>(a) the location of waste service rooms, including chutes,</p> <p>(b) the location of bin storage area/s,</p> <p>(c) the location of bin holding area including stacked arrangements,</p> <p>(d) the location of bulky waste holding area/s,</p> <p>(e) all bins required by the development,</p> <p>(f) an identified collection point for the collection and emptying of the waste,</p> <p>(g) the path of travel for moving bins from the storage area to the bin holding area (if collection is to occur away from the storage area). The path of travel must be free of steps and kerbs and provide a 1:30 gradient to ensure safe transfer of the bins from the storage area to the collection point.</p>	<p>The applicant has submitted plans in support of the modification that detail all of the relevant required waste management related information.</p>	Yes.
<p><b>4.8 Residential Flat Buildings and Shop Top Housing - Waste Collection</b></p>	<p>All waste will be collected on site at a previously approved waste collection point.</p>	Yes.

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
<p>All development must provide on site collection via a dedicated waste collection point. Refer to Council's Waste Management Guideline for design requirements.</p> <p>Where a Council vehicle is required to manoeuvre on private property, an Indemnity Agreement must be entered into with Council prior to the issue of the occupation certificate.</p>	<p>Subject to the modified conditions, the modification will be consistent with Council's waste management guideline.</p> <p>Existing condition 1.0(71) requires the operator to indemnify Council against any claims arising from any damage caused to any development on the site as a result of Council's waste collection vehicles accessing the site for the purposes of waste collection.</p>	
<p><b>4.8 Residential Flat Buildings and Shop Top Housing - Bin Storage</b></p> <p>Bin storage area/s must be provided within each development. Refer to Council's Waste Management Guideline for design requirements.</p> <p>Bulky waste storage area/s must be provided within each development. Refer to Council's Waste Management Guideline for design requirements.</p> <p>Where the development is four storeys or more it must be provided with a garbage and recycling chute system. E-diverters are not permitted. Refer to Council's Waste Management Guidelines for design requirements.</p> <p>Council will consider the provision of 240 litre recycling bins as an alternative to recycling chutes. 240 litre bins must be mechanically decanted into 660 litre or 1,100 litre bins in all developments with more than 90 residential dwellings.</p> <p>Where the development is four storeys or more, it must provide waste service rooms within each level of the development Refer to Council's Waste Management Guidelines for design requirements.</p> <p>The owners' corporation must take responsibility for the management of waste and recyclable materials generated upon the site. An ongoing waste management plan must be submitted to demonstrate that there are suitable arrangements in place regarding the management, maintenance and cleaning of all waste/recycling management facilities.</p>	<p>The applicant has submitted plans in support of the modification that detail all of the relevant required waste management related information, including a waste bin and bulky waste storage room. Subject to the modified conditions, the modification will be generally consistent with Council's waste management guideline. It is noted that garbage and recycling chutes are not proposed which is supported as waste chute systems were not approved with the DA for buildings 4 and 6.</p>	No. Variation supported.
<p><b>4.8 Residential Flat Buildings and Shop Top Housing - Key Controls</b></p>	<p>The site has a total area of 26,649m<sup>2</sup> and a frontage to John Street of 152m.</p>	No. Variation supported.

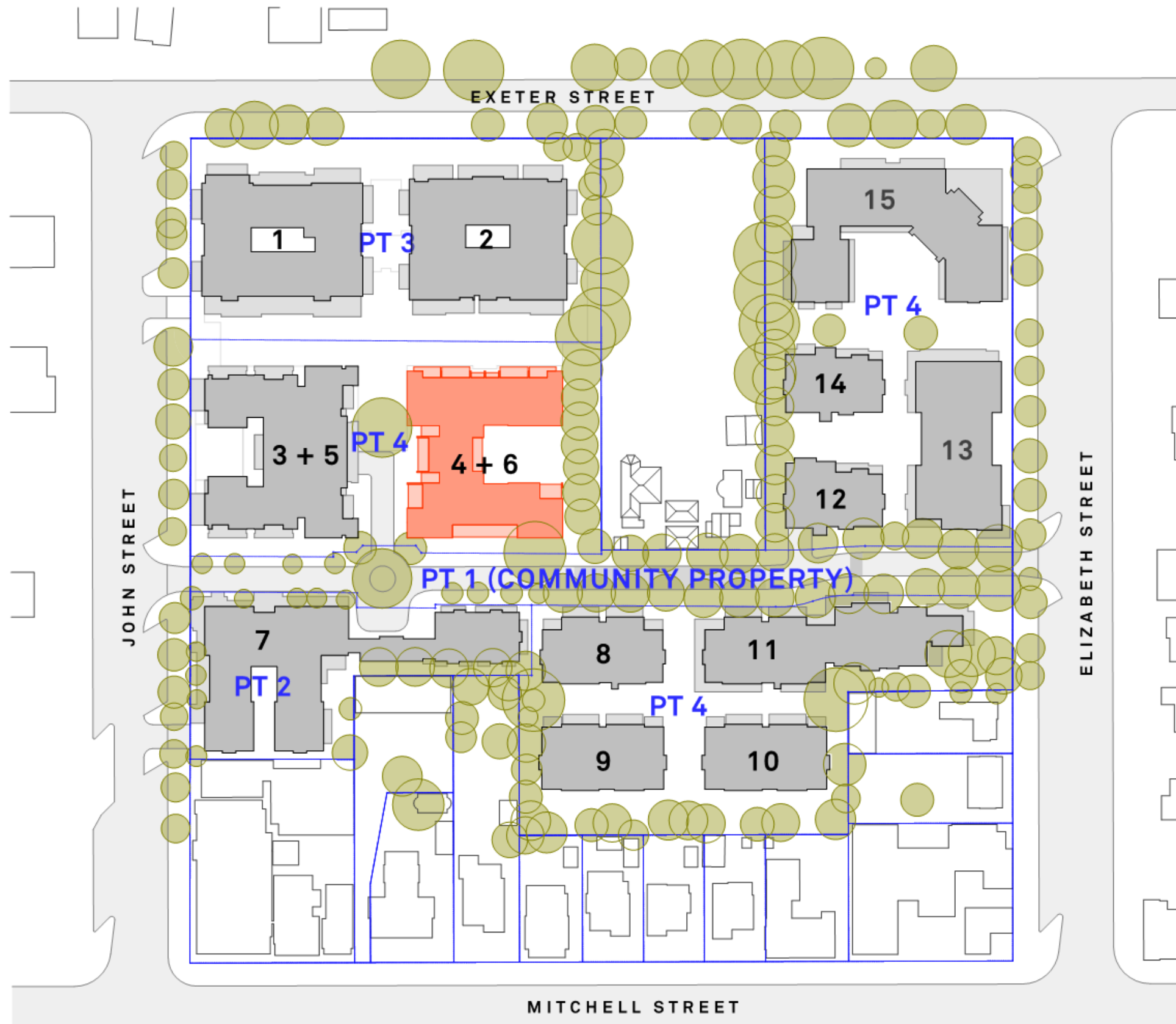


Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
<p>Lot size = 1,000m<sup>2</sup>.</p> <p>Lot width at primary road frontage = 30m.</p> <p>Front setback (minimum) = 6m.</p> <p>Front setback encroachment = Balconies and other articulation may encroach into the setback to a maximum of 4.5m from the boundary for the first 3 storeys, and for a maximum of 50% of the façade length.</p> <p>Secondary street setback (minimum) = 6m.</p> <p>Rear setback (minimum) = 6m.</p> <p>Site coverage (maximum) = 50% of site area.</p> <p>Landscaped Area = 30% of site area.</p> <p>Communal open space = Refer to Apartment Design Guide of equivalent.</p> <p>Principal private open space (minimum) = Refer to Apartment Design Guide of equivalent.</p> <p>Car parking requirements = 1 space per dwelling + 0.2 spaces per 2 bedroom dwelling + 0.5 spaces per 3+ bedroom dwelling + 1 visitor space per 5 dwellings.</p> <p>Bicycle parking spaces = 1 per 3 dwellings.</p>	<p>The secondary street setback to Central Avenue will vary between 3m and 6.2m. The secondary street setback to Nepean Street will vary between 0m and 3.8m. The rear setback to Nant Gwylan will vary between 9.5m and 28.9m. This is supported in the context of the approved development as detailed in the assessment report.</p> <p>The modified buildings will have a site coverage of 49.8%.</p> <p>The landscaped area will be at least 30% of the buildings 4 and 6 area.</p> <p>COS will not equate to 25% of the site area for the modified buildings (only 11.3%). The DA approved buildings 4 and 6 with a COS area in the form of a landscaped courtyard. This COS had an area of 188.1m<sup>2</sup>. The modification will reconfigure the buildings and such that a larger COS area of 244.2m<sup>2</sup> will be provided. This is a 29.8% increase on the approved COS.</p> <p>All of the dwellings will have balconies that meet, and often exceed, the minimum requirements of the ADG. The ground floor dwellings will all have terraces with a combined area greater than 15m<sup>2</sup>. Each of these terraces will have a component that is at least 3m deep in a primary terrace area of approximately 15m<sup>2</sup>. Whilst some primary terrace areas will be less than 15m<sup>2</sup>, these are supported as all of the terraces will have overall areas that will exceed the minimum 15m<sup>2</sup>.</p> <p>The modified buildings require 37 car parking spaces and will provide 49. 10 bicycle spaces are required and 14 will be provided.</p>	
<p><b>4.9 Seniors Housing</b></p> <p>Applications for seniors housing are to comply with the controls within Chapter 4.5 of the Camden DCP for multi-dwelling housing or controls for residential flat buildings in Chapter 4.8, as appropriate to the proposed development.</p>	<p>The modification does not fully comply with the controls in Chapter 4.8 of the Camden DCP but is supported as detailed earlier in this assessment table.</p>	<p>No. Variation supported.</p>
<p><b>5.3.3 Camden - B4 Mixed Use - Built Form and Appearance</b></p> <p>Buildings must contribute to the local distinctiveness of the Camden township by using a varied palette of colours, materials and finishes.</p>	<p>The intent of these controls has been addressed in the 'Heritage Impacts' section of the assessment report. The modification is supported in the context of the approved development.</p>	<p>Yes.</p>
<p><b>5.3.3 Camden - B4 Mixed Use - Heritage and Character</b></p>	<p>The relevant controls in Part 2 of the Camden DCP have been considered.</p>	<p>Yes.</p>

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Control	Assessment	Compliance?
<p>The Camden township is located within the Camden Heritage Conservation Area. Reference must be made to Part 2 of the Camden DCP.</p> <p>Development within the MU1 Mixed Use zone at Camden must be consistent with the Camden Town Centre Urban Design Framework.</p>	<p>The Camden Town Centre Urban Design Framework provides a framework for the development of the Camden Town Centre. The framework does not provide statutory planning controls but articulates the 2018 strategic intent for the town centre. The modification is not considered to be inconsistent with the framework having regard to the context of the approved development.</p>	



This drawing is not to be copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without the written consent of Benson McCormack architects. Drawings show design intent only. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architects.  
**ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2014 + AUSTRALIAN STANDARDS (AS) \*\* DIAL BEFORE YOU DIG\*\***  
 www.1100.com.au

REVISION		
Rev	Date	Description
01	21/10/2023	S4.56 issue 01
02	2/02/2023	S4.56 issue 02
03	3/10/2023	S4.56 issue 03

LEGEND	
A/C	Air Conditioning Unit
ACC	Accessible
ADP	Adaptable
AHD	Aust. Height Datum
B	Basement
BAL	Balustrade
BALC	Balcony
BED	Bedroom
BT	Bathroom
COL	Column
COMM	Comms Room
COS	Communal Open Space
CEX	Carpark Exhaust
D	Dining
DRY	Dryer
DP	Down Pipe
DW	Dishwasher
F	Fridge
FEX	Fire Extinguisher
FFL	Finish floor level
FN	Fence
FS	Fire Stairs
FSR	Floor Space Ratio
GBA	Gross Building Area
GBC	Garbage Chute
GSR	Garbage Room
GBX	Garbage Exhaust
GFA	Gross Floor Area
GM	Gas Meter
H	Hydraulic Services
LY	Laundry
M	Meter Room
MC	Motorcycle Parking
MSB	Main Switch Board
NSL	Natural Ground Level
OSD	Onsite Detention Tank
P	Pantry
POS	Private Open Space
R	Roof
RWT	Rainwater Tank
SCR	Screen
SW	Sewer
ST	Storage
SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

**CLIENT**  
 CAMDEN RV Pty Ltd  
 c/o PKF (NS) Tax Pty Ltd  
 Level 9, 1 O'Connell Street,  
 Sydney, NSW 2000

**PROJECT DETAILS**  
 CAMDEN GROVE  
 BLD 4+6  
 2-14 John Street,  
 Camden,  
 NSW 2570

**DRAWING TITLE**  
 SITE CONTEXT  
 PLANS

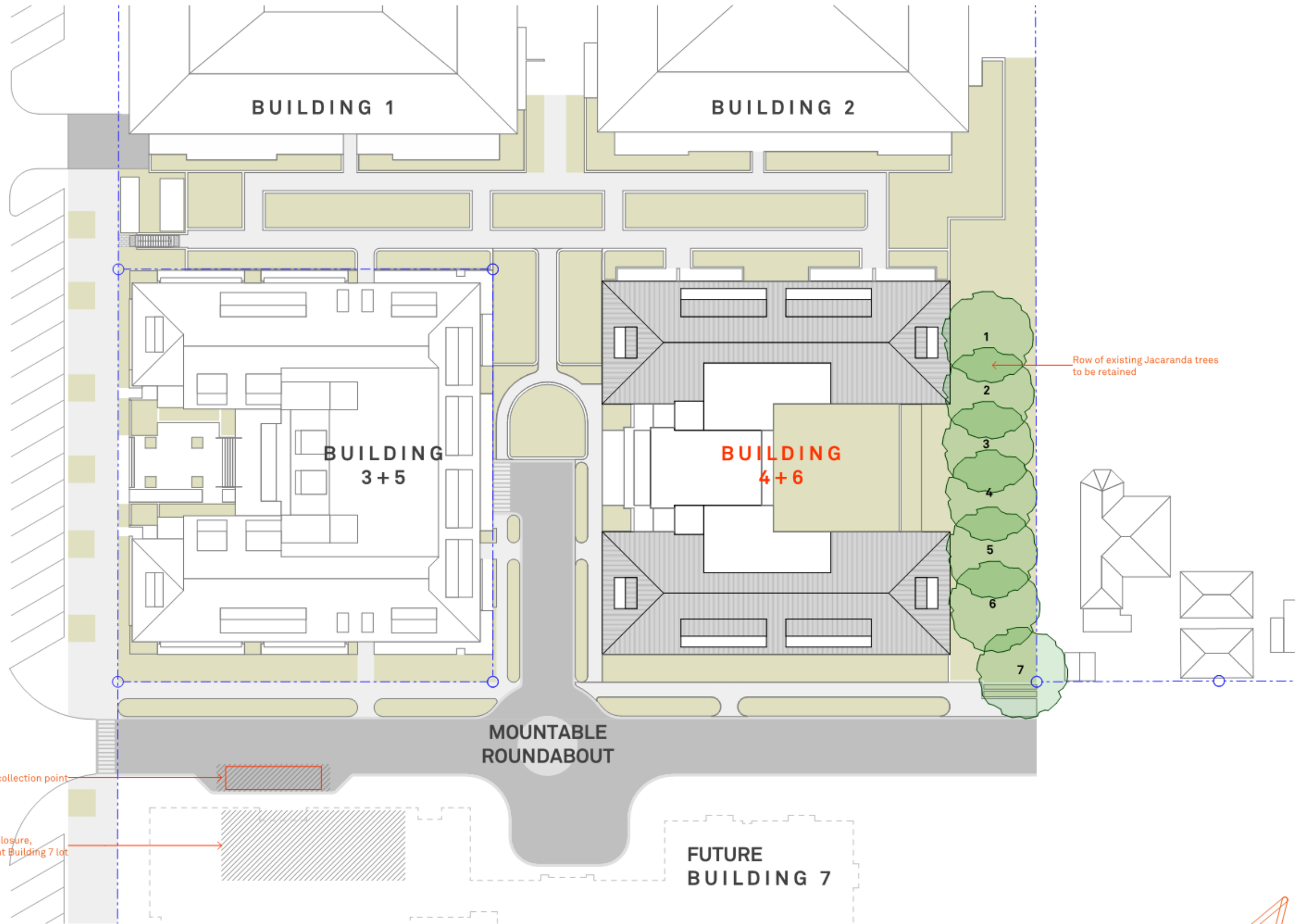
**SCALE**  
 1:1000  
**STATUS**  
 S4.56  
**PROJECT No**  
 2217A

**APPROVED**  
 DB  
**CHECKED**  
 JSN  
**DRAWING No**  
 A-0003  
**REV**  
 03



STUDIO 5, 505 BALMAIN RD  
 LILYFIELD NSW 2040  
 ABN: 76 129 130 285  
 P. + 61 2 9818 0777  
 E. enquiries@bensonmccormack.com  
 W. www.bensonmccormack.com  
 Nominated Architect  
 D Benson | NSW ARB 7285  
 G McCormack | NSW ARB 7536





This drawing is not to be copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without the written consent of Benson McCormack architects. Drawings show design intent only. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architects.  
 ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2014 + AUSTRALIAN STANDARDS (AS) \*\* DIAL BEFORE YOU DIG\*\*  
 www.1100.com.au

REVISION		
Rev	Date	Description
01	21/10/2023	S4.56 issue 01
02	2/02/2023	S4.56 issue 02
03	3/10/2023	S4.56 issue 03

LEGEND	
A/C	Air Conditioning Unit
ACC	Accessible
ADP	Adaptable
AHD	Aust. Height Datum
B	Basement
BAL	Balustrade
BALC	Balcony
BED	Bedroom
BT	Bathroom
COL	Column
COMM	Comms Room
COS	Communal Open Space
CEX	Carpark Exhaust
D	Dining
DRY	Dryer
DP	Down Pipe
DW	Dishwasher
F	Fridge
FEX	Fire Extinguisher
FFL	Finish floor level
FN	Fence
FS	Fire Stairs
FSR	Floor Space Ratio
GBA	Gross Building Area
GBC	Garbage Chute
GBR	Garbage Room
GBX	Garbage Exhaust
GFA	Gross Floor Area
GM	Gas Meter
H	Hydraulic Services
LY	Laundry
M	Meter Room
MC	Motorcycle Parking
MSB	Main Switch Board
MSB	Main Switch Board
NGL	Natural Ground Level
OSD	Onsite Detention Tank
P	Pantry
POS	Private Open Space
R	Roof
RWT	Rainwater Tank
SCR	Screen
SW	Sewer
ST	Storage
SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOP	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

**CLIENT**  
 CAMDEN RV Pty Ltd  
 c/o PKF (NS) Tax Pty Ltd  
 Level 9, 1 O'Connell Street,  
 Sydney, NSW 2000

**PROJECT DETAILS**  
 CAMDEN GROVE  
 BLD 4+6  
 2-14 John Street,  
 Camden, NSW 2570

**DRAWING TITLE**  
 SITE PLAN

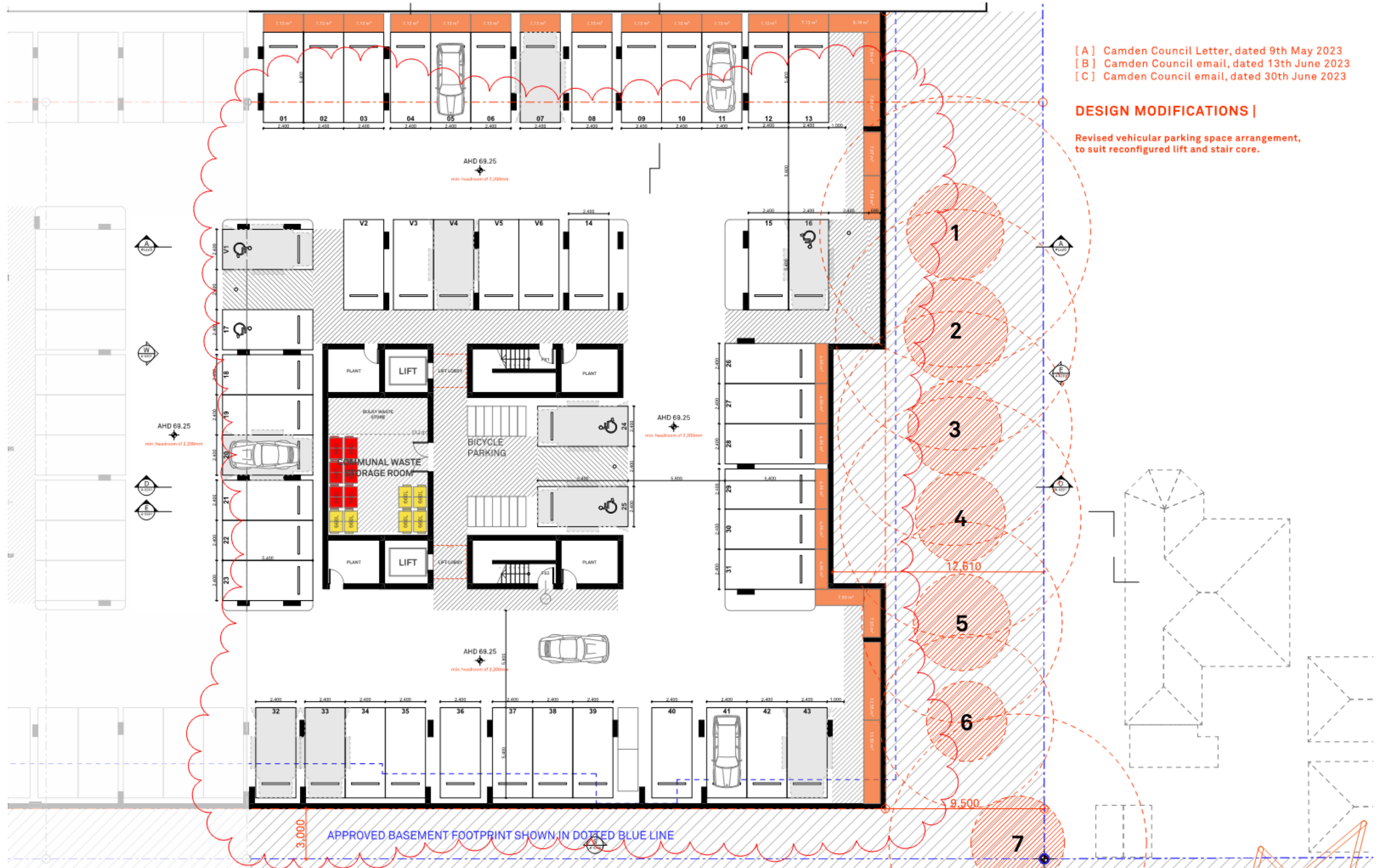
**SCALE**  
 1:400  
**STATUS**  
 S4.56  
**PROJECT No**  
 2217A

**APPROVED**  
 DB  
 CHECKED  
 JSN  
**DRAWING No**  
 A-0004

**NORTH**  
  
**REV**  
 03

STUDIO 5, 505 BALMAIN RD  
 LILYFIELD NSW 2040  
 ABN: 76 129 130 285  
 P. + 61 2 9818 0777  
 E. enquiries@bensonmccormack.com  
 W. www.bensonmccormack.com  
**Nominated Architect**  
 D Benson | NSW ARB 7285  
 G McCormack | NSW ARB 7536





- [ A ] Camden Council Letter, dated 9th May 2023
- [ B ] Camden Council email, dated 13th June 2023
- [ C ] Camden Council email, dated 30th June 2023

**DESIGN MODIFICATIONS |**

Revised vehicular parking space arrangement, to suit reconfigured lift and stair core.

This drawing is not to be copied, reproduced, retained or disclosed to any unauthorized person either wholly or in part without the written consent of Benson McCormack architects. Drawings show design intent only. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architects.

ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2014 + AUSTRALIAN STANDARDS (AS) \*\* DIAL BEFORE YOU DIG\*\*  
www.1100.com.au

REVISION	Rev	Date	Description
	01	21/10/2023	54.56/1000 01
	02	2/02/2023	54.56/1000 02
	03	3/10/2023	54.56/1000 03

LEGEND	COMMUNAL OPEN SPACE	CLIENT	PROJECT DETAILS	DRAWING TITLE
A/C Air Conditioning Unit	CEX Carpark Exhaust	CAMDEN RV Pty Ltd	CAMDEN GROVE	GA - BASEMENT PLAN
ACC Accessible	D Dryer	c/o PKF (NS) Tax Pty Ltd	BLD 4+6	
ADP Adaptable	DP Down Pipe	Level 9, 1 O'Connell Street, Sydney, NSW 2000	2-14 John Street, Camden, NSW 2570	
AHD Aust. Height Datum	DW Dishwasher			
B Basement	F Fridge			
BAL Balustrade	FEX Fire Extinguisher			
BALC Balcony	FFL Finish floor level			
BED Bedroom	FN Fence			
BT Bathroom	FS Fire Stairs			
COL Column	FSR Floor Space Ratio			
COMM Comms Room	GBA Gross Building Area			
	GBC Garbage Chute			
	GSR Garbage Room			
	GBX Garbage Exhaust			
	GFA Gross Floor Area			
	GM Gas Meter			
	H Hydraulic Services			
	LY Laundry			
	M Meter Room			
	MC Motorcycle Parking			
	MSB Main Switch Board			
	NSG Natural Ground Level			
	OSD Onsite Detention Tank			
	P Pantry			
	POS Private Open Space			
	R Robe			
	RWT Rainwater Tank			
	SCR Screen			
	SW Sewer			
	ST Storage			
	SD Study			
	STP Stormwater Pit			
	STW Stormwater			
	SFL Structural floor level			
	TOF Top of Fence			
	TOW Top of Wall			
	VIS Visitor Parking			

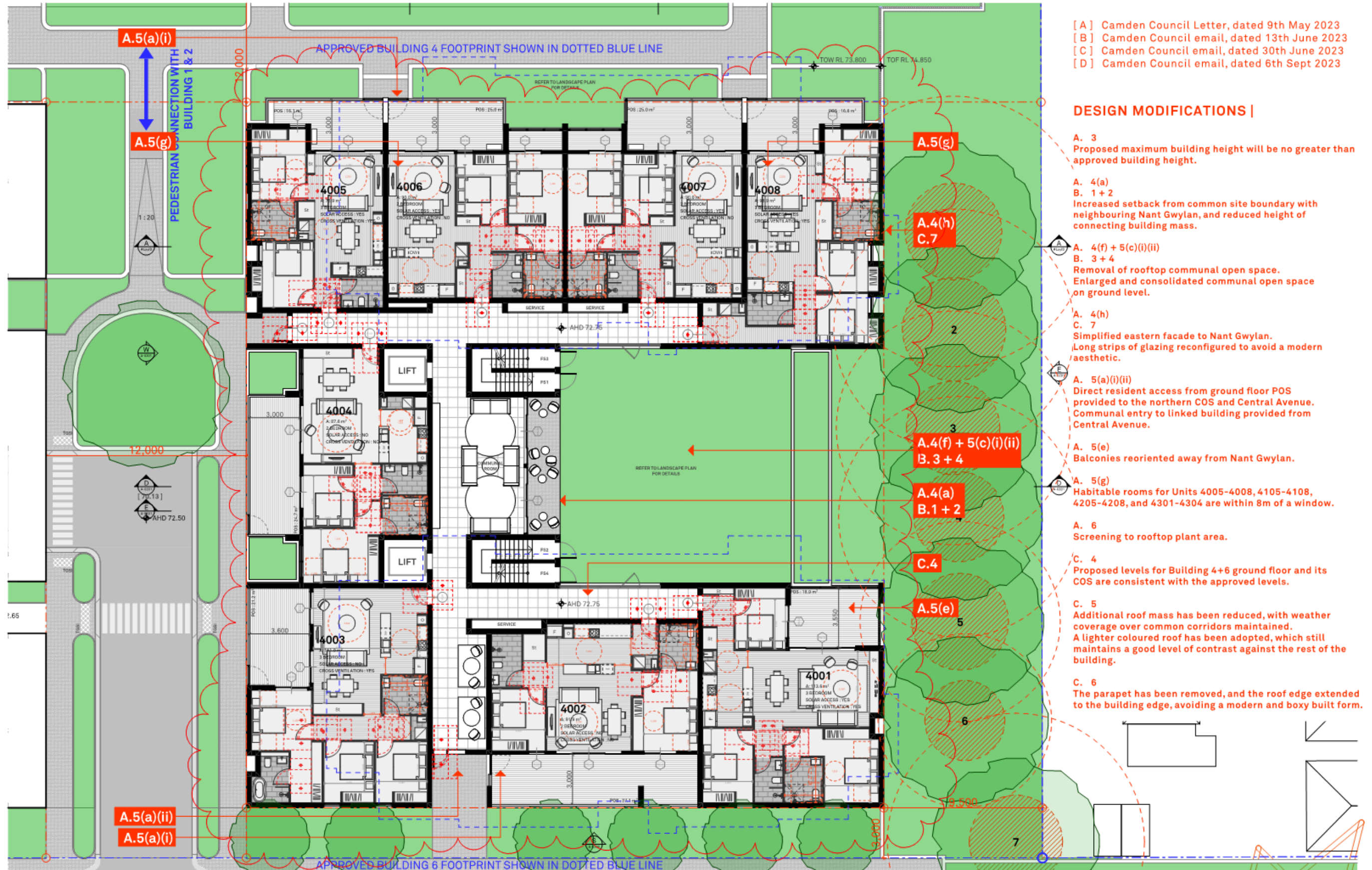
SCALE	APPROVED	NORTH
1:200	DB	
STATUS	CHECKED	
S4.56	JSN	
PROJECT No	DRAWING No	REV
2217A	A-0100	03

STUDIO 5, 505 BALMAIN RD  
LILYFIELD NSW 2040  
ABN: 76 129 130 285

P. + 61 2 9818 0777  
E. enquiries@bensonmccormack.com  
W. www.bensonmccormack.com

Nominated Architect  
D Benson | NSW ARB 7285  
G McCormack | NSW ARB 7536

**BENSON  
McCORMACK  
ARCHITECTURE**



- [ A ] Camden Council Letter, dated 9th May 2023
- [ B ] Camden Council email, dated 13th June 2023
- [ C ] Camden Council email, dated 30th June 2023
- [ D ] Camden Council email, dated 6th Sept 2023

**DESIGN MODIFICATIONS |**

- A. 3**  
Proposed maximum building height will be no greater than approved building height.
- A. 4(a)**  
**B. 1 + 2**  
Increased setback from common site boundary with neighbouring Nant Gwylan, and reduced height of connecting building mass.
- A. 4(f) + 5(c)(i)(ii)**  
**B. 3 + 4**  
Removal of rooftop communal open space. Enlarged and consolidated communal open space on ground level.
- A. 4(h)**  
**C. 7**  
Simplified eastern facade to Nant Gwylan. Long strips of glazing reconfigured to avoid a modern aesthetic.
- A. 5(a)(i)(ii)**  
Direct resident access from ground floor POS provided to the northern COS and Central Avenue. Communal entry to linked building provided from Central Avenue.
- A. 5(e)**  
Balconies reoriented away from Nant Gwylan.
- A. 5(g)**  
Habitable rooms for Units 4005-4008, 4105-4108, 4205-4208, and 4301-4304 are within 8m of a window.
- A. 6**  
Screening to rooftop plant area.
- C. 4**  
Proposed levels for Building 4+6 ground floor and its COS are consistent with the approved levels.
- C. 5**  
Additional roof mass has been reduced, with weather coverage over common corridors maintained. A lighter coloured roof has been adopted, which still maintains a good level of contrast against the rest of the building.
- C. 6**  
The parapet has been removed, and the roof edge extended to the building edge, avoiding a modern and boxy built form.

REVISION			
Rev	Date	Description	
01	21/10/2023	54.56/issue 01	
02	2/01/2023	54.56/issue 02	
03	3/10/2023	54.56/issue 03	

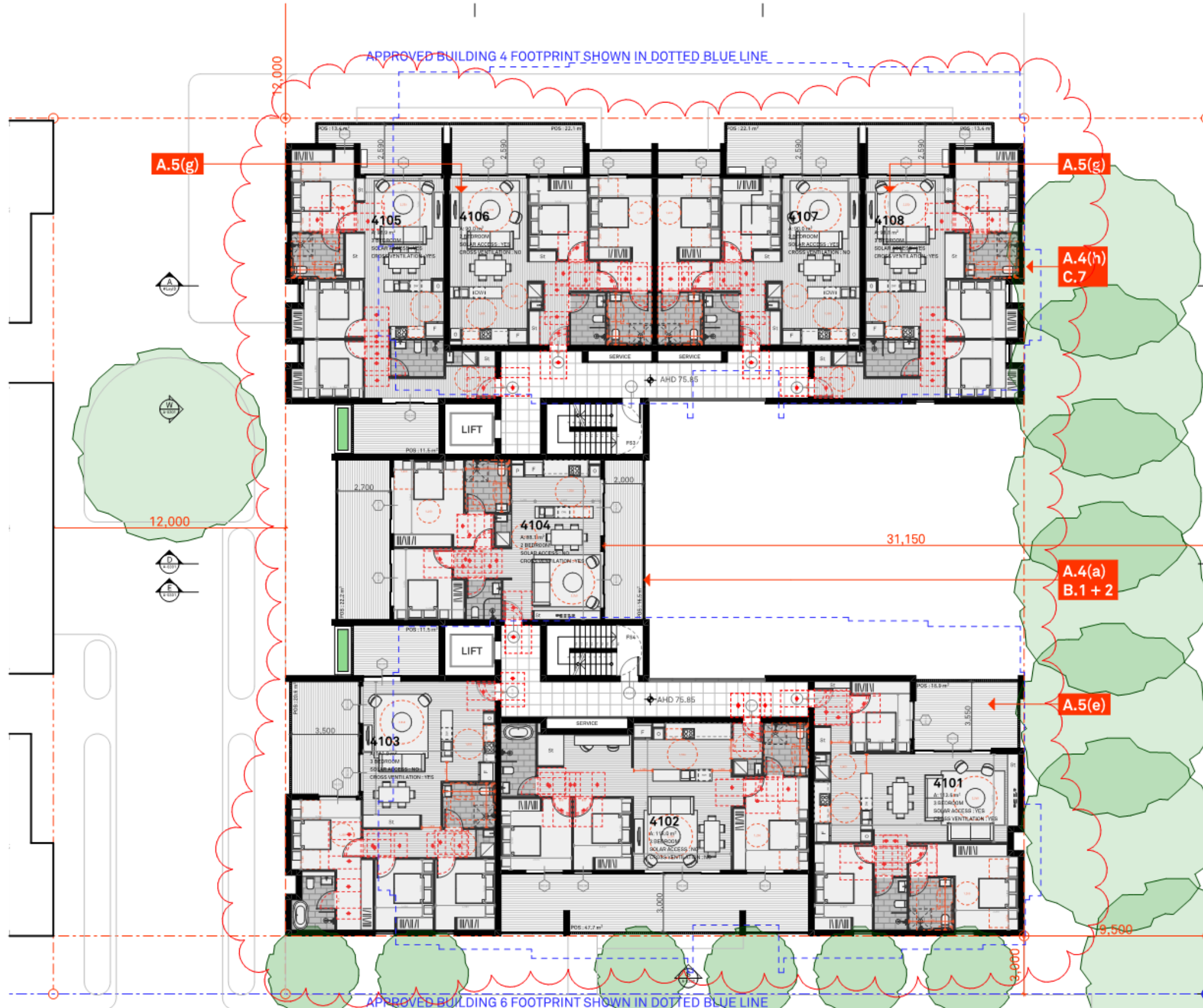
LEGEND	
A/C	Air Conditioning Unit
ACC	Accessible
ADP	Adaptable
AHD	Aust. Height Datum
B	Basement
BAL	Balustrade
BALC	Balcony
BED	Bedroom
BT	Bathroom
COL	Column
COMM	Comms Room
COS	Communal Open Space
CEX	Carpark Exhaust
D	Dryer
DP	Down Pipe
DW	Dishwasher
F	Fridge
FEX	Fire Extinguisher
FFL	Finish floor level
FN	Fire Stairs
FSR	Floor Space Ratio
GBA	Gross Building Area
GBC	Garbage Chute
GBR	Garbage Room
GBX	Garbage Exhaust
GFA	Gross Floor Area
GM	Gas Meter
H	Hydraulic Services
LY	Laundry
M	Meter Room
MC	Motorcycle Parking
MSB	Main Switch Board
NGL	Natural Ground Level
OSD	Onsite Detention Tank
P	Pantry
POS	Private Open Space
R	Robe
RWT	Rainwater Tank
SCR	Screen
SW	Sewer
ST	Storage
STU	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TOF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

CLIENT	PROJECT DETAILS	DRAWING TITLE	SCALE	APPROVED	NORTH
CAMDEN RV Pty Ltd c/o PKF (NS) Tax Pty Ltd	CAMDEN GROVE BLD 4+6	GA - GROUND PLAN	1:200	DB	
Level 9, 1 O'Connell Street, Sydney, NSW 2000	2-14 John Street, Camden, NSW 2570		S4.56	CHECKED JSN	
			PROJECT No 2217A	DRAWING No A-0101	REV 03

STUDIO 5, 505 BALMAIN RD  
LILYFIELD NSW 2040  
ABN: 76 129 130 285  
P. + 61 2 9818 0777  
E. enquiries@bensonmccormack.com  
W. www.bensonmccormack.com

**BENSON  
McCORMACK  
ARCHITECTURE**

Nominated Architect  
D Benson | NSW ARB 7285  
G McCormack | NSW ARB 7536



- [ A ] Camden Council Letter, dated 9th May 2023
- [ B ] Camden Council email, dated 13th June 2023
- [ C ] Camden Council email, dated 30th June 2023
- [ D ] Camden Council email, dated 6th Sept 2023

**DESIGN MODIFICATIONS |**

- A. 3**  
Proposed maximum building height will be no greater than approved building height.
- A. 4(a)**  
**B. 1 + 2**  
Increased setback from common site boundary with neighbouring Nant Gwylan, and reduced height of connecting building mass.
- A. 4(f) + 5(c)(i)(ii)**  
**B. 3 + 4**  
Removal of rooftop communal open space. Enlarged and consolidated communal open space on ground level.
- A. 4(h)**  
**C. 7**  
Simplified eastern facade to Nant Gwylan. Long strips of glazing reconfigured to avoid a modern aesthetic.
- A. 5(a)(i)(ii)**  
Direct resident access from ground floor POS provided to the northern COS and Central Avenue. Communal entry to linked building provided from Central Avenue.
- A. 5(e)**  
Balconies reoriented away from Nant Gwylan.
- A. 5(g)**  
Habitable rooms for Units 4005-4008, 4105-4108, 4205-4208, and 4301-4304 are within 8m of a window.
- A. 6**  
Screening to rooftop plant area.
- C. 4**  
Proposed levels for Building 4+6 ground floor and its COS are consistent with the approved levels.
- C. 5**  
Additional roof mass has been reduced, with weather coverage over common corridors maintained. A lighter coloured roof has been adopted, which still maintains a good level of contrast against the rest of the building.
- C. 6**  
The parapet has been removed, and the roof edge extended to the building edge, avoiding a modern and boxy built form.

This drawing is not to be copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without the written consent of Benson McCormack architects. Drawings show design intent only. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architects.  
ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2014 + AUSTRALIAN STANDARDS (AS) \*\* DIAL BEFORE YOU DIG\*\*  
www.1100.com.au

REVISION	Rev	Date	Description
	01	21/10/2023	54.56/1500/01
	02	7/02/2023	54.56/1500/02
	03	9/10/2023	54.56/1500/03

LEGEND	DESCRIPTION	LEGEND	DESCRIPTION
A/C	Air Conditioning Unit	COS	Communal Open Space
ACC	Accessible	CEX	Carpark Exhaust
ADP	Adaptable	D	Dining
AHD	Aust. Height Datum	DRY	Dryer
B	Basement	DP	Down Pipe
BAL	Balustrade	DW	Dishwasher
BALC	Balcony	F	Fridge
BED	Bedroom	FEX	Fire Extinguisher
BT	Bathroom	FFL	Finish floor level
COL	Column	FN	Fire Stairs
COMM	Comms Room	FSR	Floor Space Ratio
		GBA	Gross Building Area
		GBC	Garbage Chute
		GBR	Garbage Room
		GBX	Garbage Exhaust
		GFA	Gross Floor Area
		GM	Gas Meter
		H	Hydraulic Services
		LY	Laundry
		M	Meter Room
		MC	Motorcycle Parking
		MSB	Main Switch Board
		NSL	Natural Ground Level
		OSD	Onsite Detention Tank
		P	Pantry
		POS	Private Open Space
		R	Robe
		RWT	Rainwater Tank
		SCR	Screen
		SW	Sewer
		ST	Storage
		SD	Study
		STP	Stormwater Pit
		STW	Stormwater
		SFL	Structural floor level
		DF	Top of Fence
		TOW	Top of Wall
		VIS	Visitor Parking

**CLIENT**  
CAMDEN RV Pty Ltd  
c/o PKF (NS) Tax Pty Ltd  
Level 9, 1 O'Connell Street,  
Sydney, NSW 2000

**PROJECT DETAILS**  
CAMDEN GROVE  
BLD 4+6  
2-14 John Street,  
Camden,  
NSW 2570

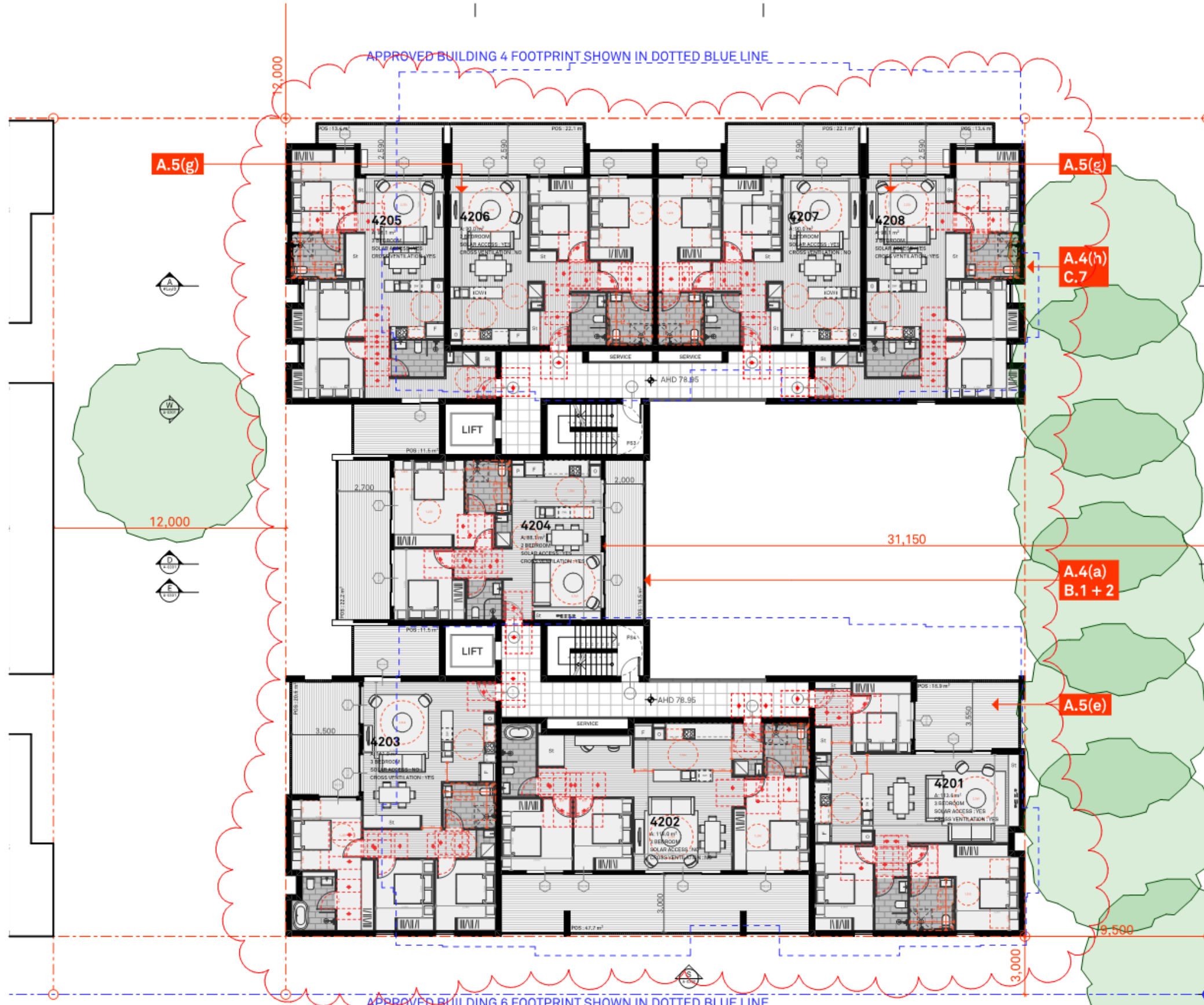
**DRAWING TITLE**  
GA - LEVEL 1  
PLAN

**SCALE**  
1:200  
STATUS  
S4.56  
PROJECT No  
2217A

**APPROVED**  
DB  
CHECKED  
JSN  
DRAWING No  
A-0102  
REV  
03

**NORTH**  
STUDIO 5, 505 BALMAIN RD  
LILYFIELD NSW 2040  
ABN: 76 129 130 285  
P. + 61 2 9818 0777  
E. enquiries@bensonmccormack.com  
W. www.bensonmccormack.com  
Nominated Architect  
D Benson | NSW ARB 7285  
G McCormack | NSW ARB 7536





- [ A ] Camden Council Letter, dated 9th May 2023
- [ B ] Camden Council email, dated 13th June 2023
- [ C ] Camden Council email, dated 30th June 2023
- [ D ] Camden Council email, dated 6th Sept 2023

**DESIGN MODIFICATIONS |**

- A. 3**  
Proposed maximum building height will be no greater than approved building height.
- A. 4(a)**  
**B. 1 + 2**  
Increased setback from common site boundary with neighbouring Nant Gwylan, and reduced height of connecting building mass.
- A. 4(f) + 5(c)(i)(ii)**  
**B. 3 + 4**  
Removal of rooftop communal open space. Enlarged and consolidated communal open space on ground level.
- A. 4(h)**  
**C. 7**  
Simplified eastern facade to Nant Gwylan. Long strips of glazing reconfigured to avoid a modern aesthetic.
- A. 5(a)(i)(ii)**  
Direct resident access from ground floor POS provided to the northern COS and Central Avenue. Communal entry to linked building provided from Central Avenue.
- A. 5(e)**  
Balconies reoriented away from Nant Gwylan.
- A. 5(g)**  
Habitable rooms for Units 4005-4008, 4105-4108, 4205-4208, and 4301-4304 are within 8m of a window.
- A. 6**  
Screening to rooftop plant area.
- C. 4**  
Proposed levels for Building 4+6 ground floor and its COS are consistent with the approved levels.
- C. 5**  
Additional roof mass has been reduced, with weather coverage over common corridors maintained. A lighter coloured roof has been adopted, which still maintains a good level of contrast against the rest of the building.
- C. 6**  
The parapet has been removed, and the roof edge extended to the building edge, avoiding a modern and boxy built form.

This drawing is not to be copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without the written consent of Benson McCormack architects. Drawings show design intent only. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architects.

ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2014 + AUSTRALIAN STANDARDS (AS) \*\* DIAL BEFORE YOU DIG\*\*  
www.1100.com.au

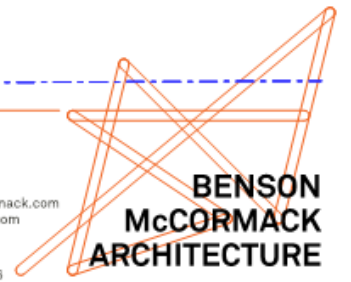
REVISION	Rev	Date	Description
	01	21/10/2023	S4.56 issue 01
	02	2/01/2023	S4.56 issue 02
	03	3/10/2023	S4.56 issue 03

LEGEND	COS	COMMUNAL OPEN SPACE	GBC	GARBAGE CHUTE	POS	PRIVATE OPEN SPACE
A/C Air Conditioning Unit	CEX Carpark Exhaust	GBR Garbage Room	GBC Garbage Chute	R Robe	RWT Rainwater Tank	CLIENT
ACC Accessible	D Dryer	GBX Garbage Exhaust	GM Gas Meter	SCR Screen	SD Study	CAMDEN RV Pty Ltd
ADP Adaptable	DP Down Pipe	GFA Gross Floor Area	H Hydraulic Services	SW Sewer	ST Storage	c/o PKF (NS) Tax Pty Ltd
AHD Aust. Height Datum	DW Dishwasher	GM Gas Meter	LV Laundry	STP Stormwater Pit	STW Stormwater	PROJECT DETAILS
B Basement	F Fridge	M Meter Room	MC Motorcycle Parking	SFL Structural floor level	SFT Top of Fence	DRAWING TITLE
BAL Balcony	FEF Fire Extinguisher	MC Motorcycle Parking	NSB Natural Ground Level	OF Top of Fence	TOW Top of Wall	SCALE
BED Bedroom	FFL Finish floor level	NSB Natural Ground Level	OSD Onsite Detention Tank	VIS Visitor Parking		APPROVED
BT Bathroom	FN Fire Stairs	OSD Onsite Detention Tank	P Pantry			DB
COL Column	FSR Floor Space Ratio	P Pantry				CHECKED
COMM Comms Room	GBA Gross Building Area					JSN

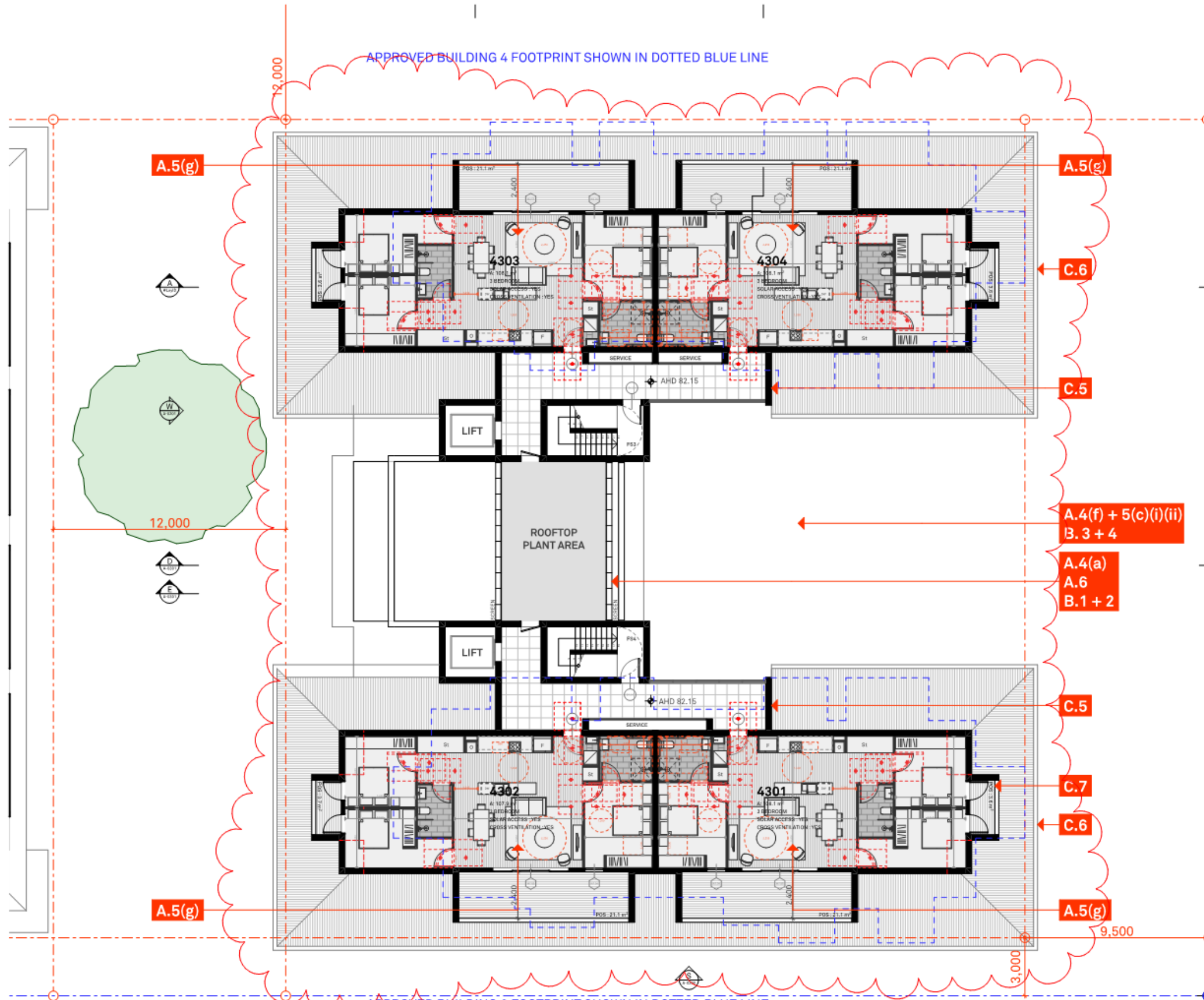
CLIENT	PROJECT DETAILS	DRAWING TITLE	SCALE	APPROVED	NORTH
CAMDEN RV Pty Ltd c/o PKF (NS) Tax Pty Ltd	CAMDEN GROVE BLD 4+6 2-14 John Street, Camden, NSW 2570	GA - LEVEL 2 PLAN	1:200 STATUS S4.56 PROJECT No 2217A	DB CHECKED JSN DRAWING No A-0103 REV 03	

STUDIO 5, 505 BALMAIN RD  
LILYFIELD NSW 2040  
ABN: 76 129 130 285  
P. + 61 2 9818 0777  
E. enquiries@bensonmccormack.com  
W. www.bensonmccormack.com

Nominated Architect  
D Benson | NSW ARB 7285  
G McCormack | NSW ARB 7536







- [ A ] Camden Council Letter, dated 9th May 2023
- [ B ] Camden Council email, dated 13th June 2023
- [ C ] Camden Council email, dated 30th June 2023
- [ D ] Camden Council email, dated 6th Sept 2023

**DESIGN MODIFICATIONS |**

- A. 3**  
Proposed maximum building height will be no greater than approved building height.
- A. 4(a)**  
**B. 1 + 2**  
Increased setback from common site boundary with neighbouring Nant Gwylan, and reduced height of connecting building mass.
- A. 4(f) + 5(c)(i)(ii)**  
**B. 3 + 4**  
Removal of rooftop communal open space. Enlarged and consolidated communal open space on ground level.
- A. 4(h)**  
**C. 7**  
Simplified eastern facade to Nant Gwylan. Long strips of glazing reconfigured to avoid a modern aesthetic.
- A. 5(a)(i)(ii)**  
Direct resident access from ground floor POS provided to the northern COS and Central Avenue. Communal entry to linked building provided from Central Avenue.
- A. 5(e)**  
Balconies reoriented away from Nant Gwylan. Additional privacy screening proposed to further protect neighbouring amenity.
- A. 5(g)**  
Habitable rooms for Units 4005-4008, 4105-4108, 4205-4208, and 4301-4304 are within 8m of a window.
- A. 6**  
Screening to rooftop plant area.
- C. 4**  
Proposed levels for Building 4+6 ground floor and its COS are consistent with the approved levels.
- C. 5**  
Additional roof mass has been reduced, with weather coverage over common corridors maintained. A lighter coloured roof has been adopted, which still maintains a good level of contrast against the rest of the building.
- C. 6**  
Eaves line extended 450mm beyond external wall face.
- C. 7**  
Balconies to Units 4301 to 4304 reduced in depth.

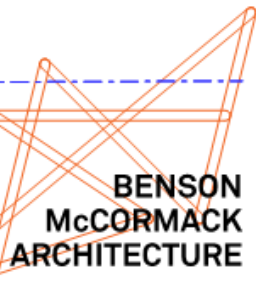
This drawing is not to be copied, reproduced, retained or disclosed to any unauthorized person either wholly or in part without the written consent of Benson McCormack architects. Drawings show design intent only. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architects.  
ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2014 + AUSTRALIAN STANDARDS (AS) \*\* DIAL BEFORE YOU DIG\*\*  
www.1100.com.au

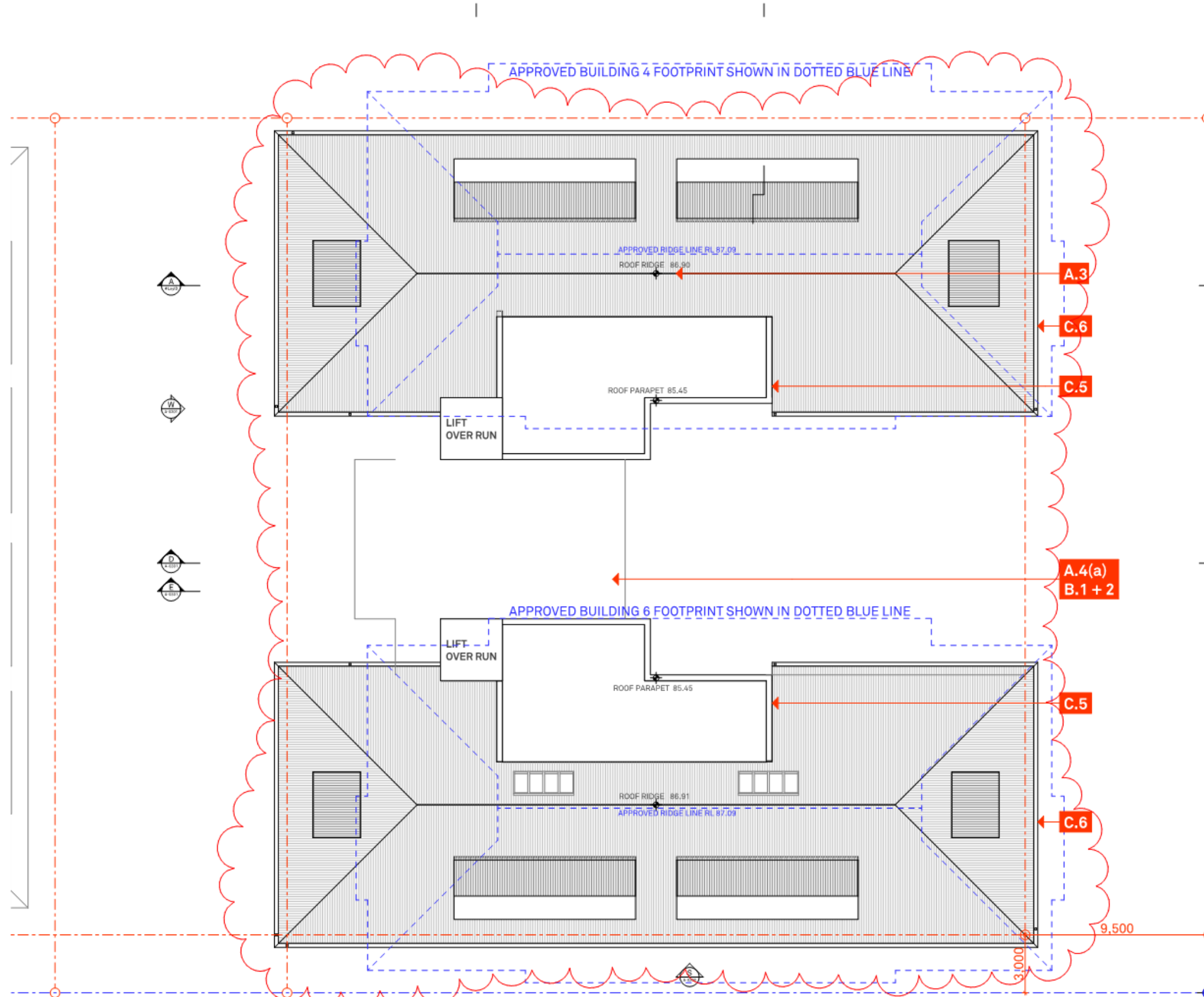
REVISION	Rev	Date	Description
	01	21/10/2023	54.56/1000 01
	02	2/01/2023	54.56/1000 02
	03	3/10/2023	54.56/1000 03

LEGEND	COS	COMMUNAL OPEN SPACE	GBC	GARBAGE CHUTE	POS	PRIVATE OPEN SPACE
A/C Air Conditioning Unit	CEX Carpark Exhaust	GBR Garbage Room	GBX Garbage Exhaust	R Garbage Chute	RW Rainwater Tank	Robe
ACC Accessible	DRY Dryer	GFA Gross Floor Area	GM Gas Meter	RWT Rainwater Tank	SCR Screen	Screen
ADP Adaptable	DP Down Pipe	GM Gas Meter	HS Hydraulic Services	SCW Sewer	SCW Sewer	Sewer
AHD Aust. Height Datum	DW Dishwasher	LY Laundry	M Motor Room	ST Storage	SD Study	Study
B Basement	F Fridge	M Motor Room	MC Motorcycle Parking	STP Stormwater Pit	STW Stormwater	Stormwater Pit
BAL Balustrade	FEX Fire Extinguisher	MC Motorcycle Parking	MSB Main Switch Board	STW Stormwater	SFL Structural floor level	Stormwater
BALC Balcony	FFL Finish floor level	MSB Main Switch Board	NSL Natural Ground Level	SFL Structural floor level	TOF Top of Fence	Structural floor level
BED Bedroom	FN Fence	NSL Natural Ground Level	OSD Onsite Detention Tank	TOF Top of Fence	TOW Top of Wall	Top of Fence
BT Bathroom	FSR Fire Stairs	OSD Onsite Detention Tank	P Pantry	TOW Top of Wall	VIS Visitor Parking	Top of Wall
COL Column	GBA Gross Building Area	P Pantry		VIS Visitor Parking		Visitor Parking
COMM Comms Room						

CLIENT	PROJECT DETAILS	DRAWING TITLE	SCALE	APPROVED	NORTH
CAMDEN RV Pty Ltd c/o PKF (NS) Tax Pty Ltd	CAMDEN GROVE BLD 4+6	GA - LEVEL 3 PLAN	1:200	DB	
Level 9, 1 O'Connell Street, Sydney, NSW 2000	2-14 John Street, Camden, NSW 2570		STATUS S4.56	CHECKED JSN	
			PROJECT No 2217A	DRAWING No A-0104	REV 03

STUDIO 5, 505 BALMAIN RD  
LILYFIELD NSW 2040  
ABN: 76 129 130 285  
P. + 61 2 9818 0777  
E. enquiries@bensonmccormack.com  
W. www.bensonmccormack.com  
Nominated Architect  
D Benson | NSW ARB 7285  
G McCormack | NSW ARB 7536





- [ A ] Camden Council Letter, dated 9th May 2023
- [ B ] Camden Council email, dated 13th June 2023
- [ C ] Camden Council email, dated 30th June 2023
- [ D ] Camden Council email, dated 6th Sept 2023

**DESIGN MODIFICATIONS |**

- A. 3**  
Proposed maximum building height will be no greater than approved building height.
- A. 4(a)**  
**B. 1 + 2**  
Increased setback from common site boundary with neighbouring Nant Gwylan, and reduced height of connecting building mass.
- A. 4(f) + 5(c)(i)(ii)**  
**B. 3 + 4**  
Removal of rooftop communal open space. Enlarged and consolidated communal open space on ground level.
- A. 4(h)**  
**C. 7**  
Simplified eastern facade to Nant Gwylan. Long strips of glazing reconfigured to avoid a modern aesthetic.
- A. 5(a)(i)(ii)**  
Direct resident access from ground floor POS provided to the northern COS and Central Avenue. Communal entry to linked building provided from Central Avenue.
- A. 5(e)**  
Balconies reoriented away from Nant Gwylan. Additional privacy screening proposed to further protect neighbouring amenity.
- A. 5(g)**  
Habitable rooms for Units 4005-4008, 4105-4108, 4205-4208, and 4301-4304 are within 8m of a window.
- A. 6**  
Screening to rooftop plant area.
- C. 4**  
Proposed levels for Building 4+6 ground floor and its COS are consistent with the approved levels.
- C. 5**  
Additional roof mass has been reduced, with weather coverage over common corridors maintained. A lighter coloured roof has been adopted, which still maintains a good level of contrast against the rest of the building.
- C. 6**  
Eaves line extended 450mm beyond external wall face.

This drawing is not to be copied, reproduced, retained or disclosed to any unauthorized person either wholly or in part without the written consent of Benson McCormack architects. Drawings show design intent only. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architects.  
ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2014 + AUSTRALIAN STANDARDS (AS) \*\* DIAL BEFORE YOU DIG\*\*  
www.1100.com.au

REVISION	Rev	Date	Description
	01	21/10/2023	54.56/issue 01
	02	2/01/2023	54.56/issue 02
	03	3/10/2023	54.56/issue 03

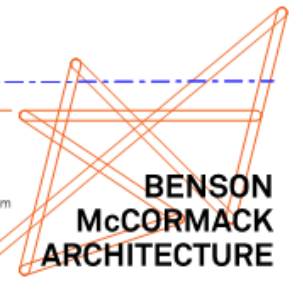
LEGEND	COS	GBC	POS	CLIENT	PROJECT DETAILS	DRAWING TITLE
A/C Air Conditioning Unit	Communal Open Space	Garbage Chute	Private Open Space	CAMDEN RV Pty Ltd	CAMDEN GROVE	GA - ROOF PLAN
ACC Accessible	Carpark Exhaust	Garbage Room	Robe	c/o PKF (NS) Tax Pty Ltd	BLD 4+6	
ADP Adaptable	Dryer	Garbage Exhaust	Rainwater Tank	Level 9, 1 O'Connell Street, Sydney, NSW 2000		
AHD Aust. Height Datum	Down Pipe	Gas Meter	Screen			
B Basement	Dishwasher	Hydraulic Services	SCR Sewer			
BAL Balustrade	Fridge	Laundry	ST Storage			
BALC Balcony	Fire Extinguisher	Meter Room	STP Stormwater Pit			
BED Bedroom	FFL Finish floor level	MC Motorcycle Parking	STW Stormwater			
BT Bathroom	FN Fence	MSB Main Switch Board	SFL Structural floor level			
COL Column	FS Fire Stairs	NGL Natural Ground Level	TOF Top of Fence			
COMM Comms Room	FSR Floor Space Ratio	OSD Onsite Detention Tank	TOW Top of Wall			
	GBA Gross Building Area	P Pantry	VIS Visitor Parking			

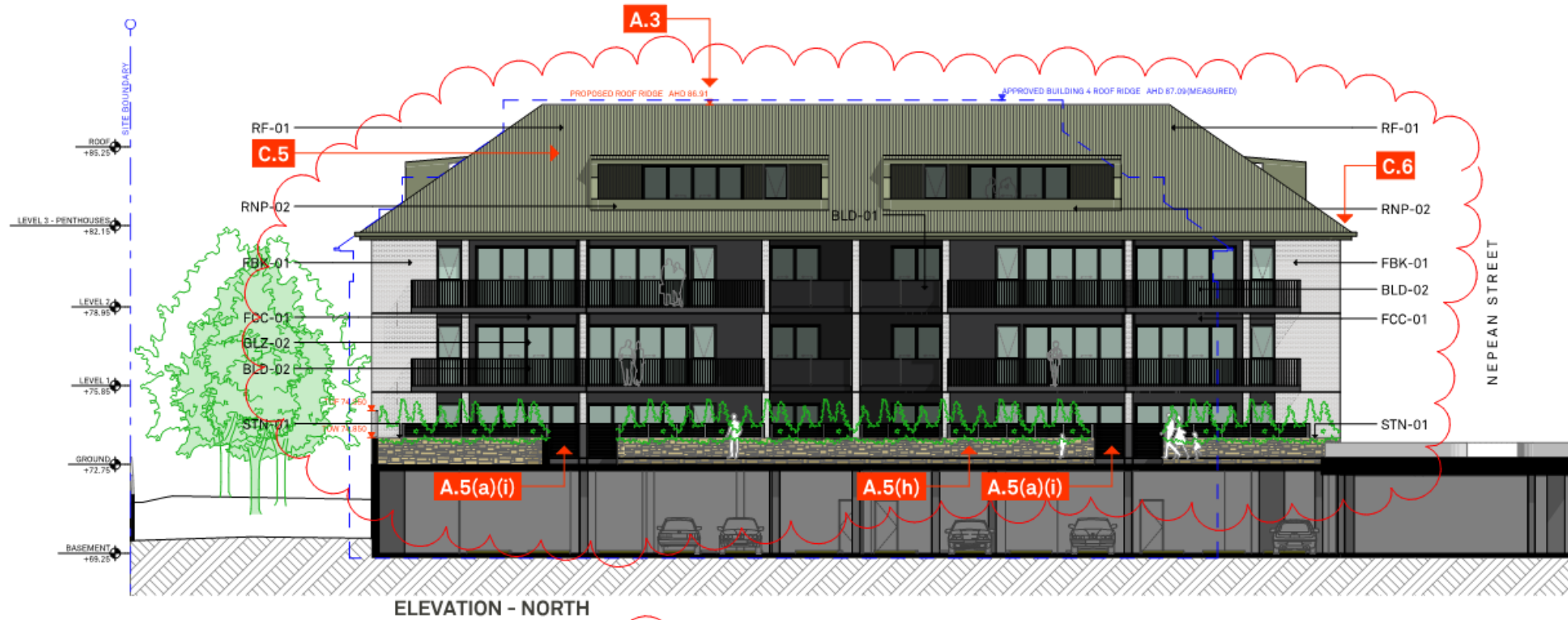
SCALE	APPROVED	NORTH
1:200	DB	
STATUS	CHECKED	
S4.56	JSN	
PROJECT No	DRAWING No	REV
2217A	A-0105	03

STUDIO	ADDRESS	ABN	PHONE	EMAIL	WEBSITE
STUDIO 5, 505 BALMAIN RD	LILYFIELD NSW 2040	ABN: 76 129 130 285	P. + 61 2 9818 0777	E. enquiries@bensonmccormack.com	W. www.bensonmccormack.com

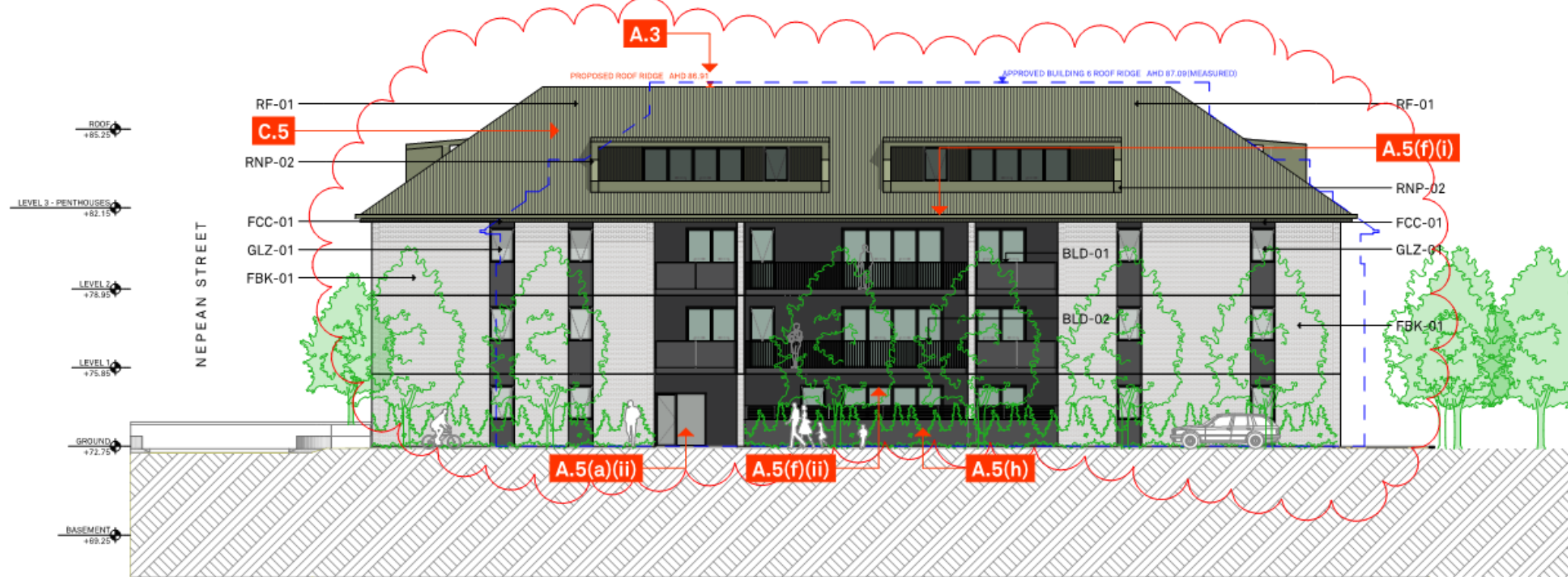
CLIENT	PROJECT DETAILS	DRAWING TITLE
CAMDEN RV Pty Ltd	CAMDEN GROVE	GA - ROOF PLAN
c/o PKF (NS) Tax Pty Ltd	BLD 4+6	

STUDIO	ADDRESS	ABN	PHONE	EMAIL	WEBSITE
STUDIO 5, 505 BALMAIN RD	LILYFIELD NSW 2040	ABN: 76 129 130 285	P. + 61 2 9818 0777	E. enquiries@bensonmccormack.com	W. www.bensonmccormack.com





ELEVATION - NORTH



ELEVATION - SOUTH

- [ A ] Camden Council Letter, dated 9th May 2023
- [ B ] Camden Council email, dated 13th June 2023
- [ C ] Camden Council email, dated 30th June 2023
- [ D ] Camden Council email, dated 6th Sept 2023

**DESIGN MODIFICATIONS |**

- A. 3**  
Proposed maximum building height will be no greater than approved building height.
- A. 5(a)(i)(ii)**  
Direct resident access from ground floor POS provided to the northern COS and Central Avenue. Communal entry to linked building provided from Central Avenue.
- A. 5(f)(i)**  
Solar access to units 4205 - 4208 reinforced with modified roof form.
- A. 5(f)(ii)**  
Units 4002, 4102, and 4202 do not receive any solar access, representing 10.7% of total units.
- A. 5(h)**  
Detail of fencing provided for ground floor POS.
- C. 5**  
Additional roof mass has been reduced, with weather coverage over common corridors maintained. A lighter coloured roof has been adopted, which still maintains a good level of contrast against the rest of the building.
- C. 6**  
Eaves line extended 450mm beyond external wall face.

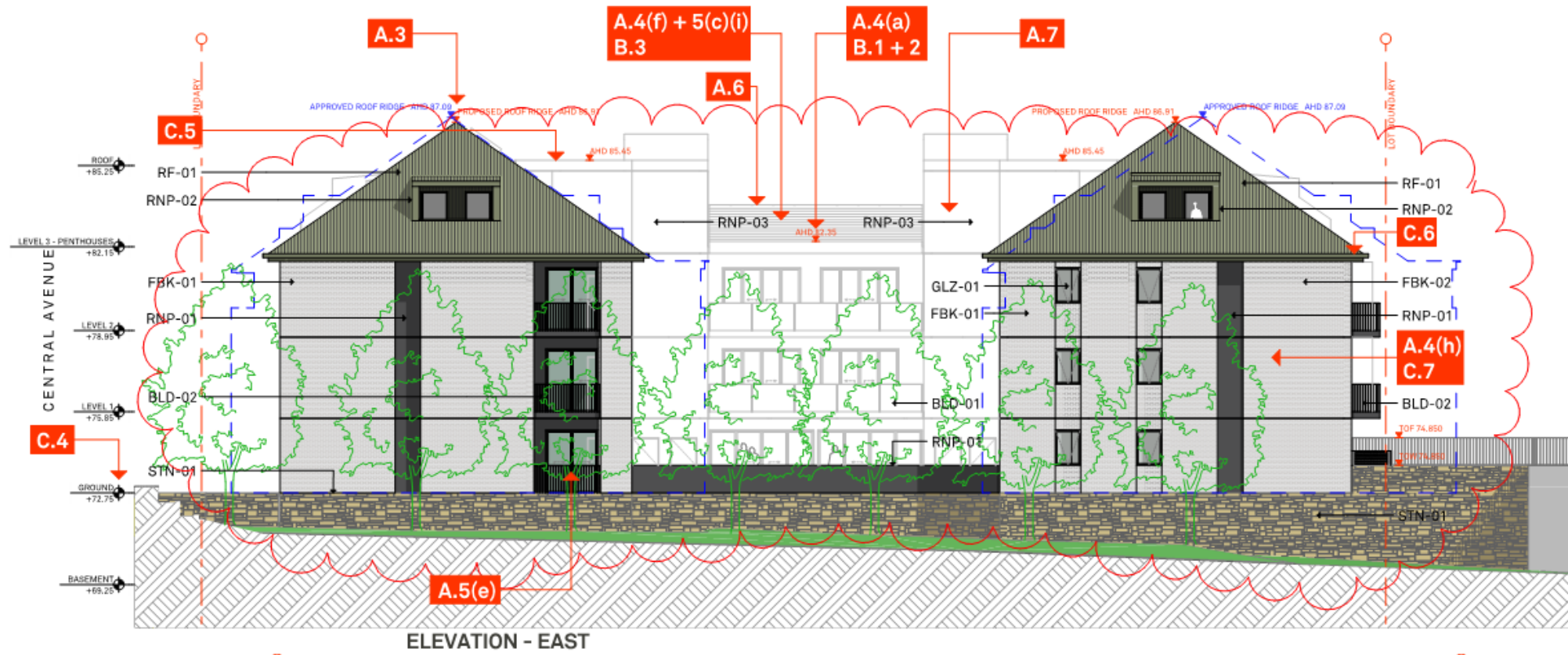
This drawing is not to be copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without the written consent of Benson McCormack architects. Drawings show design intent only. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architects.  
ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2014 + AUSTRALIAN STANDARDS (AS) \*\* DIAL BEFORE YOU DIG\*\*  
www.1100.com.au

REVISION	Rev	Date	Description
	01	21/10/2023	S4.56/issue 01
	02	2/02/2023	S4.56/issue 02
	03	3/10/2023	S4.56/issue 03

LEGEND	COS	GBC	POS	CLIENT	PROJECT DETAILS	DRAWING TITLE	SCALE	APPROVED	NORTH
A/C Air Conditioning Unit	CEX Carpark Exhaust	GSR Garbage Room	R Robe	CAMDEN RV Pty Ltd	2-14 John Street, Camden, NSW 2570	ELEVATIONS - NORTH & SOUTH	1:200	DB	
ACC Accessible	D Dining	GSR Garbage Exhaust	RWT Rainwater Tank	c/o PKF (NS) Tax Pty Ltd			STATUS	CHECKED	
ADP Adaptable	DP Down Pipe	GFA Gross Floor Area	SCR Screen				S4.56	JSN	
AHD Aust. Height Datum	DW Dishwasher	GM Gas Meter	ST Storage	Level 8, 1 O'Connell Street, Sydney, NSW 2000			PROJECT No	DRAWING No	REV
B Basement	F Fridge	H Hydraulic Services	SD Study				2217A	A-0200	03
BAL Balustrade	FEX Fire Extinguisher	LY Laundry	STP Stormwater Pit						
BALC Balcony	FFL Finish floor level	M Meter Room	STW Stormwater						
BED Bedroom	FN Fence	MC Motorcycle Parking	SFL Structural floor level						
BT Bathroom	FS Fire Stairs	MSB Main Switch Board	SFL Top of Fence						
COL Column	FSR Floor Space Ratio	NGL Natural Ground Level	TOW Top of Wall						
COMM Comms Room	GBA Gross Building Area	OSD Onsite Detention Tank	VIS Visitor Parking						

STUDIO 5, 505 BALMAIN RD  
LILYFIELD NSW 2040  
ABN: 76 129 130 285  
P. + 61 2 9818 0777  
E. enquiries@bensonmccormack.com  
W. www.bensonmccormack.com  
Nominated Architect  
D Benson | NSW ARB 7285  
G McCormack | NSW ARB 7536





ELEVATION - EAST



ELEVATION - WEST

This drawing is not to be copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without the written consent of Benson McCormack Architects. Drawings show design intent only. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architects.  
ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2014 + AUSTRALIAN STANDARDS (AS) \*\* DIAL BEFORE YOU DIG\*\*  
www.1100.com.au

REVISION	Rev	Date	Description
	01	21/10/2023	54.56 issue 01
	02	2/01/2023	54.56 issue 02
	03	3/10/2023	54.56 issue 03

LEGEND

A/C	Air Conditioning Unit	COS	Communal Open Space	GBC	Garbage Chute	POS	Private Open Space
ACC	Accessible	CEX	Carpark Exhaust	GSR	Garbage Room	R	Robe
ADP	Adaptable	D	Dining	GBX	Garbage Exhaust	RWT	Rainwater Tank
AHD	Aust. Height Datum	DRY	Dryer	GFA	Gross Floor Area	SCR	Screen
B	Basement	DP	Down Pipe	GM	Gas Meter	SW	Sewer
BAL	Balustrade	DW	Dishwasher	H	Hydraulic Services	ST	Storage
BALC	Balcony	F	Fridge	LY	Laundry	SD	Study
BED	Bedroom	FEX	Fire Extinguisher	M	Meter Room	STP	Stormwater Pit
BT	Bathroom	FFL	Finish floor level	MC	Motorcycle Parking	STW	Stormwater
COL	Column	FN	Fire Stairs	MSB	Main Switch Board	SFL	Structural floor level
COMM	Comms Room	FS	Fire Stairs	NGL	Natural Ground Level	TOF	Top of Fence
		FSR	Floor Space Ratio	OSD	Onsite Detention Tank	TOW	Top of Wall
		GBA	Gross Building Area	P	Pantry	VIS	Visitor Parking

CLIENT  
CAMDEN RV Pty Ltd  
c/o PKF (NS) Tax Pty Ltd  
Level 9, 1 O'Connell Street,  
Sydney, NSW 2000

PROJECT DETAILS  
CAMDEN GROVE  
BLD 4+6  
2-14 John Street,  
Camden,  
NSW 2570

DRAWING TITLE  
ELEVATIONS -  
EAST & WEST

SCALE  
1:200  
STATUS  
S4.56  
PROJECT No  
2217A

APPROVED  
DB  
CHECKED  
JSN  
DRAWING No  
A-0201  
REV  
03

NORTH  
STUDIO 5, 505 BALMAIN RD  
LILYFIELD NSW 2040  
ABN: 76 129 130 285  
P. + 61 2 9818 0777  
E. enquiries@bensonmccormack.com  
W. www.bensonmccormack.com  
Nominated Architect  
D Benson | NSW ARB 7285  
G McCormack | NSW ARB 7536



- [ A ] Camden Council Letter, dated 9th May 2023
- [ B ] Camden Council email, dated 13th June 2023
- [ C ] Camden Council email, dated 30th June 2023
- [ D ] Camden Council email, dated 6th Sept 2023

DESIGN MODIFICATIONS |

- A. 3**  
Proposed maximum building height will be no greater than approved building height.
- A. 4(a)**  
**B. 1 + 2**  
Increased setback from common site boundary with neighbouring Nant Gwylan, and reduced height of connecting building mass.
- A. 4(f) + 5(c)(i)(ii)**  
**B. 3 + 4**  
Removal of rooftop communal open space. Enlarged and consolidated communal open space on ground level.
- A. 4(g)**  
Use of lighter colours for the connecting building mass.
- A. 4(h)**  
**C. 7**  
Simplified eastern facade to Nant Gwylan. Long strips of glazing reconfigured to avoid a modern aesthetic.
- A. 5(e)**  
Balconies reoriented away from Nant Gwylan. Additional privacy screening proposed to further protect neighbouring amenity.
- A. 6**  
Screening to rooftop plant area.
- A. 7**  
Lift overrun to be finished with acrylic render, and painted.
- C. 4**  
Proposed levels for Building 4+6 and its COS are consistent with the approved levels.
- C. 5**  
Additional roof mass has been reduced, with weather coverage over common corridors maintained. A lighter coloured roof has been adopted, which still maintains a good level of contrast against the rest of the building.
- C. 6**  
Eaves line extended 450mm beyond external wall face.

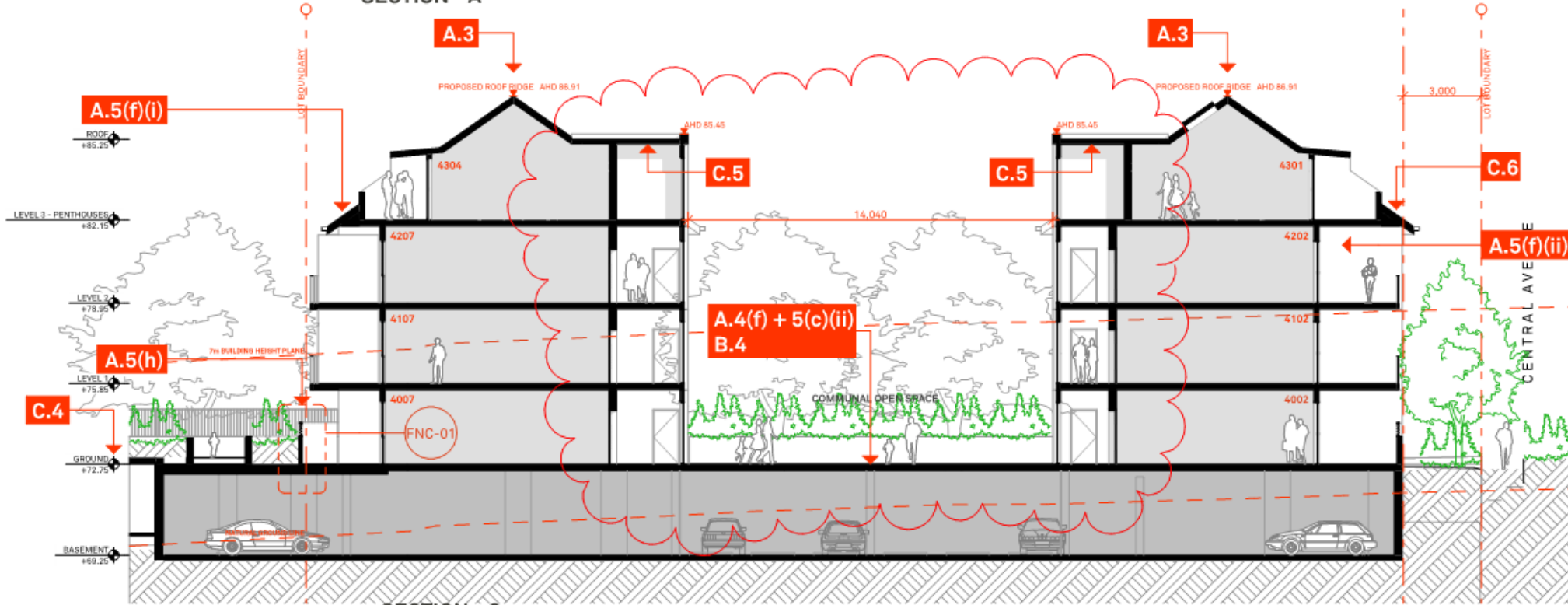


SECTION - A

- [ A ] Camden Council Letter, dated 9th May 2023
- [ B ] Camden Council email, dated 13th June 2023
- [ C ] Camden Council email, dated 30th June 2023
- [ D ] Camden Council email, dated 6th Sept 2023

**DESIGN MODIFICATIONS |**

- A. 3**  
Proposed maximum building height will be no greater than approved building height.
- A. 4(f) + 5(c)(i)(ii)**  
**B. 3 + 4**  
Removal of rooftop communal open space.  
Enlarged and consolidated communal open space on ground level.
- A. 5(f)(i)**  
Solar access to units 4205 - 4208 reinforced with modified roof form.
- A. 5(f)(ii)**  
Units 4002, 4102, and 4202 do not receive any solar access, representing 10.7% of total units.
- A. 5(h)**  
Detail of fencing provided for ground floor POS.
- C. 4**  
Proposed levels for Building 4+6 and its COS are consistent with the approved levels.
- C. 5**  
Additional roof mass has been reduced, with weather coverage over common corridors maintained.  
A lighter coloured roof has been adopted, which still maintains a good level of contrast against the rest of the building.
- C. 6**  
Eaves line extended 450mm beyond external wall face.



SECTION - C

This drawing is not to be copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without the written consent of Benson McCormack architects. Drawings show design intent only. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architects.  
ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2014 + AUSTRALIAN STANDARDS (AS) \*\* DIAL BEFORE YOU DIG\*\*  
www.1100.com.au

REVISION	Rev	Date	Description
	01	21/10/2023	S4.56 issue 01
	02	2/02/2023	S4.56 issue 02
	03	9/10/2023	S4.56 issue 03

LEGEND	
A/C	Air Conditioning Unit
ACC	Accessible
ADP	Adaptable
AHD	Aust. Height Datum
B	Basement
BAL	Balustrade
BALC	Balcony
BED	Bedroom
BT	Bathroom
COL	Column
COMM	Comms Room

COS	Communal Open Space
CEX	Carpark Exhaust
D	Dining
DRY	Dryer
DP	Down Pipe
DW	Dishwasher
F	Fridge
FEX	Fire Extinguisher
FFL	Finish floor level
FN	Fire Stairs
FSR	Floor Space Ratio
GBA	Gross Building Area

GBC	Garbage Chute
GBR	Garbage Room
GBX	Garbage Exhaust
GFA	Gross Floor Area
GM	Gas Meter
H	Hydraulic Services
LY	Laundry
M	Meter Room
MC	Motorcycle Parking
MSB	Main Switch Board
NGL	Natural Ground Level
OSD	Onsite Detention Tank
P	Pantry

POS	Private Open Space
R	Robe
RWT	Rainwater Tank
SCR	Screen
SW	Sewer
ST	Storage
SD	Study
STP	Stormwater Pit
STW	Stormwater
SFL	Structural floor level
TGF	Top of Fence
TOW	Top of Wall
VIS	Visitor Parking

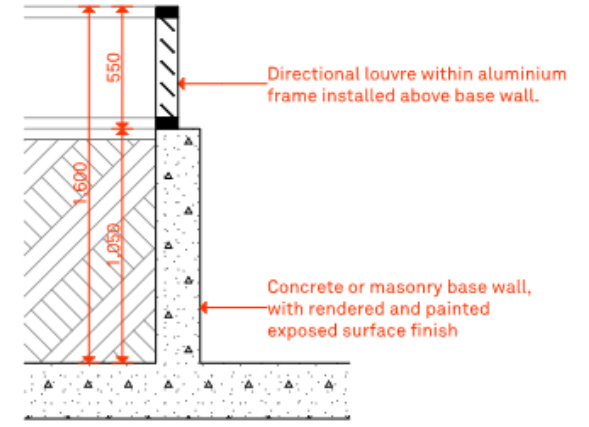
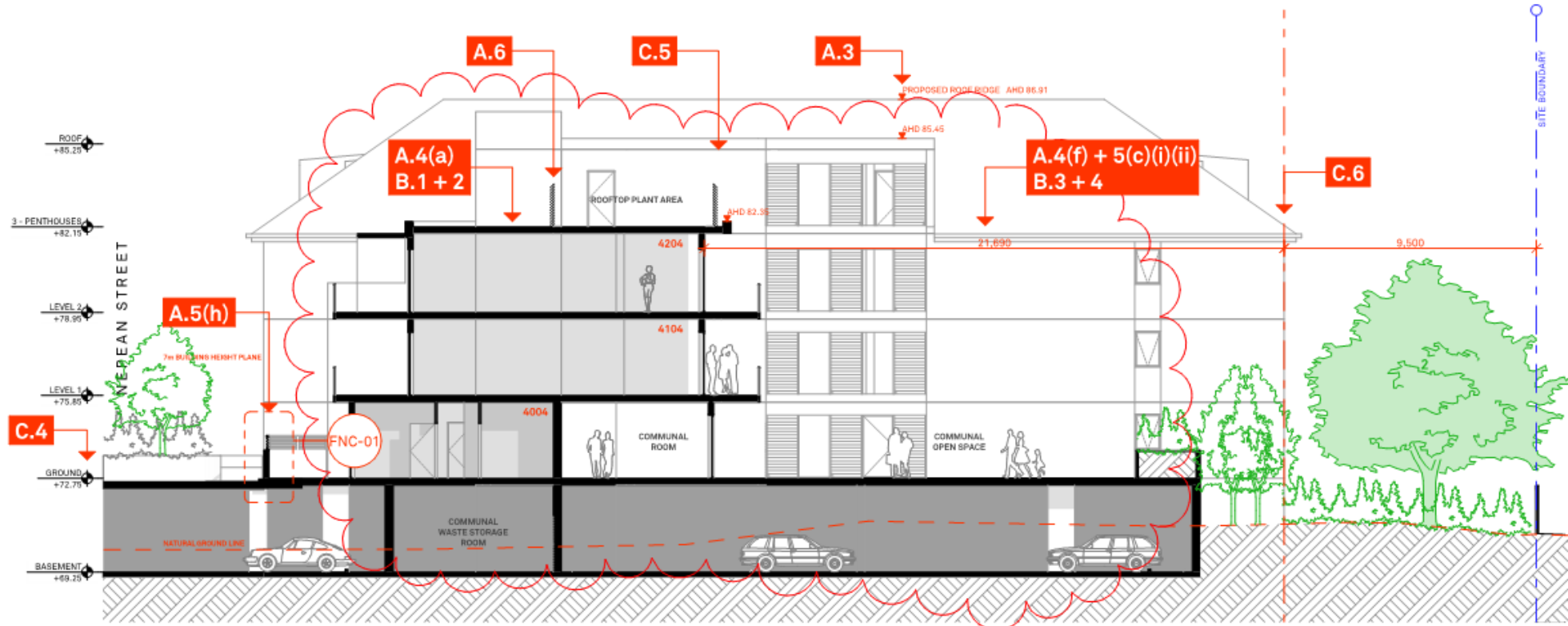
CLIENT	CAMDEN RV Pty Ltd c/o PKF (NS) Tax Pty Ltd
PROJECT DETAILS	CAMDEN GROVE BLD 4+6
DRAWING TITLE	SECTIONS - A & C
SCALE	1:200
STATUS	CHECKED
S4.56	JSN
PROJECT No	2217A
DRAWING No	A-0300
REV	03

CLIENT	CAMDEN RV Pty Ltd c/o PKF (NS) Tax Pty Ltd
PROJECT DETAILS	CAMDEN GROVE BLD 4+6
DRAWING TITLE	SECTIONS - A & C
SCALE	1:200
STATUS	CHECKED
S4.56	JSN
PROJECT No	2217A
DRAWING No	A-0300
REV	03

CLIENT	CAMDEN RV Pty Ltd c/o PKF (NS) Tax Pty Ltd
PROJECT DETAILS	CAMDEN GROVE BLD 4+6
DRAWING TITLE	SECTIONS - A & C
SCALE	1:200
STATUS	CHECKED
S4.56	JSN
PROJECT No	2217A
DRAWING No	A-0300
REV	03

CLIENT	CAMDEN RV Pty Ltd c/o PKF (NS) Tax Pty Ltd
PROJECT DETAILS	CAMDEN GROVE BLD 4+6
DRAWING TITLE	SECTIONS - A & C
SCALE	1:200
STATUS	CHECKED
S4.56	JSN
PROJECT No	2217A
DRAWING No	A-0300
REV	03

STUDIO 5, 505 BALMAIN RD  
LILYFIELD NSW 2040  
ABN: 76 129 130 285  
P. + 61 2 9818 0777  
E. enquiries@bensonmccormack.com  
W. www.bensonmccormack.com  
Nominated Architect  
D Benson | NSW ARB 7285  
G McCormack | NSW ARB 7536



FNC-01

A.5(h)



SECTION - E

This drawing is not to be copied, reproduced, retained or disclosed to any unauthorised person either wholly or in part without the written consent of Benson McCormack architects. Drawings show design intent only. Do not scale drawings. Check dimensions before commencing work. Inconsistencies are to be reported to Benson McCormack Architects.

ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA) 2014 + AUSTRALIAN STANDARDS (AS) \*\* DIAL BEFORE YOU DIG\*\* www.1100.com.au

REVISION	Rev	Date	Description
	01	21/10/2023	54.56/issue 01
	02	2/01/2024	54.56/issue 02
	03	3/10/2023	54.56/issue 03

LEGEND	DESCRIPTION	LEGEND	DESCRIPTION
A/C	Air Conditioning Unit	COS	Communal Open Space
ACC	Accessible	CEX	Carpark Exhaust
ADP	Adaptable	D	Dining
AHD	Aust. Height Datum	DRY	Dryer
B	Basement	DP	Down Pipe
BAL	Balustrade	DW	Dishwasher
BALC	Balcony	F	Fridge
BED	Bedroom	FEX	Fire Extinguisher
BT	Bathroom	FFL	Finish floor level
COL	Column	FN	Fire Stairs
COMM	Comms Room	FSR	Floor Space Ratio
		GBA	Gross Building Area
		GBC	Garbage Chute
		GSR	Garbage Room
		GBX	Garbage Exhaust
		GFA	Gross Floor Area
		GM	Gas Meter
		H	Hydraulic Services
		LY	Laundry
		M	Meter Room
		MC	Motorcycle Parking
		MSB	Main Switch Board
		NSL	Natural Ground Level
		OSD	Onsite Detention Tank
		P	Pantry
		POS	Private Open Space
		R	Robe
		RWT	Rainwater Tank
		SCR	Screen
		SW	Sewer
		ST	Storage
		SD	Study
		STP	Stormwater Pit
		STW	Stormwater
		SFL	Structural floor level
		TOP	Top of Fence
		TOW	Top of Wall
		VIS	Visitor Parking

CLIENT  
**CAMDEN RV Pty Ltd**  
 c/o PKF (NS) Tax Pty Ltd  
 Level 9, 1 O'Connell Street,  
 Sydney, NSW 2000

PROJECT DETAILS  
**CAMDEN GROVE**  
 BLD 4+6  
 2-14 John Street,  
 Camden, NSW 2570

DRAWING TITLE  
**SECTIONS - D & E**

SCALE  
**1:200**  
 STATUS  
**S4.56**  
 PROJECT No  
**2217A**

APPROVED  
**DB**  
 CHECKED  
**JSN**  
 DRAWING No  
**A-0301**  
 REV  
**03**

NORTH

STUDIO 5, 505 BALMAIN RD  
 LILYFIELD NSW 2040  
 ABN: 76 129 130 285  
 P. + 61 2 9818 0777  
 E. enquiries@bensonmccormack.com  
 W. www.bensonmccormack.com

Nominated Architect  
 D Benson | NSW ARB 7285  
 G McCormack | NSW ARB 7536







PLANT SCHEDULE : TREES

ID	Botanic Name	Common Name	Supply Size (mm/L)	Mature Height	Mature Spread	Qty
<b>Street Trees</b>						
Cc	Corymbia citriodora	Lemon-Scented Gum	100L	20m	10m	2
Ti	Tristania laurina	Kanooka Gum	100L	10m	6m	3
<b>Trees</b>						
Cv	Callistemon viminalis 'Kings Park Special'	King Park Bottlebrush	75L	5m	3m	9
Ca	Cyathea australis	Tree Fern	75L	6m	3m	6
Er	Elaeocarpus reticulatus 'Prima Donna'	Blueberry Ash	75L	8m	4m	7
Jm	Jacaranda mimosifolia	Jacaranda	75L	12m	8m	2
La	Livistona australis	Cabbage Tree Palm	100L	15m	4m	5

PLANT SCHEDULE : SHRUBS / GROUNDCOVERS

Botanic Name	Common Name	Supply Size (mm/L)	Mature Height	Mature Spread	Qty
<b>Shrubs</b>					
Acmena smithii var. Minor	Dwarf Lily pilli	45L	3m	2m	8
Banksia spinulosa 'Coastal Cushion'	Hairpin Banksia	5L	0.6m	1m	25
Callistemon viminalis 'Little John'	Dwarf Bottlebrush	5L	1.2m	1m	12
Choisya ternata	Mexican Orange Blossom	5L	2m	1.5m	5
Correa alba 'Snowbelle'	Snowbelle Correa	5L	1m	1m	19
Eriostemon australis	Pink Wax-flower	5L	1.5m	1.5m	5
Grevillea sericea	Pink Spider Flower	5L	1.5m	1.5m	10
Philodendron 'Xanadu'	Xanadu Philodendron	5L	1m	1m	22
Pittosporum tobira	Pittosporum 'Miss Muffets'	5L	1m	1m	19
Rhaphelepis indica 'Spring Time'	Indian Hawthorn	5L	1.5m	1.5m	26
Rosmarinus officinalis 'Blue Lagoon'	Rosemary 'Blue Lagoon'	5L	1m	1m	13
Teucrium fruticans	Germander	5L	1m	1m	50
Viburnum odoratissimum	Viburnum	10L	3m	2m	14
<b>Groundcovers / Climbers / Grass</b>					
Asplenium nidus	Bird's-Nest Fern	200mm	1m	1m	20
Casuarina glauca Prostrate	Shagpile	140mm	0.2m	1m	10
Cerastium tomentosum	Snow-In-Summer	140mm	0.2m	1m	20
Dianella tasmanica	Flax Lily	140mm	0.9m	0.9m	15
Dieles grandiflora	Wild Iris	140mm	0.9m	0.9m	57
Grevillea juniperina 'Molongo'	Juniper Leaf Grevillea	140mm	0.5m	1m	34
Hardenbergia violacea 'Mini-Ha-Ha'	Mini-Ha-Ha Hardenbergia	140mm	0.4m	1m	29
Hibbertia scandens	Golden Guinea Flower	140mm	0.3m	1m	34
Liriope muscari 'Evergreen Giant'	Evergreen Giant Lilyturf	140mm	0.5m	0.5m	35
Lomandra longifolia	Spiny-headed Mat-Rush	140mm	0.9m	0.9m	75
Myoporum parvifolium 'Fine Leaf Form'	Fine Leaf Myoporum	140mm	0.5m	1m	39
Pennisetum alopecuroides	Foxtail Grass	140mm	1.5m	1.5m	67
Phormium tenax Purpureum	New Zealand Flax	140mm	1.5m	1.5m	11
Sedum mexicanum	Sedum	140mm	0.6m	1m	39
Viola hederacea	Native Violet	140mm	0.2m	1m	15

PLANT SCHEDULE : GROUND FLOOR COMMON OPEN SPACE

Botanic Name	Common Name	Supply Size (mm/L)	Mature Height	Mature Spread	Qty
Alpinia zerumbet Variagata	Variagated Shell Ginger	200mm	2m	1m	20
Buxus microphylla microphylla	Korean Box	200mm	0.6m	0.6m	36
Ficus lyrata	Fiddle Leaf Fig	45L	3m	1m	3
Liriope muscari	Lily Turl	140mm	0.4m	0.4m	34
Philodendron 'Xanadu'	Xanadu Philodendron	200mm	1m	1m	22
Pittosporum 'Miss Muffet'	Miss Muffet	200mm	1m	1m	12
Prunus cerasifera 'Oakville Crimson Spire'	Oakville Crimson Spire	75L	6m	2m	4

PLANT SCHEDULE : LEVEL 1

Botanic Name	Common Name	Supply Size (mm/L)	Mature Height	Mature Spread	Qty
Dichondra 'Silver Falls'	Silver Falls	200mm	0.1m	1m	8
Sansevieria trifasciata Laurentii	Mother-in-Laws Tongue	200mm	1m	0.5m	10

notes  
REFER TO SURVEY FOR EXISTING SITE DATA.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL AND ENGINEERING DRAWINGS AND SPECIFICATIONS.

abbreviations

LEGEND:

- EXISTING TREE - RETAIN
- EXISTING TREE - REMOVE
- SITE BOUNDARY
- EXISTING SPOT LEVEL
- PROPOSED SPOT LEVEL
- AS SELECTED TILE/ PAVER
- CONCRETE PAVING
- Un-coloured in-situ concrete paving.
- LAWN / TURF
- Palmetto® soft leaf buffalo or similar supplied in pre-grown rolls.

Matthew Higginson  
Landscape Architecture Pty Ltd

po box 352 five dock new 2046  
t 5414 725 944  
e mh@mhpa.com.au  
www.mhpa.com.au

HT Building Pty Ltd  
72 Glenelg Street  
Gleadow NSW 2540

Building 4 & 6  
2-14 John Street, Camden NSW

Landscape Plan :  
Ground Floor

scale 1:150 @ A1 22935 LP01 C

\$4.56 ISSUE

notes: This drawing is to be read in conjunction with the plans and specifications prepared by the project architect and engineer. Check drawings against site conditions prior to commencement and report any discrepancies to MPA. Use figure dimensions only - do not copy drawing. Drawing and content protected by copyright.







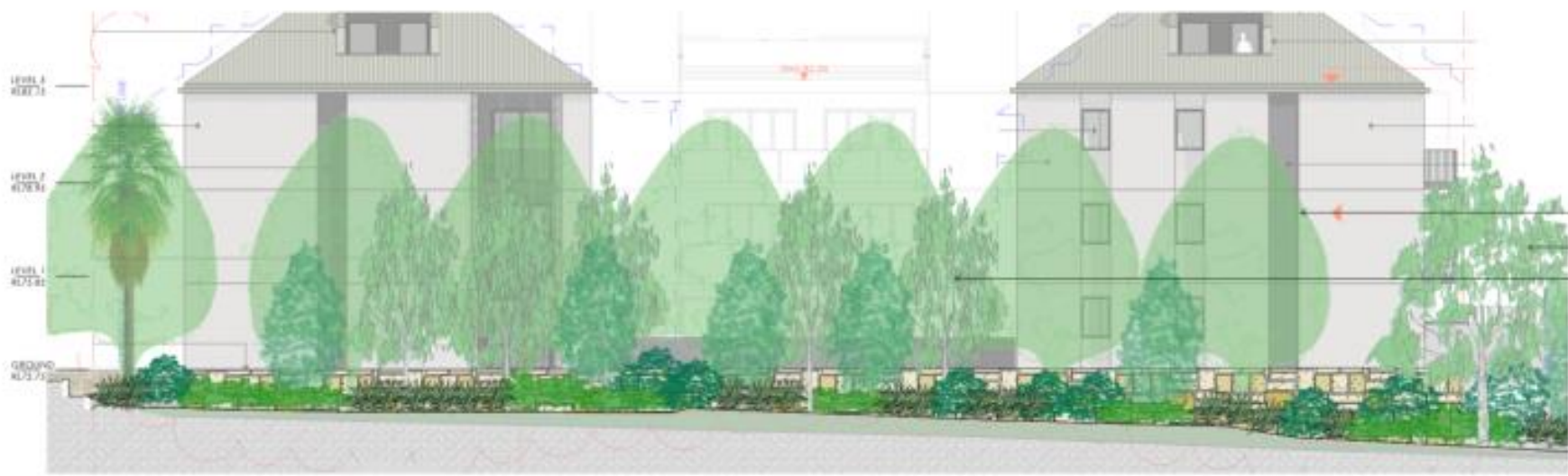
01 Landscape Plan : Level 1  
1:100



02 Ground Floor Common Open Space  
1:100



03 Section A  
1:100



04 East Elevation  
1:100

notes

REFER TO SURVEY FOR EXISTING SITE DATA.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL AND ENGINEERING DRAWINGS AND SPECIFICATIONS.

- LEGEND
- EXISTING TREE - RETAIN
  - EXISTING TREE - REMOVE
  - SITE BOUNDARY
  - EXISTING SPOT LEVEL
  - PROPOSED SPOT LEVEL
  - AS SELECTED TILE/PAVER
  - CONCRETE PAVING  
Un-coloured in-situ concrete paving
  - LAWN / TURF  
Palmetto soft leaf buffalo or similar supplied in pre-grown rolls.

NO.	DATE	DESCRIPTION
1	15/11/23	Issue for peer review - 10/10/23
2	15/11/23	Issue for peer review - 10/10/23
3	15/11/23	10/10/23
4	15/11/23	10/10/23

**Matthew Higginson**  
Landscape Architecture Pty Ltd  
PO Box 200 New South Wales 2000  
T 61 6 752 4224  
M 61 4 722 4224  
www.mhla.com.au  
www.mhla.com.au

**HT Building Pty Ltd**  
72 Darnley Street  
Camden NSW 2570

**Building 4 & 6**  
2-14 John Street, Camden NSW

**Landscape Plan :  
Level 1, Ground Floor COS &  
Sections**

DATE: A.S. @ A1 22/25 LP02 C

**54-56 ISSUE**

notes: This drawing is to be read in conjunction with the plans and specifications approved by the project architect and engineer. It is not to be used for any other purpose. Check drawings against site conditions prior to construction and report any deviations prior to MPA. See signed observations only. Do not scale drawing. Drawing not valid without seal.

DATE PLOTTED: 18 October 2023 11:12 AM BY: CARLO MASCENON

XREF: CAD File: C:\2025\atlas\gds\N00658-HT Retirement.dwg - HT Retirement.dwg\_2024\_04\_Engineering.dwg - ECP00658-CI-FC-1021.dwg

**GENERAL**

- ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH CAMDEN COUNCIL STANDARDS.
- CAMDEN COUNCIL STANDARD DETAILS TO BE USED WHERE POSSIBLE.
- UTILITY ADJUSTMENTS AT DEVELOPERS EXPENSE.
- CONDUITS TO BE PLACED WHERE REQUIRED BY THE RELEVANT AUTHORITIES.

**EXISTING UNDERGROUND SERVICES NOTES**

THE LOCATIONS OF UNDERGROUND SERVICES SHOWN IN THIS SET OF DRAWINGS HAVE NOT BEEN INVESTIGATED. ANY EXISTING OR PROPOSED SERVICES SHOWN ARE APPROXIMATE ONLY AND MAY NOT BE AS CONSTRUCTED OR ACCURATE. GDS CAN NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.

CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ON-SITE INCLUDING HAND EXCAVATION WHERE NECESSARY. CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF EXCAVATION WORKS. CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON-SITE AT ALL TIMES.



**EROSION AND SEDIMENT CONTROL NOTES**

**GENERAL INSTRUCTIONS**

- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION TO THE SATISFACTION OF COUNCIL SUPERINTENDENT, NSW OFFICE OF WATER, OFFICE OF ENVIRONMENT AND HERITAGE. THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE DRAWINGS SHALL ONLY BE USED AS A GUIDE BY THE CONTRACTOR, AND SHALL REPRESENT THE MINIMUM REQUIREMENT ONLY.
- THE CONTRACTOR SHALL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS DOCUMENTED OR AS OTHERWISE DIRECTED BY THE SUPERINTENDENT. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH:
  - LOCAL AUTHORITY REQUIREMENTS
  - EPA REQUIREMENTS
  - NSW DEPARTMENT OF HOUSING MANUAL "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION", 4th EDITION, MARCH 2004
- MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
- WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SEDIMENT CONTROLS ARE ERECTED AROUND PITS.
- CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENT CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY PRIOR TO AND FOLLOWING STORM EVENTS.

**LAND DISTURBANCE**

- WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE WILL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
  - INSTALL A SEDIMENT FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN. REFER DETAIL.
  - CONSTRUCT STABILISED CONSTRUCTION ENTRANCE TO LOCATION AS DETERMINED BY SUPERINTENDENT/ENGINEER. REFER DETAIL.
  - INSTALL SEDIMENT BASIN AS SHOWN ON PLAN (D) INSTALL SEDIMENT TRAPS AS SHOWN ON PLAN.
  - UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. WHERE POSSIBLE, PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

**EROSION CONTROL**

- DURING WINDY WEATHER, LARGE UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
- FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

**SEDIMENT CONTROL**

- STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.

- ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.

- WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.

- TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.

- ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.

**TREE PROTECTION**

- THE TREES THAT ARE TO BE RETAINED ARE TO BE PROTECTED DURING ALL WORKS STRICTLY IN ACCORDANCE WITH AS1975-2009 PROTECTION OF TREES ON DEVELOPMENT SITES.

- AT MINIMUM A 1.8m HIGH CHAIN-WIRE FENCE IS TO BE ERECTED AT LEAST THREE METRES FROM THE BASE OF EACH TREE AND IS TO BE IN PLACE PRIOR TO WORKS COMMENCING TO RESTRICT THE FOLLOWING OCCURRING:
  - STOCKPILING OF MATERIALS WITHIN THE ROOT PROTECTION ZONE.
  - PLACEMENT OF FILL WITHIN THE ROOT PROTECTION ZONE.
  - PARKING OF VEHICLES WITHIN THE ROOT PROTECTION ZONE. AND
  - COMPACTION OF SOIL WITHIN THE ROOT PROTECTION ZONE.

- ALL AREAS WITHIN THE ROOT PROTECTION ZONE ARE TO BE MULCHED WITH COMPOSED LEAF MULCH TO A DEPTH OF NOT LESS THAN 100mm.
- A SIGN IS TO BE ERECTED INDICATING THE TREES ARE PROTECTED.

- THE INSTALLATION OF SERVICES WITHIN THE ROOT PROTECTION ZONE IS NOT TO BE UNDERTAKEN WITHOUT PRIOR CONSENT FROM COUNCIL.

**CIVIL WORKS NOTES**

- ORIGIN OF LEVELS- REFER SURVEY NOTES.

- CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO THE SUPERINTENDENT.

- MAKE SMOOTH CONNECTION WITH EXISTING WORKS.

- ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.

- ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL. COMPACTED IN 150mm LAYERS TO MINIMUM 95% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75)

- PROVIDE 10mm WIDE EXPANSION JOINTS BETWEEN BUILDINGS AND ALL CONCRETE OR UNIT PAVEMENTS.

- ASPHALTIC CONCRETE SHALL CONFORM TO TNSW SPECIFICATION R116.

- ALL BASECOURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH TNSW FORM 3051, COMPACTED TO MINIMUM 95% MODIFIED DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. FREQUENCY OF COMPACTION TESTING SHALL BE IN ACCORDANCE WITH COUNCIL ENGINEERING SPECIFICATIONS.

- ALL SUB-BASE COURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH TNSW FORM 3051, AND COMPACTED TO MINIMUM 95% MODIFIED DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. FREQUENCY OF COMPACTION TESTING SHALL NOT BE IN ACCORDANCE WITH COUNCIL ENGINEERING SPECIFICATIONS.
- AS AN ALTERNATIVE TO THE USE OF IGNEOUS ROCK AS A SUB-BASE MATERIAL IN (b) A CERTIFIED RECYCLED CONCRETE MATERIAL COMPLYING WITH TNSW FORM 3051 WILL BE CONSIDERED, SUBJECT TO MATERIAL SAMPLES AND APPROPRIATE CERTIFICATIONS BEING PROVIDED TO THE SATISFACTION OF THE SUPERINTENDENT.

- SHOULD THE CONTRACTOR WISH TO USE A RECYCLED PRODUCT THIS SHALL BE CLEARLY INDICATED IN THEIR TENDER AND THE PRICE DIFFERENCE BETWEEN AN IGNEOUS PRODUCT AND A RECYCLED PRODUCT SHALL BE CLEARLY INDICATED.

- WHERE NOTED ON THE DRAWINGS THAT WORKS ARE TO BE CARRIED BY OTHERS, (eg. ADJUSTMENT OF SERVICES), THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CO-ORDINATION OF THESE WORKS.

**STORMWATER DRAINAGE NOTES**

- STORMWATER DESIGN CRITERIA:
  - ANNUAL EXCEEDANCE PROBABILITIES (AEP):
 

20% (1 IN 5)	MINOR (PIPED) NETWORK
1% (1 IN 100)	MAJOR (OVERLAND FLOW) SYSTEM
  - RAINFALL INTENSITIES:
 

ARR 2019 RAINFALL FROM BUREAU OF METEOROLOGY WEBSITE
  - HYDROLOGIC METHOD:
 

DRAINS WITH ARR 2019 PROCEDURES WITH ILSAX

- PIPES 375 DIA. AND LARGER TO BE REINFORCED CONCRETE CLASS 2' APPROVED SPIGOT AND SOCKET WITH RUBBER RING JOINTS. U.N.O.

- PIPES 300 DIA AND LESS SHALL BE DNV GRADE (CLASS S8) UPVC WITH SOLVENT WELDED JOINTS.

- EQUIVALENT STRENGTH FRP PIPES MAY BE USED.

- ALL PIPES ARE TO BE UNIFORMLY SUPPORTED ALONG THE LENGTH OF THE BARREL BY SUITABLE FILL MATERIAL. REFER TO BEDDING SUPPORT TYPE.

- PIPES WITH SOCKETS SHALL BE LAID IN BEDDING WHERE SUITABLE RECESSES HAVE BEEN PROVIDED TO ENSURE PIPES DO NOT BEAR ON THEIR SOCKETS.

- ALL STORMWATER DRAINAGE LINES UNDER PROPOSED BUILDING SLABS TO BE UPVC CLASS S8 GRADE PIPE.

- PIPES TO BE INSTALLED TO TYPE H51 SUPPORT IN ACCORDANCE WITH AS 3725 (2007) IN ALL CASES BACKFILL TRENCH WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL. COMPACTED IN 150mm LAYERS TO MINIMUM 95% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75).

- REFER TO AS/NZS 3725:2007 TABLE B1 FOR REQUIRED FILL DEPTHS ABOVE PIPE BARREL PRIOR TO USE OF COMPACTION MACHINERY OR TRAVERSING OF PIPES BY GENERAL SITE EQUIPMENT.

- WHERE CONSTRUCTION METHODS REQUIRE HIGHER CLASS PIPE, THE CONTRACTOR SHALL REFER TO AS 3725 (2007) TO DETERMINE THE APPROPRIATE PIPE CLASS. PROPOSED PIPE CLASS SHALL BE REVIEWED BY GDS PRIOR TO INSTALLATION.

- ALL INTERNAL WORKS WITHIN PROPERTY BOUNDARIES ARE TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.3:2015.

- PRECAST PITS MAY BE USED EXTERNAL TO THE BUILDING SUBJECT TO APPROVAL BY THE SUPERINTENDENT.

- ENLARGERS, CONNECTIONS AND JUNCTIONS TO BE PREFABRICATED FITTINGS WHERE PIPES ARE LESS THAN 300 DIA.

- WHERE SUBSOIL DRAINS PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS, UNSLOTTED uPVC CLASS S8 GRADE PIPE IS TO BE USED.

- CARE IS TO BE TAKEN WITH LEVELS OF STORMWATER LINES. GRADES SHOWN ARE NOT TO BE REDUCED WITHOUT APPROVAL.

- GRATES AND COVERS SHALL CONFORM TO AS 3996.

- ALL BOX CULVERTS SHALL BE STRUCTURALLY DESIGNED BY THE MANUFACTURER AND DELIVERED TO SITE AS FIT FOR PURPOSE.

- AT ALL TIMES DURING CONSTRUCTION OF STORMWATER PITS, ADEQUATE SAFETY PROCEDURES SHALL BE TAKEN TO ENSURE AGAINST THE POSSIBILITY OF PERSONNEL FALLING DOWN PITS.

- ALL EXISTING STORMWATER DRAINAGE LINES AND PITS THAT ARE TO REMAIN ARE TO BE INSPECTED AND CLEANED. DURING THIS PROCESS ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS REPAIR SHALL BE REPORTED TO THE SUPERINTENDENT/ENGINEER FOR FURTHER DIRECTIONS.

- SUBSOIL DRAINAGE LINES TO BE PLACED AS INDICATED ON DRAWINGS.

- A MINIMUM OF 3m OF SUBSOIL LINE SHALL BE LAID INTO UPSTREAM SIDE OF COUNCIL PITS.

- PROPOSED OSD TANK TO BE INSTALLED AS PER THE MANUFACTURERS DESIGN AND SPECIFICATIONS. REFER TO THE TECHNICAL MEMORANDUM PREPARED BY ATLAN STORMWATER DATED 8TH AUGUST 2023 FOR DETAILS REGARDING THE PROPOSED DESIGN OF THE OSD TANK.

FOR CONSTRUCTION

Rev.	Date	Revison Description	Drawn	Design	Appd.
3	18/10/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.
2	13/10/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.
1	15/08/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.

PREPARED BY:

**GROUP DEVELOPMENT SERVICES PTY LTD**  
 ABRN: 50 613 295 195  
 PO Box 498, Pennant Hills NSW 1715  
 Phone: +61 2 9960 1000  
 Email: info@gdsstand.com.au  
 www.gdsstand.com.au

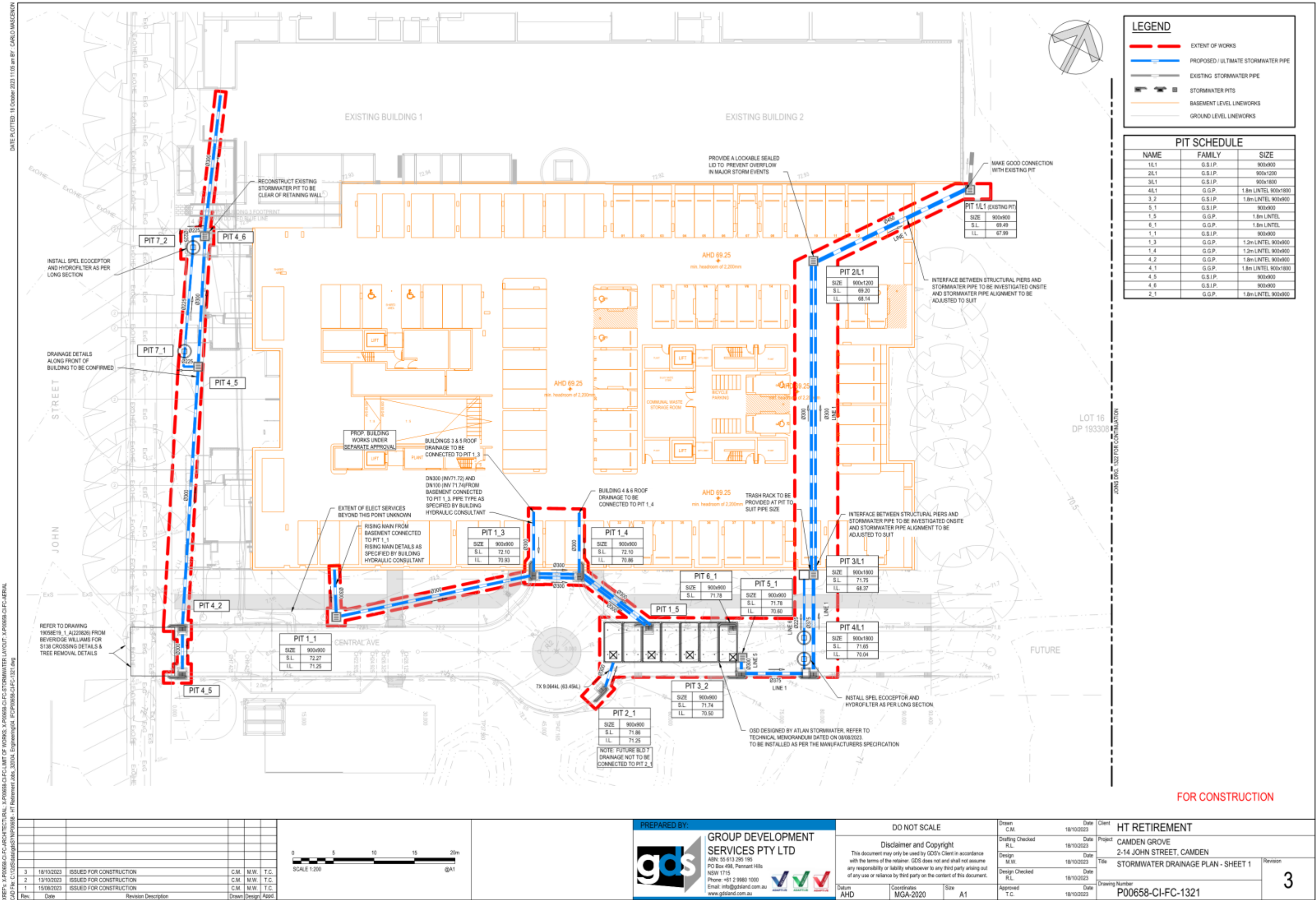
**DO NOT SCALE**

**Disclaimer and Copyright**  
 This document may only be used by GDS's Client in accordance with the terms of the retainer. GDS does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

Datum: AHD  
 Coordinates: MGA-2020  
 Size: A1

Drawn	Date	Client
C.M.	18/10/2023	HT RETIREMENT
Drafting Checked	Date	Project
R.L.	18/10/2023	CAMDEN GROVE
Design	Date	Title
M.W.	18/10/2023	2-14 JOHN STREET, CAMDEN
Design Checked	Date	Revision
R.L.	18/10/2023	GENERAL NOTES
Approved	Date	Drawing Number
T.C.	18/10/2023	P00658-CI-FC-1021

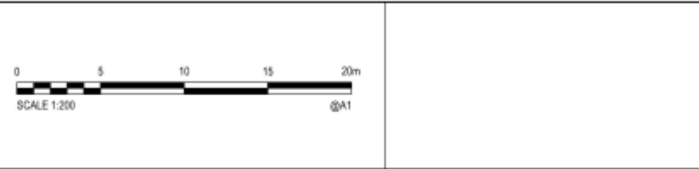
3



DATE PLOTTED: 18 October 2023 11:05 am BY: CARLO MASCENON

XREF: X:\P00658-CI-FC-ARCH\TECH\BUL\_X-P00658-CI-FC-LIMIT OF WORKS\_X-P00658-CI-FC-STORMWATER LAYOUT\_X-P00658-CI-FC-AERIAL  
 CAD File: C:\Users\carlosmascenon\Documents\Projects\HT Retirement\Drawings\HT Retirement.dwg - P00658-CI-FC-1321.dwg

Rev.	Date	Revison Description	Drawn	Design	Appd.
3	18/10/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.
2	13/10/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.
1	15/08/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.



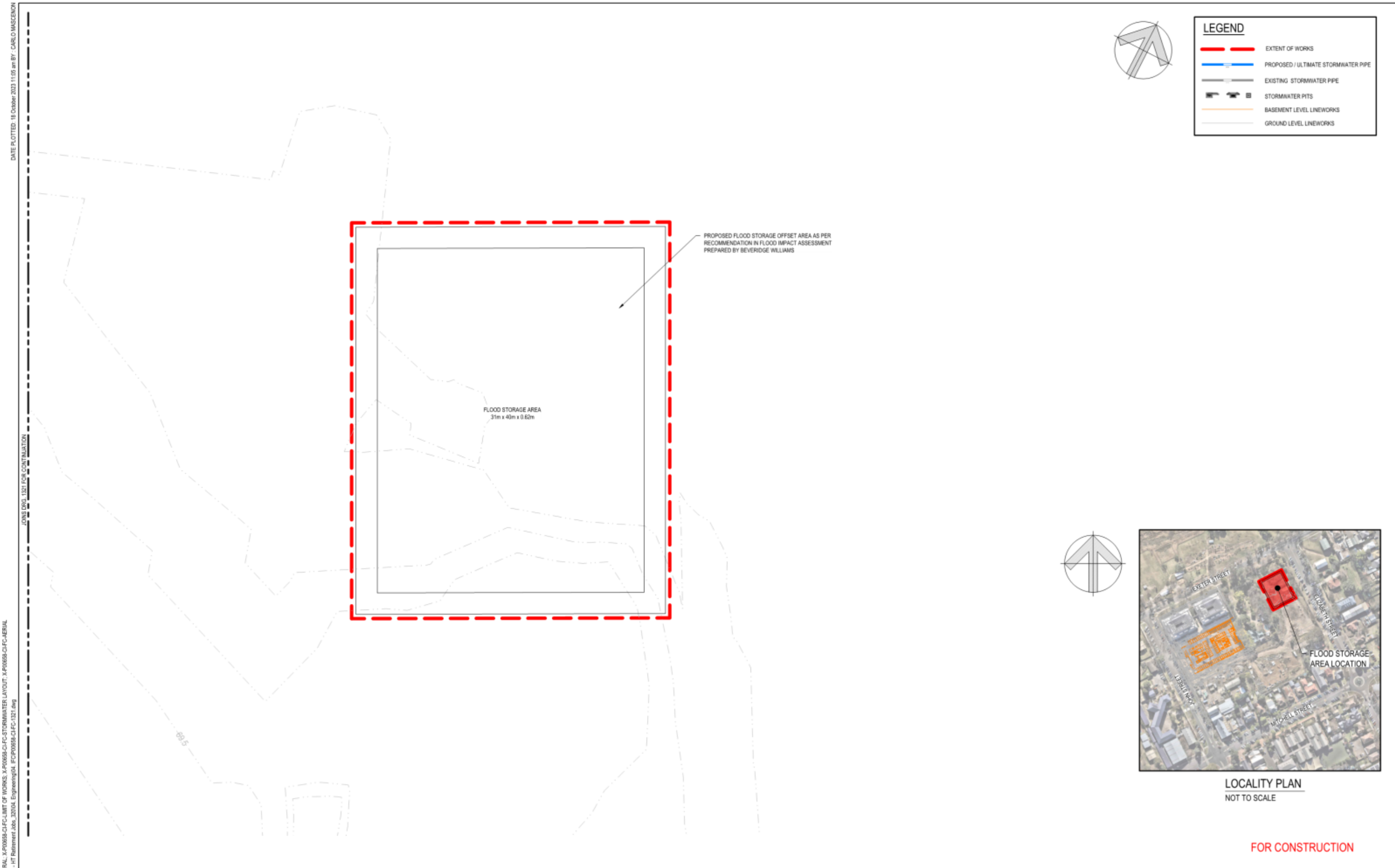
PREPARED BY:

**GROUP DEVELOPMENT SERVICES PTY LTD**  
 ABRN: 50 613 295 195  
 PO Box 498, Pennant Hills NSW 1715  
 Phone: +61 2 9860 1000  
 Email: info@gdsstand.com.au  
 www.gdsstand.com.au

**DO NOT SCALE**

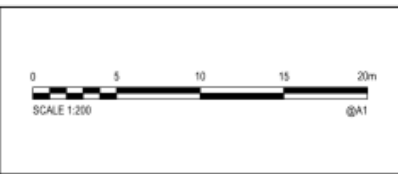
**Disclaimer and Copyright**  
 This document may only be used by GDS's Client in accordance with the terms of the retainer. GDS does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

Drawn	Date	Client
C.M.	18/10/2023	HT RETIREMENT
Drafting Checked	Date	Project
R.L.	18/10/2023	CAMDEN GROVE
Design	Date	Title
M.W.	18/10/2023	2-14 JOHN STREET, CAMDEN
Design Checked	Date	Revision
R.L.	18/10/2023	STORMWATER DRAINAGE PLAN - SHEET 1
Approved	Date	Drawing Number
T.C.	18/10/2023	P00658-CI-FC-1321



XREF: X:\P00658-CI-FC-ARCH\TECH\BUL\_X-P00658-CI-FC-LIMIT OF WORKS\_X-P00658-CI-FC-STORMWATER LAYOUT\_X-P00658-CI-FC-AERIAL CAD File: C:\2025\atlas\5\5\N\00658-HT Retirement.dwg, 320104\_Engineering\04\_EC\00658-CI-FC-1321.dwg

Rev.	Date	Revison Description	Drawn	Design	Appd.
2	18/10/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.
1	13/10/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.



PREPARED BY:

**GROUP DEVELOPMENT SERVICES PTY LTD**  
 ABN: 55 613 295 195  
 PO Box 498, Pennant Hills NSW 1715  
 Phone: +61 2 9660 1000  
 Email: info@gdsland.com.au  
 www.gdsland.com.au

**DO NOT SCALE**

**Disclaimer and Copyright**  
 This document may only be used by GDS's Client in accordance with the terms of the retainer. GDS does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

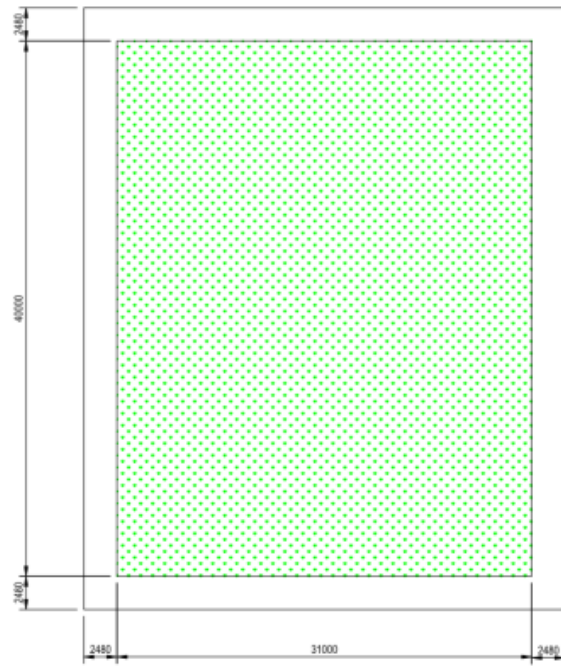
Datum: AHD  
 Coordinates: MGA-2020  
 Size: A1

Drawn	C.M.	Date	18/10/2023
Drafting Checked	R.L.	Date	18/10/2023
Design	M.W.	Date	18/10/2023
Design Checked	R.L.	Date	18/10/2023
Approved	T.C.	Date	18/10/2023

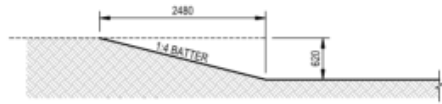
Client	HT RETIREMENT
Project	CAMDEN GROVE 2-14 JOHN STREET, CAMDEN
Title	STORMWATER DRAINAGE PLAN - SHEET 2
Drawing Number	P00658-CI-FC-1322

Revision  
**2**

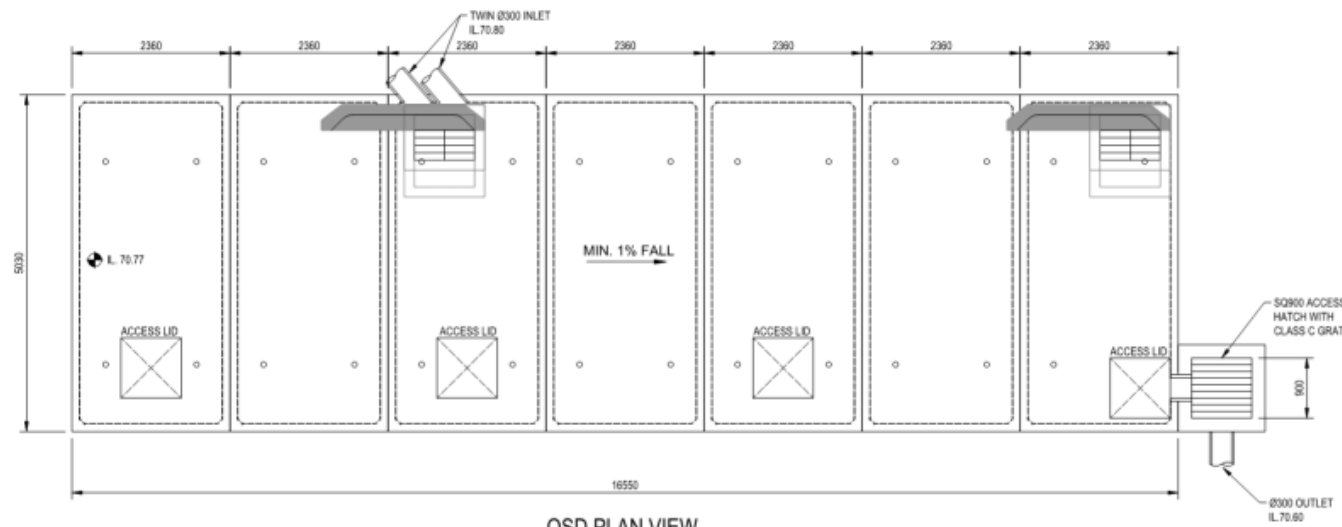
DATE PLOTTED: 18 October 2023 11:08 am BY: CARLO MASCENON



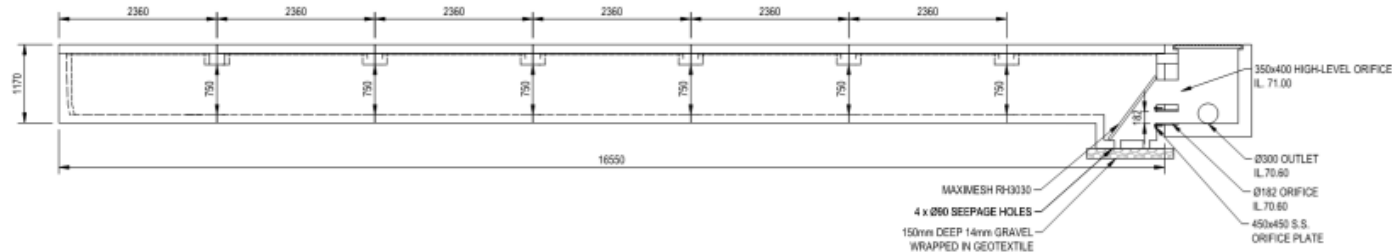
FLOOD STORAGE AREA PLAN VIEW  
SCALE 1: 250



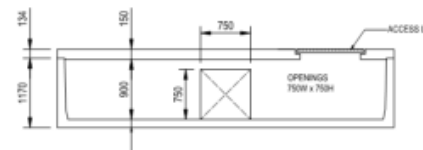
FLOOD STORAGE AREA BATTER DETAIL  
N.T.S.



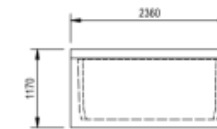
OSD PLAN VIEW  
SCALE 1: 50



LONGITUDINAL SECTION  
SCALE 1: 50



LONGITUDINAL SECTION  
SCALE 1: 50



SHORT WALL ELEVATION  
SCALE 1: 50

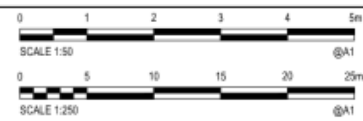
**NOTES**

- OSD TANK DESIGNED BY ATLAN STORMWATER REFER TO TECHNICAL MEMORANDUM AND ASSOCIATED DRAINS MODEL DATED ON 08/08/2023.
- CERTIFICATION OF THE OSD TANK DESIGN AND CONSTRUCTION TO BE PROVIDED BY ATLAN STORMWATER.
- DIMENSIONS AND SETOUT INFORMATION SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY AND ARE TO BE CONFIRMED WITH ATLAN STORMWATER AND THEIR APPROVED DESIGN.
- OSD TANK TO BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATION.

FOR CONSTRUCTION

XREF: CAD File: C:\2023\atlas\gds\5\N00658 - HT Retirement Jobs - HT Retirement Jobs - 2024 - Engineering\04 - ECP00658-CI-FC-1421.dwg

Rev.	Date	Revison Description	Drawn	Design	Appd.
3	18/10/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.
2	13/10/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.
1	15/08/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.



PREPARED BY:

**GROUP DEVELOPMENT SERVICES PTY LTD**  
 ABRN: 55 613 295 195  
 PO Box 498, Pennant Hills NSW 1715  
 Phone: +61 2 9660 1000  
 Email: info@gdsstand.com.au  
 www.gdsstand.com.au

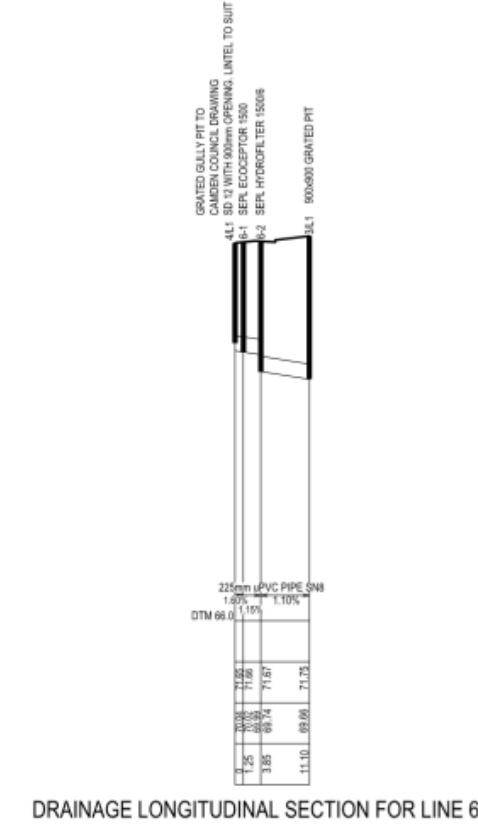
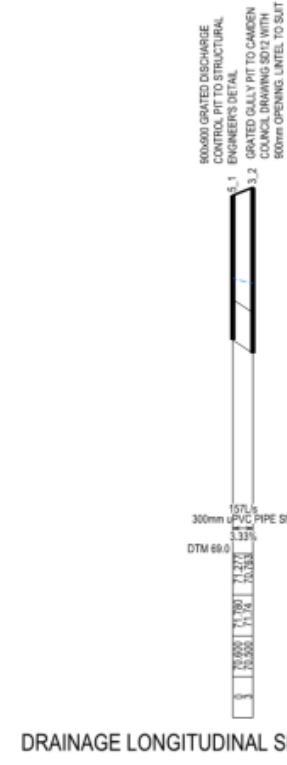
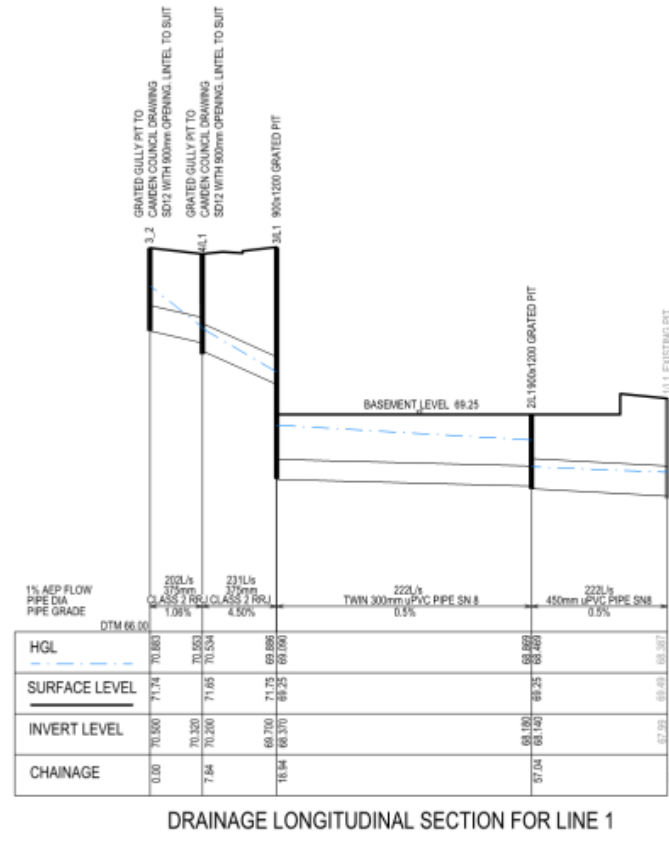
**DO NOT SCALE**

**Disclaimer and Copyright**  
 This document may only be used by GDS's Client in accordance with the terms of the retainer. GDS does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

Drawn	Date	Client
C.M.	18/10/2023	HT RETIREMENT
Drafting Checked	Date	Project
R.L.	18/10/2023	CAMDEN GROVE
Design	Date	Title
M.W.	18/10/2023	2-14 JOHN STREET, CAMDEN
Design Checked	Date	Revision
R.L.	18/10/2023	3
Approved	Date	Drawing Number
T.C.	18/10/2023	P00658-CI-FC-1421

DATE PLOTTED: 18 October 2023 11:08 am BY: CARLO MASCENON

XREF: X:\P00658-CI-FC-STORMWATER LONGITUDINAL SECTION  
CAD File: C:\2025\atlas\p00658-HT Retirement Jobs\_2024\Engineering\04\_ECP00658-CI-FC-141.dwg



FOR CONSTRUCTION

Rev.	Date	Revison Description	Drawn	Design	Appd.
3	18/10/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.
2	13/10/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.
1	15/08/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.



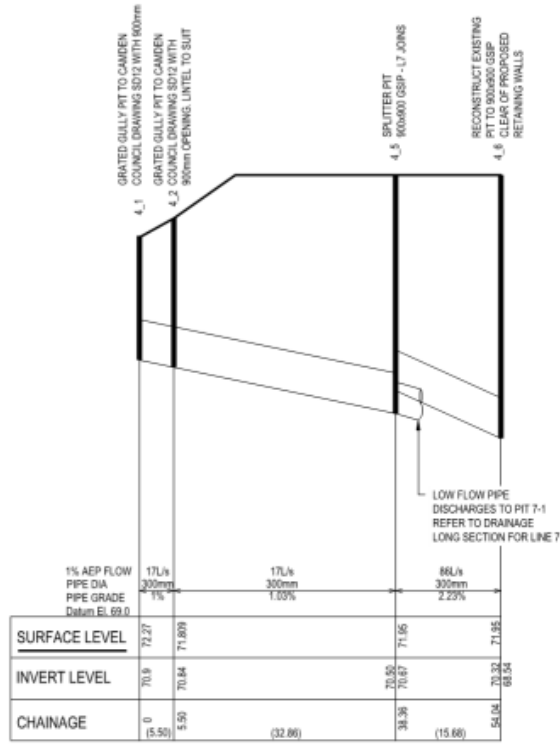
PREPARED BY:  
**GROUP DEVELOPMENT SERVICES PTY LTD**  
ABN: 55 613 295 195  
PO Box 698, Pennant Hills NSW 1715  
Phone: +61 2 9660 1000  
Email: info@gdsstand.com.au  
www.gdsstand.com.au

DO NOT SCALE  
Disclaimer and Copyright  
This document may only be used by GDS's Client in accordance with the terms of the retainer. GDS does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

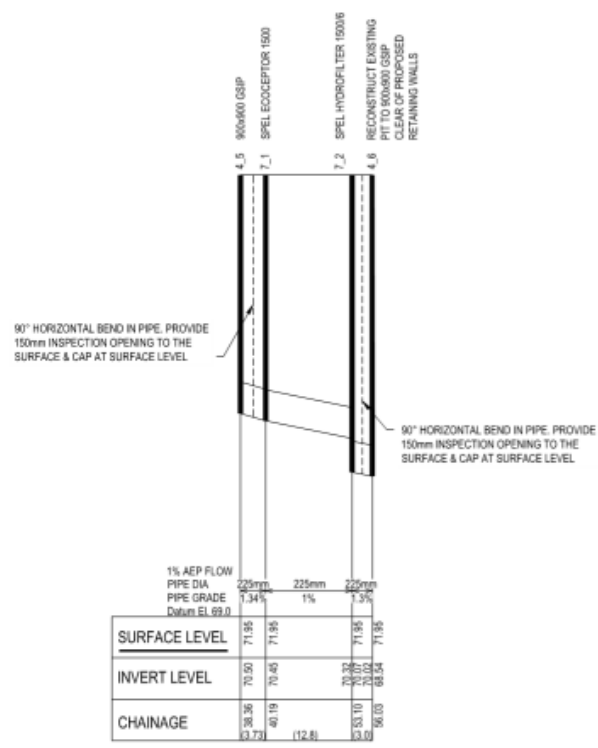
Drawn	Date	Client
C.M.	18/10/2023	HT RETIREMENT
Drafting Checked	Date	Project
R.L.	18/10/2023	CAMDEN GROVE
Design	Date	Title
M.W.	18/10/2023	2-14 JOHN STREET, CAMDEN
Design Checked	Date	Revision
R.L.	18/10/2023	3
Approved	Date	Drawing Number
T.C.	18/10/2023	P00658-CI-FC-1441

DATE PLOTTED: 18 October 2023 11:06 am BY: CARLO MASCENON

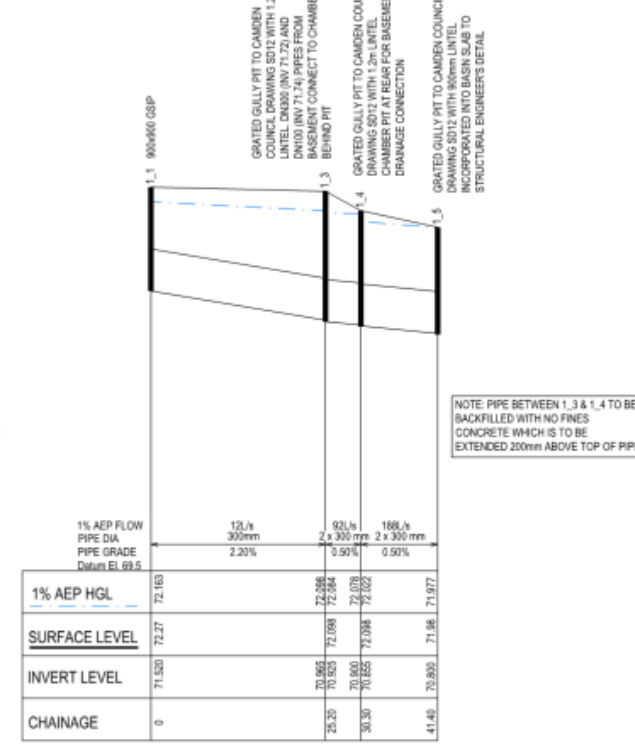
XREF: X:\P00658-CI-FC-STORMWATER LONGITUDINAL SECTION  
 CAD File: C:\Users\carlo\Documents\HT Retirement\Jobs\_2024\Engineering\04\_ECIP00658-CI-FC-1441.dwg



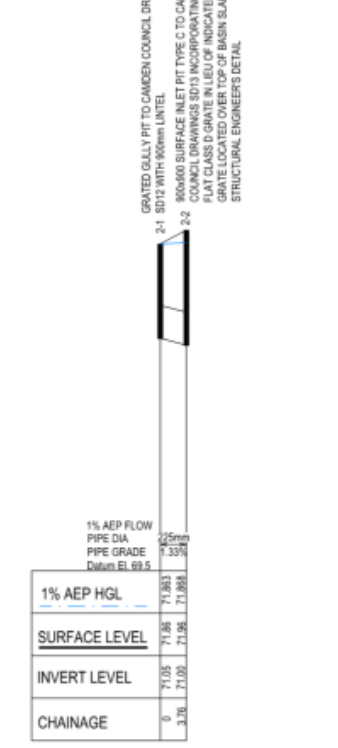
DRAINAGE LONGITUDINAL SECTION FOR LINE 4



DRAINAGE LONGITUDINAL SECTION FOR LINE 7



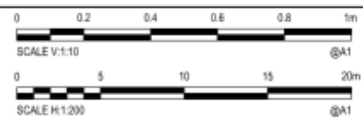
DRAINAGE LONGITUDINAL SECTION FOR LINE 1



DRAINAGE LONGITUDINAL SECTION FOR LINE 2

FOR CONSTRUCTION

Rev.	Date	Reviser Description	Drawn	Design	Appd.
2	18/10/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.
1	13/10/2023	ISSUED FOR CONSTRUCTION	C.M.	M.W.	T.C.



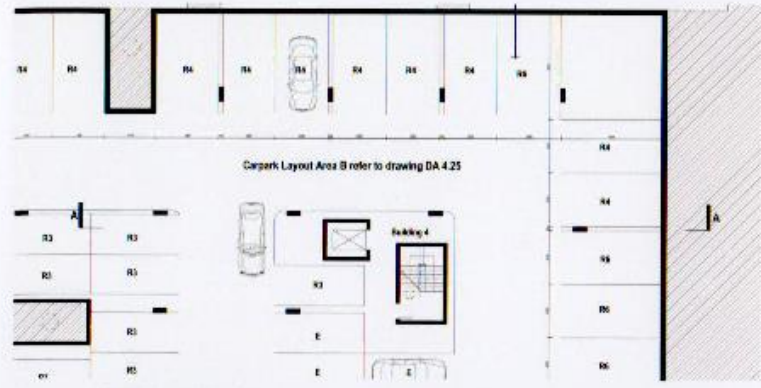
PREPARED BY:  
**GROUP DEVELOPMENT SERVICES PTY LTD**  
 ABN: 55 613 295 195  
 PO Box 698, Pennant Hills NSW 1715  
 Phone: +61 2 9660 1000  
 Email: info@gdsstand.com.au  
 www.gdsstand.com.au

**DO NOT SCALE**

**Disclaimer and Copyright**  
 This document may only be used by GDS's Client in accordance with the terms of the retainer. GDS does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

Drawn	Date	Client
C.M.	18/10/2023	HT RETIREMENT
Drafting Checked	Date	Project
R.L.	18/10/2023	CAMDEN GROVE
Design	Date	Title
M.W.	18/10/2023	2-14 JOHN STREET, CAMDEN
Design Checked	Date	Revision
R.L.	18/10/2023	STORMWATER LONGITUDINAL SECTIONS - SHEET 2
Approved	Date	Drawing Number
T.C.	18/10/2023	P00658-CI-FC-1441

2



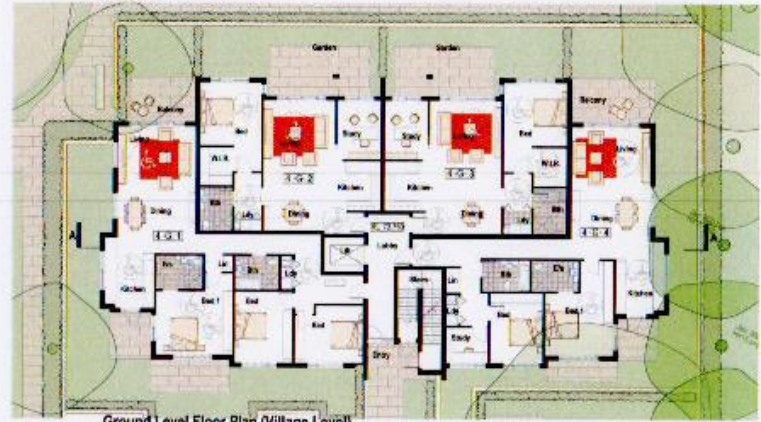
Lower Ground Floor Plan Scale 1:200



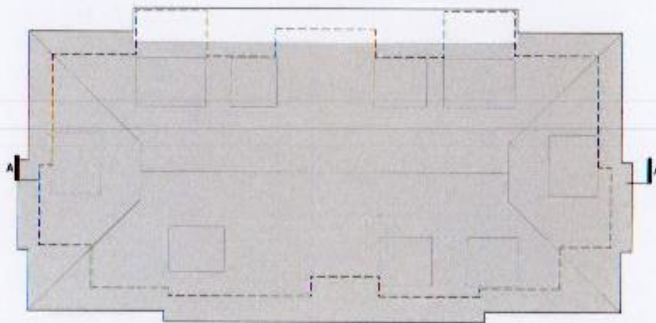
Loft Floor Plan Scale 1:200



North Elevation Scale 1:200



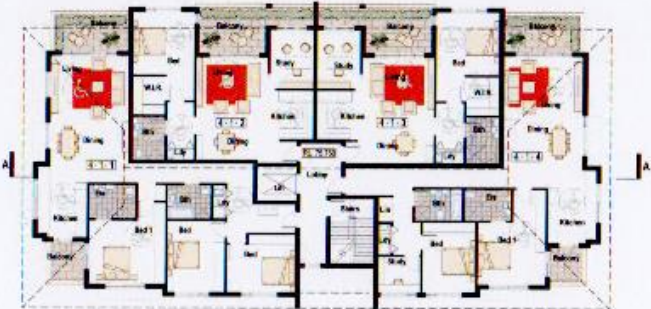
Ground Level Floor Plan (Village Level) Scale 1:200



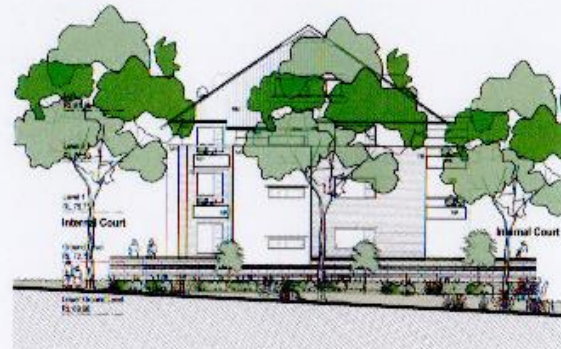
Roof Plan Scale 1:200



South Elevation Scale 1:200



Level 1 Floor Plan Scale 1:200



East Elevation Scale 1:200



West Elevation Scale 1:200

Carpark Legend		Quantity
01	Building 1 Commercial Car Bay	104
02	Building 2 Commercial Car Bay	104
03	Building 3 Commercial Car Bay	104
04	Building 4 Commercial Car Bay	104
05	Building 5 Commercial Car Bay	104
06	Building 6 Commercial Car Bay	104
07	Building 7 Commercial Car Bay	104
08	Building 8 Commercial Car Bay	104
09	Building 9 Commercial Car Bay	104
10	Building 10 Commercial Car Bay	104
11	Building 11 Commercial Car Bay	104
12	Building 12 Commercial Car Bay	104
13	Building 13 Commercial Car Bay	104
14	Building 14 Commercial Car Bay	104
15	Building 15 Commercial Car Bay	104
16	Building 16 Commercial Car Bay	104
17	Building 17 Commercial Car Bay	104
18	Building 18 Commercial Car Bay	104
19	Building 19 Commercial Car Bay	104
20	Building 20 Commercial Car Bay	104
21	Building 21 Commercial Car Bay	104
22	Building 22 Commercial Car Bay	104
23	Building 23 Commercial Car Bay	104
24	Building 24 Commercial Car Bay	104
25	Building 25 Commercial Car Bay	104
26	Building 26 Commercial Car Bay	104
27	Building 27 Commercial Car Bay	104
28	Building 28 Commercial Car Bay	104
29	Building 29 Commercial Car Bay	104
30	Building 30 Commercial Car Bay	104
31	Building 31 Commercial Car Bay	104
32	Building 32 Commercial Car Bay	104
33	Building 33 Commercial Car Bay	104
34	Building 34 Commercial Car Bay	104
35	Building 35 Commercial Car Bay	104
36	Building 36 Commercial Car Bay	104
37	Building 37 Commercial Car Bay	104
38	Building 38 Commercial Car Bay	104
39	Building 39 Commercial Car Bay	104
40	Building 40 Commercial Car Bay	104
41	Building 41 Commercial Car Bay	104
42	Building 42 Commercial Car Bay	104
43	Building 43 Commercial Car Bay	104
44	Building 44 Commercial Car Bay	104
45	Building 45 Commercial Car Bay	104
46	Building 46 Commercial Car Bay	104
47	Building 47 Commercial Car Bay	104
48	Building 48 Commercial Car Bay	104
49	Building 49 Commercial Car Bay	104
50	Building 50 Commercial Car Bay	104
51	Building 51 Commercial Car Bay	104
52	Building 52 Commercial Car Bay	104
53	Building 53 Commercial Car Bay	104
54	Building 54 Commercial Car Bay	104
55	Building 55 Commercial Car Bay	104
56	Building 56 Commercial Car Bay	104
57	Building 57 Commercial Car Bay	104
58	Building 58 Commercial Car Bay	104
59	Building 59 Commercial Car Bay	104
60	Building 60 Commercial Car Bay	104
61	Building 61 Commercial Car Bay	104
62	Building 62 Commercial Car Bay	104
63	Building 63 Commercial Car Bay	104
64	Building 64 Commercial Car Bay	104
65	Building 65 Commercial Car Bay	104
66	Building 66 Commercial Car Bay	104
67	Building 67 Commercial Car Bay	104
68	Building 68 Commercial Car Bay	104
69	Building 69 Commercial Car Bay	104
70	Building 70 Commercial Car Bay	104
71	Building 71 Commercial Car Bay	104
72	Building 72 Commercial Car Bay	104
73	Building 73 Commercial Car Bay	104
74	Building 74 Commercial Car Bay	104
75	Building 75 Commercial Car Bay	104
76	Building 76 Commercial Car Bay	104
77	Building 77 Commercial Car Bay	104
78	Building 78 Commercial Car Bay	104
79	Building 79 Commercial Car Bay	104
80	Building 80 Commercial Car Bay	104
81	Building 81 Commercial Car Bay	104
82	Building 82 Commercial Car Bay	104
83	Building 83 Commercial Car Bay	104
84	Building 84 Commercial Car Bay	104
85	Building 85 Commercial Car Bay	104
86	Building 86 Commercial Car Bay	104
87	Building 87 Commercial Car Bay	104
88	Building 88 Commercial Car Bay	104
89	Building 89 Commercial Car Bay	104
90	Building 90 Commercial Car Bay	104
91	Building 91 Commercial Car Bay	104
92	Building 92 Commercial Car Bay	104
93	Building 93 Commercial Car Bay	104
94	Building 94 Commercial Car Bay	104
95	Building 95 Commercial Car Bay	104
96	Building 96 Commercial Car Bay	104
97	Building 97 Commercial Car Bay	104
98	Building 98 Commercial Car Bay	104
99	Building 99 Commercial Car Bay	104
100	Building 100 Commercial Car Bay	104
101	Building 101 Commercial Car Bay	104
102	Building 102 Commercial Car Bay	104
103	Building 103 Commercial Car Bay	104
104	Building 104 Commercial Car Bay	104
105	Building 105 Commercial Car Bay	104
106	Building 106 Commercial Car Bay	104
107	Building 107 Commercial Car Bay	104
108	Building 108 Commercial Car Bay	104
109	Building 109 Commercial Car Bay	104
110	Building 110 Commercial Car Bay	104
111	Building 111 Commercial Car Bay	104
112	Building 112 Commercial Car Bay	104
113	Building 113 Commercial Car Bay	104
114	Building 114 Commercial Car Bay	104
115	Building 115 Commercial Car Bay	104
116	Building 116 Commercial Car Bay	104
117	Building 117 Commercial Car Bay	104
118	Building 118 Commercial Car Bay	104
119	Building 119 Commercial Car Bay	104
120	Building 120 Commercial Car Bay	104
121	Building 121 Commercial Car Bay	104
122	Building 122 Commercial Car Bay	104
123	Building 123 Commercial Car Bay	104
124	Building 124 Commercial Car Bay	104
125	Building 125 Commercial Car Bay	104
126	Building 126 Commercial Car Bay	104
127	Building 127 Commercial Car Bay	104
128	Building 128 Commercial Car Bay	104
129	Building 129 Commercial Car Bay	104
130	Building 130 Commercial Car Bay	104
131	Building 131 Commercial Car Bay	104
132	Building 132 Commercial Car Bay	104
133	Building 133 Commercial Car Bay	104
134	Building 134 Commercial Car Bay	104
135	Building 135 Commercial Car Bay	104
136	Building 136 Commercial Car Bay	104
137	Building 137 Commercial Car Bay	104
138	Building 138 Commercial Car Bay	104
139	Building 139 Commercial Car Bay	104
140	Building 140 Commercial Car Bay	104
141	Building 141 Commercial Car Bay	104
142	Building 142 Commercial Car Bay	104
143	Building 143 Commercial Car Bay	104
144	Building 144 Commercial Car Bay	104
145	Building 145 Commercial Car Bay	104
146	Building 146 Commercial Car Bay	104
147	Building 147 Commercial Car Bay	104
148	Building 148 Commercial Car Bay	104
149	Building 149 Commercial Car Bay	104
150	Building 150 Commercial Car Bay	104
151	Building 151 Commercial Car Bay	104
152	Building 152 Commercial Car Bay	104
153	Building 153 Commercial Car Bay	104
154	Building 154 Commercial Car Bay	104
155	Building 155 Commercial Car Bay	104
156	Building 156 Commercial Car Bay	104
157	Building 157 Commercial Car Bay	104
158	Building 158 Commercial Car Bay	104
159	Building 159 Commercial Car Bay	104
160	Building 160 Commercial Car Bay	104
161	Building 161 Commercial Car Bay	104
162	Building 162 Commercial Car Bay	104
163	Building 163 Commercial Car Bay	104
164	Building 164 Commercial Car Bay	104
165	Building 165 Commercial Car Bay	104
166	Building 166 Commercial Car Bay	104
167	Building 167 Commercial Car Bay	104
168	Building 168 Commercial Car Bay	104
169	Building 169 Commercial Car Bay	104
170	Building 170 Commercial Car Bay	104
171	Building 171 Commercial Car Bay	104
172	Building 172 Commercial Car Bay	104
173	Building 173 Commercial Car Bay	104
174	Building 174 Commercial Car Bay	104
175	Building 175 Commercial Car Bay	104
176	Building 176 Commercial Car Bay	104
177	Building 177 Commercial Car Bay	104
178	Building 178 Commercial Car Bay	104
179	Building 179 Commercial Car Bay	104
180	Building 180 Commercial Car Bay	104
181	Building 181 Commercial Car Bay	104
182	Building 182 Commercial Car Bay	104
183	Building 183 Commercial Car Bay	104
184	Building 184 Commercial Car Bay	104
185	Building 185 Commercial Car Bay	104
186	Building 186 Commercial Car Bay	104
187	Building 187 Commercial Car Bay	104
188	Building 188 Commercial Car Bay	104
189	Building 189 Commercial Car Bay	104
190	Building 190 Commercial Car Bay	104
191	Building 191 Commercial Car Bay	104
192	Building 192 Commercial Car Bay	104
193	Building 193 Commercial Car Bay	104
194	Building 194 Commercial Car Bay	104
195	Building 195 Commercial Car Bay	104
196	Building 196 Commercial Car Bay	104
197	Building 197 Commercial Car Bay	104
198	Building 198 Commercial Car Bay	104
199	Building 199 Commercial Car Bay	104
200	Building 200 Commercial Car Bay	104

Materials & Abbreviations	
AS	Asphalt
BS	Brickwork
CS	Concrete
DS	Dark Stone
ES	External Wall
FS	Fabric Wall
GS	Gravel
HS	Hardwood
IS	Internal Wall
JS	Joint
KS	Keystone
LS	Light Stone
MS	Masonry
NS	Natural Stone
OS	Other Stone
PS	Paving Stone
QS	Quarry Stone
RS	Roof Stone
SS	Smooth Stone
TS	Timber
US	Unfinished Stone
VS	Vertical Stone
WS	Worked Stone
XS	External Stone
YS	Internal Stone
ZS	Zirconium Stone
AS	Asphalt
BS	Brickwork
CS	Concrete
DS	Dark Stone
ES	External Wall
FS	Fabric Wall
GS	Gravel
HS	Hardwood
IS	Internal Wall
JS	Joint
KS	Keystone
LS	Light Stone
MS	Masonry
NS	Natural Stone
OS	Other Stone
PS	Paving Stone
QS	Quarry Stone
RS	Roof Stone
SS	Smooth Stone
TS	Timber
US	Unfinished Stone
VS	Vertical Stone
WS	Worked Stone
XS	External Stone
YS	Internal Stone
ZS	Zirconium Stone

CAMDEN COUNCIL  
Approved by the Council of Camden under the provisions  
of the Environment Planning and Assessment Act 1979  
**APPROVAL**  
08 SEP 2009  
DEVELOPMENT APPLICATION  
DA614/08  
Per: [Signature]

FILE COPY



Building Reference Plan

Colour Scheme : CS4  
(Refer Submitted colour Boards)



Level 2 Floor Plan Scale 1:200



Section D Scale 1:200

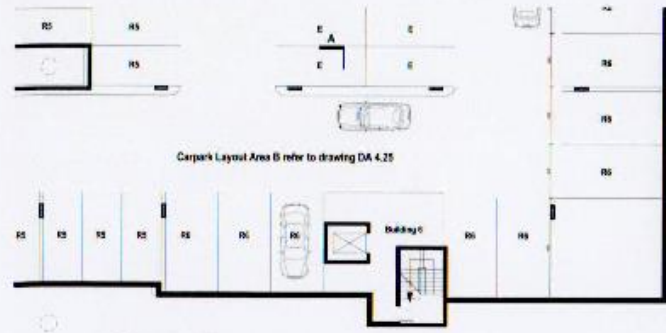


Building 4 - Plans, Elevs + Section  
08/2009  
DA 4.6 D



CAMDEN HIGH SCHOOL REDEVELOPMENT





Lower Ground Floor Plan Scale 1:200



Ground Level Floor Plan (Village Level) Scale 1:200



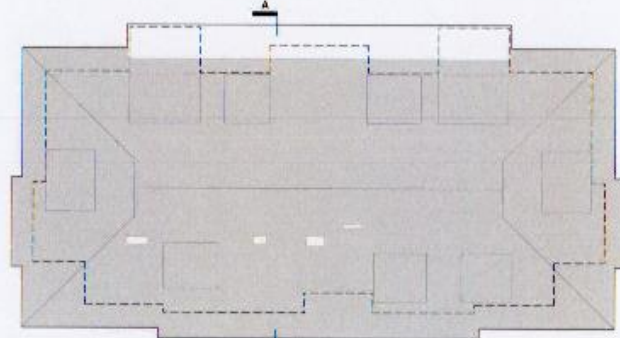
Level 1 Floor Plan Scale 1:200



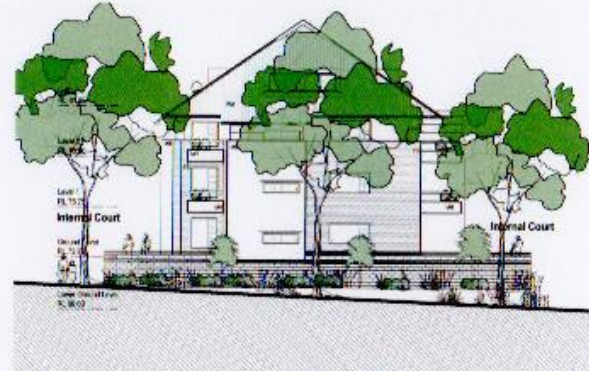
Level 2 Floor Plan Scale 1:200



Loft Floor Plan Scale 1:200



Roof Plan Scale 1:200



East Elevation Scale 1:200



Section A Scale 1:200



North Elevation Scale 1:200



South Elevation Scale 1:200



West Elevation Scale 1:200

Carpark Legend	Quantity	
C1	Building 1 Commercial Car Bay	100
C2	Building 2 Commercial Car Bay	100
C3	Building 3 Commercial Car Bay	100
C4	Building 4 Commercial Car Bay	100
C5	Building 5 Commercial Car Bay	100
C6	Building 6 Commercial Car Bay	100
C7	Building 7 Commercial Car Bay	100
C8	Building 8 Commercial Car Bay	100
C9	Building 9 Commercial Car Bay	100
C10	Building 10 Commercial Car Bay	100
C11	Building 11 Commercial Car Bay	100
C12	Building 12 Commercial Car Bay	100
C13	Building 13 Commercial Car Bay	100
C14	Building 14 Commercial Car Bay	100
C15	Building 15 Commercial Car Bay	100
C16	Building 16 Commercial Car Bay	100
C17	Building 17 Commercial Car Bay	100
C18	Building 18 Commercial Car Bay	100
C19	Building 19 Commercial Car Bay	100
C20	Building 20 Commercial Car Bay	100
C21	Building 21 Commercial Car Bay	100
C22	Building 22 Commercial Car Bay	100
C23	Building 23 Commercial Car Bay	100
C24	Building 24 Commercial Car Bay	100
C25	Building 25 Commercial Car Bay	100
C26	Building 26 Commercial Car Bay	100
C27	Building 27 Commercial Car Bay	100
C28	Building 28 Commercial Car Bay	100
C29	Building 29 Commercial Car Bay	100
C30	Building 30 Commercial Car Bay	100
C31	Building 31 Commercial Car Bay	100
C32	Building 32 Commercial Car Bay	100
C33	Building 33 Commercial Car Bay	100
C34	Building 34 Commercial Car Bay	100
C35	Building 35 Commercial Car Bay	100
C36	Building 36 Commercial Car Bay	100
C37	Building 37 Commercial Car Bay	100
C38	Building 38 Commercial Car Bay	100
C39	Building 39 Commercial Car Bay	100
C40	Building 40 Commercial Car Bay	100
C41	Building 41 Commercial Car Bay	100
C42	Building 42 Commercial Car Bay	100
C43	Building 43 Commercial Car Bay	100
C44	Building 44 Commercial Car Bay	100
C45	Building 45 Commercial Car Bay	100
C46	Building 46 Commercial Car Bay	100
C47	Building 47 Commercial Car Bay	100
C48	Building 48 Commercial Car Bay	100
C49	Building 49 Commercial Car Bay	100
C50	Building 50 Commercial Car Bay	100
C51	Building 51 Commercial Car Bay	100
C52	Building 52 Commercial Car Bay	100
C53	Building 53 Commercial Car Bay	100
C54	Building 54 Commercial Car Bay	100
C55	Building 55 Commercial Car Bay	100
C56	Building 56 Commercial Car Bay	100
C57	Building 57 Commercial Car Bay	100
C58	Building 58 Commercial Car Bay	100
C59	Building 59 Commercial Car Bay	100
C60	Building 60 Commercial Car Bay	100
C61	Building 61 Commercial Car Bay	100
C62	Building 62 Commercial Car Bay	100
C63	Building 63 Commercial Car Bay	100
C64	Building 64 Commercial Car Bay	100
C65	Building 65 Commercial Car Bay	100
C66	Building 66 Commercial Car Bay	100
C67	Building 67 Commercial Car Bay	100
C68	Building 68 Commercial Car Bay	100
C69	Building 69 Commercial Car Bay	100
C70	Building 70 Commercial Car Bay	100
C71	Building 71 Commercial Car Bay	100
C72	Building 72 Commercial Car Bay	100
C73	Building 73 Commercial Car Bay	100
C74	Building 74 Commercial Car Bay	100
C75	Building 75 Commercial Car Bay	100
C76	Building 76 Commercial Car Bay	100
C77	Building 77 Commercial Car Bay	100
C78	Building 78 Commercial Car Bay	100
C79	Building 79 Commercial Car Bay	100
C80	Building 80 Commercial Car Bay	100
C81	Building 81 Commercial Car Bay	100
C82	Building 82 Commercial Car Bay	100
C83	Building 83 Commercial Car Bay	100
C84	Building 84 Commercial Car Bay	100
C85	Building 85 Commercial Car Bay	100
C86	Building 86 Commercial Car Bay	100
C87	Building 87 Commercial Car Bay	100
C88	Building 88 Commercial Car Bay	100
C89	Building 89 Commercial Car Bay	100
C90	Building 90 Commercial Car Bay	100
C91	Building 91 Commercial Car Bay	100
C92	Building 92 Commercial Car Bay	100
C93	Building 93 Commercial Car Bay	100
C94	Building 94 Commercial Car Bay	100
C95	Building 95 Commercial Car Bay	100
C96	Building 96 Commercial Car Bay	100
C97	Building 97 Commercial Car Bay	100
C98	Building 98 Commercial Car Bay	100
C99	Building 99 Commercial Car Bay	100
C100	Building 100 Commercial Car Bay	100

Materials & Abbreviations	
AS	Asphalt
BS	Brickwork
CC	Concrete
CD	Concrete Deck
CS	Clay Tiles
CP	Concrete Path
CPA	Concrete Path Area
CPB	Concrete Path Boundary
CT	Car Tiles
CS	Concrete Slab
CSB	Concrete Slab Boundary
CSL	Concrete Slab Ledge
CSM	Concrete Slab Mould
CSO	Concrete Slab Opening
CSR	Concrete Slab Reinforcement
CSV	Concrete Slab Vent
CSW	Concrete Slab Wall
CSX	Concrete Slab Extension
CSY	Concrete Slab Yoke
CSZ	Concrete Slab Zone
CSAA	Concrete Slab Area
CSAB	Concrete Slab Area Boundary
CSAC	Concrete Slab Area Centre
CSAD	Concrete Slab Area Detail
CSAE	Concrete Slab Area Edge
CSAF	Concrete Slab Area Finish
CSAG	Concrete Slab Area Grid
CSAH	Concrete Slab Area Height
CSAI	Concrete Slab Area Identification
CSAJ	Concrete Slab Area Information
CSAK	Concrete Slab Area Inspection
CSAL	Concrete Slab Area Location
CSAM	Concrete Slab Area Material
CSAN	Concrete Slab Area Name
CSAO	Concrete Slab Area Note
CSAP	Concrete Slab Area Plan
CSAQ	Concrete Slab Area Quantity
CSAR	Concrete Slab Area Reference
CSAS	Concrete Slab Area Schedule
CSAT	Concrete Slab Area Specification
CSAU	Concrete Slab Area Survey
CSAV	Concrete Slab Area Valuation
CSAW	Concrete Slab Area Wall
CSAX	Concrete Slab Area X-ray
CSAY	Concrete Slab Area Y-axis
CSAZ	Concrete Slab Area Z-axis

**CAMDEN COUNCIL**  
 Approved by the Council of Camden under the provisions  
 of the Environment Planning and Assessment Act 1979  
**APPROVAL**  
 08 SEP 2009  
 DEVELOPMENT APPLICATION  
 DA 4.8 D  
 Per: [Signature]

**FILE COPY**

Building Reference Plan

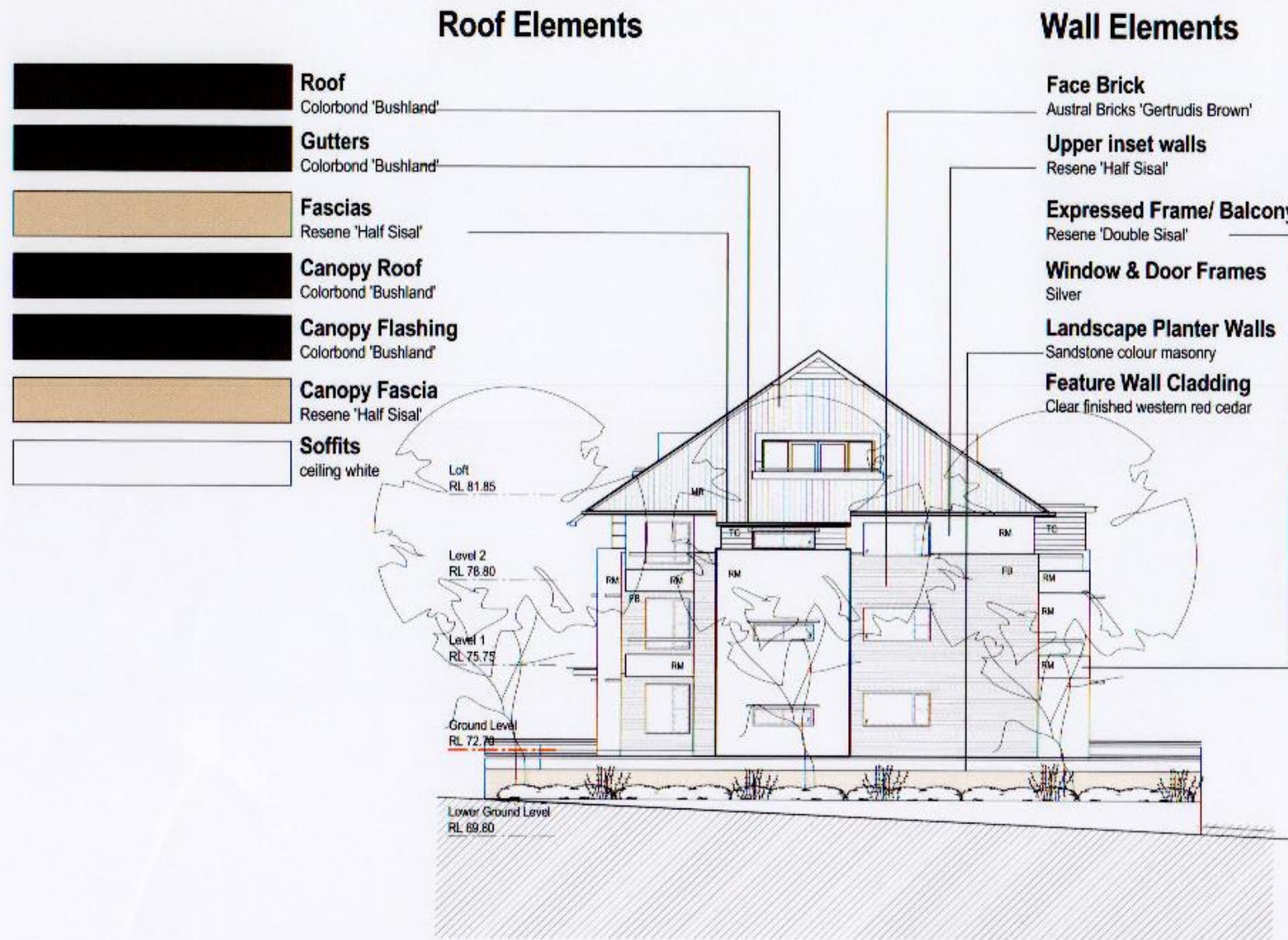
Colour Scheme : CS6  
 (Refer Submitted colour Boards)



Building 6 - Plans, Elevs + Sec  
 DA 4.8 D



# Colours & Finishes Scheme 4 Buildings 4, 9 & 14



Legend	
AS	Aluminum highlight horizontal louvre screen on light steel outrigger frame
CC	Concrete crosscourse
CF	Concrete floor
CG	Clear glass
CP	Concrete paving
CPA	Concrete path
CPT	Carpet
CT	Ceramic tile
DP	Downpipe
FB	Face brick
FC	Fibre cement sheet painted
FG	Foam glass
GD	Garage Door
HWS	Hot Water System
MB	Mail Box
MG	Metal Gable
MP	Metal Panel
MR	Metal roof Colorbond
PW	Weatherboard Painted
RB	Roller barge
RM	Rendered masonry painted
SL	Skylight
SS1	Sunscreen type 1
SS2	Sunscreen type 2
SS3	Sunscreen type 3
SS4	Sunscreen type 4
SWP	Siding wall panels
TB	Timber battens painted
TG	Translucent glass
TL	Timber louvers
TP1	Timber pergola with timber slat soffits
TP2	Timber pergola with polycarb sheeting
TP3	Timber pergola
WA	Alum window
WT	Timber window

FILE COPY



Buildings 4 East Elevation

## Trim Elements

- Balcony Posts**: Resene 'Sisal'
- Dorma Surrounds**: Resene 'Sisal'
- Colonnade Awnings**: NA
- Entry Canopies**: Sisal, Silver, Glass



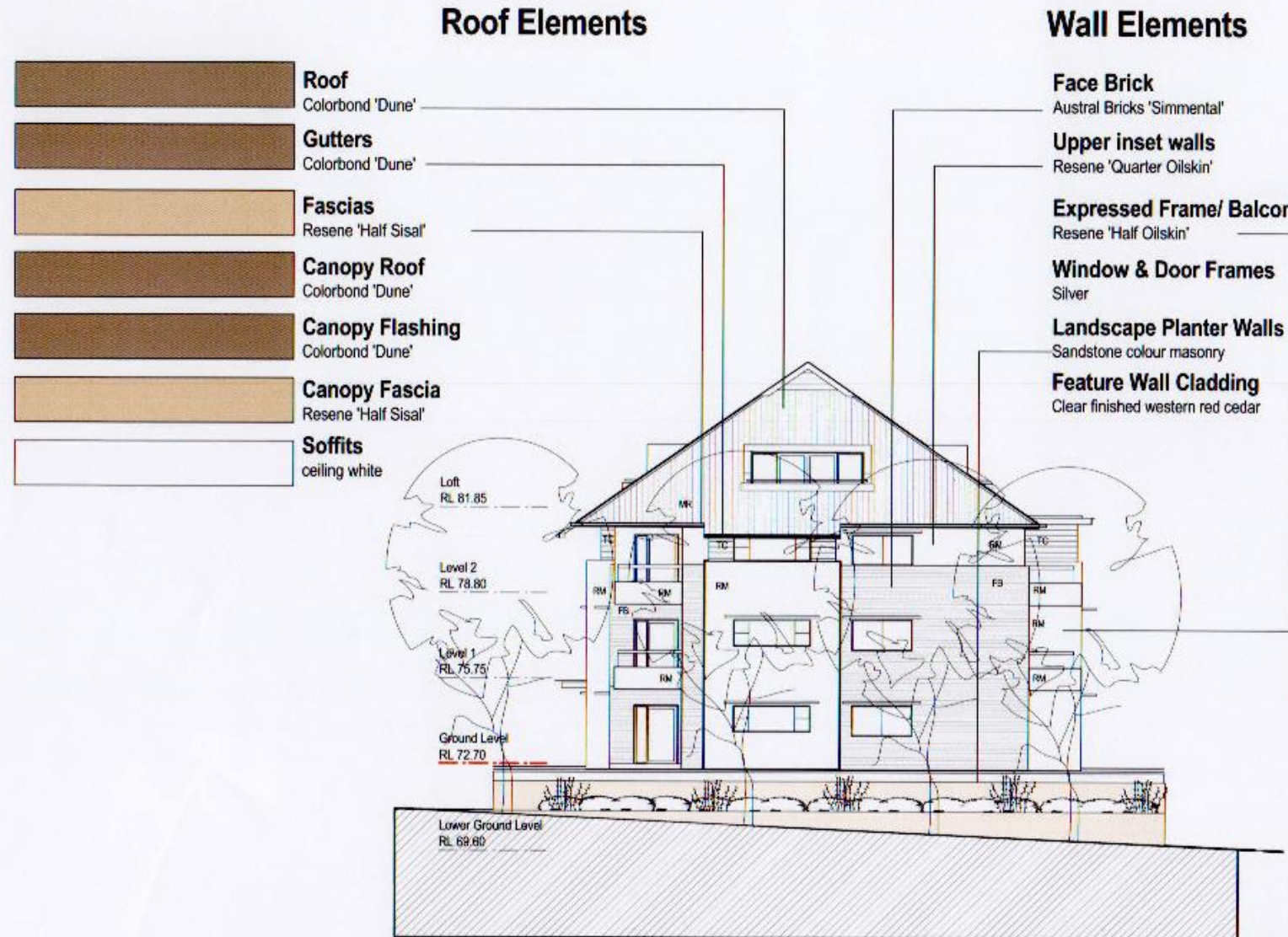
revision C Date Aug 08 revision notes Issued for DA  
 dwg Colours & Finishes Scheme 4 Buildings 4, 9 & 14  
 printed August 2008 drawing # DA 5.4  
 drawn MH NA scale @ A3 1:200 revision C



CAMDEN HIGH SCHOOL REDEVELOPMENT



# Colours & Finishes Scheme 6 Buildings 6 & 8



- Roof**  
Colorbond 'Dune'
- Gutters**  
Colorbond 'Dune'
- Fascias**  
Resene 'Half Sisal'
- Canopy Roof**  
Colorbond 'Dune'
- Canopy Flashing**  
Colorbond 'Dune'
- Canopy Fascia**  
Resene 'Half Sisal'
- Soffits**  
ceiling white

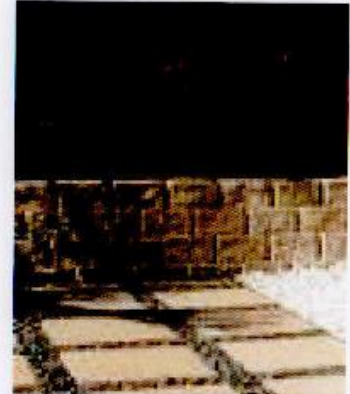
- Face Brick**  
Austral Bricks 'Simmental'
- Upper inset walls**  
Resene 'Quarter Oilskin'
- Expressed Frame/ Balcony Frames**  
Resene 'Half Oilskin'
- Window & Door Frames**  
Silver
- Landscape Planter Walls**  
Sandstone colour masonry
- Feature Wall Cladding**  
Clear finished western red cedar

Legend	
AS	Aluminium highlight horizontal louvre screen on light steel outigger frame
CC	Concrete crossover
CF	Concrete floor
CG	Clear glass
CP	Concrete paving
CPA	Concrete path
CPT	Carpet
CT	Ceramic tile
DP	Downpipe
FB	Face brick
FC	Fibre-cement sheet-canted
FG	Fixed glass
GD	Garage Door
HWS	Hot Water System
MB	Mail Box
MG	Metal Grille
MP	Metal Panel
MR	Metal roof-colorbond
PW	Weatherboard-board-Painted
RB	Rendered masonry-painted
RM	Rendered masonry-painted
SL	Skylight
SS1	Sunscreen type 1
SS2	Sunscreen type 2
SS3	Sunscreen type 3
SS4	Sunscreen type 4
SWP	Sliding wall panels
TB	Timber balustrade-painted
TG	Translucent glass
TL	Timber louvre
TP1	Timber pergola with timber balustrade
TP2	Timber pergola with polycarb sheeting
TP3	Timber pergola
WA	Alum window
WT	Timber window

Buildings 6 East Elevation

- Trim Elements**
- Balcony Posts**  
Resene 'Half Sisal'
- Dorma Surrounds**  
Resene 'Half Tea'
- Colonnade Awnings**  
Half Parchment, Silver Glass
- Entry Canopies**  
Half Parchment, Silver, Glass

FILE COPY




CAMDEN HIGH SCHOOL REDEVELOPMENT

revision C	date Aug 08	revision notes Issued for DA	by
dwg	Colours & Finishes Scheme 6 Buildings 6 & 8		
printed August 2008	drawing # DA 5.6	revision C	
drawn MH	scale @ A3 1:200		
scale @ A1			



 70 Central Ave,  
Oran Park NSW 2570

 [mail@camden.nsw.gov.au](mailto:mail@camden.nsw.gov.au)

 PO Box 183, Camden 2570

 [camden.nsw.gov.au](http://camden.nsw.gov.au)

 13 CAMDEN (13 226336)

 [www.facebook.com/camden council](http://www.facebook.com/camden council)

 ABN: 31 117 341 764



camden  
council