

Business Paper

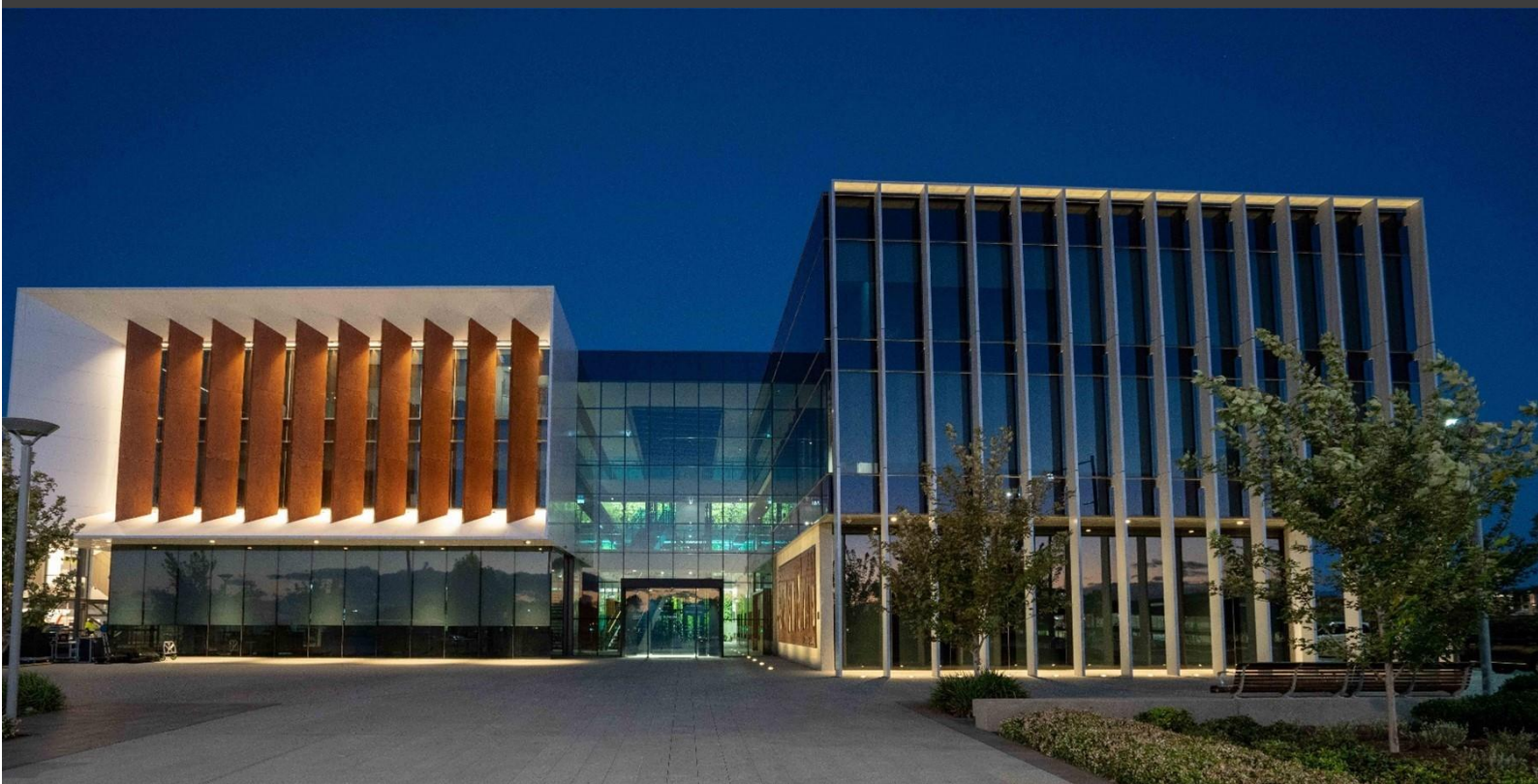
Camden Local Planning Panel

Camden Council

Administration Centre

70 Central Avenue, Oran Park

17 October 2023



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SUBJECT: ACKNOWLEDGEMENT OF COUNTRY

I would like to acknowledge that this meeting is being held on the Traditional Lands and Waterways of the Dharawal people and also recognise surrounding Dharug, and Gundungurra people and pay our respect to Elders past, present, and those emerging.

SUBJECT: RECORDING OF LOCAL PLANNING PANEL MEETINGS

In accordance with Camden's Local Planning Panel Operational Procedures, this meeting is being audio recorded by Council staff for publication on Council's website.

No other recording by a video camera, still camera or any other electronic device capable of recording speech, moving images or still images is permitted without the prior approval of the panel.

SUBJECT: DECLARATION OF INTEREST

This section provides an opportunity for Panel Members to disclose any interest that they may have relating to a Report contained in this Agenda.

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SUBJECT: DA/2023/116/1 - CONSTRUCTION AND USE OF BUILDING AS A PUB (LICENSED PREMISES) INCLUDING ASSOCIATED CAR PARKING, SIGNAGE AND LANDSCAPING - 2 BRUNSDON ROAD, COBBITTY

FROM: Manager Statutory Planning

EDMS #: 23/359996

DA Number:	2023/116/1.
Development:	Construction and use of building as a pub (Licensed Premises) including associated car parking, signage and landscaping.
Estimated Cost of Development:	\$22,385,000.
Site Address(es):	2 Brunsdon Road, Cobbitty.
Applicant:	Mr A Richardson.
Owner(s):	Cobbitty 1102 Holdings Pty Ltd.
Number of Submissions:	Nil.
Development Standard Contravention(s):	Nil.
Classification:	Local.
Recommendation:	Approve with conditions.
Panel Referral Criteria:	Development for the purpose of a new licensed premises.
Report Prepared By:	Lachlan Hutton (Senior Town Planner).

PURPOSE OF REPORT

The purpose of this report is to seek the Camden Local Planning Panel's (the Panel's) determination of a development application (DA) for the construction and use of a building as a pub at 2 Brunsdon Road, Cobbitty.

The Panel is to exercise Council's consent authority functions for this DA as, pursuant to the Minister for Planning's Section 9.1 Direction, the development is for the purpose of a new licensed premises requiring a hotel (general bar) licence under the Liquor Act 2007.

SUMMARY OF RECOMMENDATION

That, the Panel determine DA/2023/116/1 for the construction and use of building as a pub at 2 Brunsdon Road, Cobbitty pursuant to Section 4.16(1)(a) of the *Environmental Planning and Assessment Act, 1979*, by granting consent subject to the conditions attached to this report.

EXECUTIVE SUMMARY

Council is in receipt of a DA for the construction and use of a building as a pub, including associated car parking, signage and landscaping at 2 Brunson Road, Cobbitty.

The DA has been assessed against the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2021*, relevant environmental planning instruments, development control plans and policies.

The site, which is located on the corner of The Northern Road and Brunson Road, is commonly known as 2 Brunson Road, Cobbitty. The site forms part of The Northern Neighbourhood Centre (NNC) which also extends to the partly vacant land located to the south of the site. A supermarket and nine speciality retail buildings are approved on the southern portion of the NCC, with the supermarket currently under construction. The remaining surrounding locality is characterised by developing residential lots encompassing the site to the north, and north-east.

The proposed development does not satisfy the car parking requirements contained in the Camden Development Control Plan (DCP) 2019. That said, the proposed development provides car parking at a rate of 14.23 spaces per 100m² of public floor area. This rate is consistent with comparable venues approved and operating in the Camden LGA. The site also has access to surplus car parking provided on the northern part of the site (as provided under DA/2022/753/2).

The applicant seeks approval to operate 5.00am and 3.00am Monday to Saturday and 10.00am to 12.00am on Sunday. Council staff and Camden Police Area Command do not support the proposed hours of operation. It is recommended that the pub be approved to operate between the hours of 7.00am to 12.00am Monday to Saturday and 10.00am to 12.00am on Sunday on a permanent basis, with the extended hours (up until 2.00am) approved on a 12-month trial period. This is consistent with other licensed premises approved in the locality and is considered appropriate given the pub is located in a relatively small neighbourhood centre surrounded by developing residential uses. The area is currently undergoing development / transition and a trial period is considered appropriate to ensure the extended hours of operation do not result in unreasonable impacts on the amenity of the area.

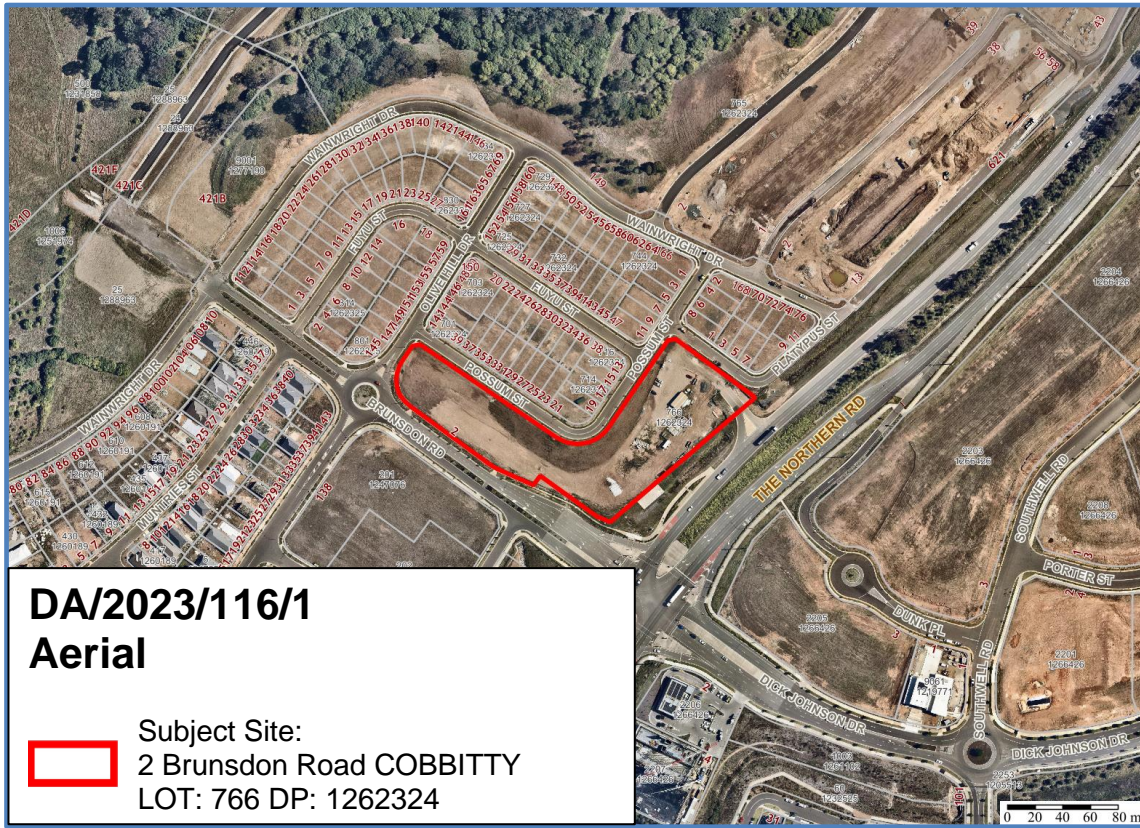
The DA was publicly exhibited for a period of 14 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 20 March to 04 April 2023 and no submissions were received.

Based on the assessment, it is recommended that the DA be approved subject to the conditions attached to this report.

KEY PLANNING CONTROL VARIATIONS

Control	Proposed	Variation
2.18.2 Off Street Car Parking Rates / Requirements – 301 spaces	195 spaces.	106 spaces.

AERIAL PHOTO



DA/2023/116/1
Aerial

Subject Site:
 2 Brunsdon Road COBBITTY
 LOT: 766 DP: 1262324

Figure 1: Aerial image of the site.

THE SITE

The site, which is located on the corner of The Northern Road and Brunsdon Road, is commonly known as 2 Brunsdon Road, Cobbitty. The site is legally described as lot 766 in Deposited Plan 1262324.

The site forms a portion of the Northern Neighbourhood Centre (NNC) which also extends to the land adjacent the site to the south. Together, the NNC is envisaged to create a small scale, high quality commercial precinct which services the needs of the local community, nearby industrial land users and regional community utilising the arterial road network.

The surrounding locality is characterised by developing residential lots encompassing the site to the north, and north-east. Adjacent the site to the south (opposite side of Brunsdon Road) exists a partly vacant lot of land with an approved development (DA/2021/1507) involving the construction of a supermarket and nine speciality retail buildings, with the supermarket currently under construction (see figure 2, 3, 4, and site photos 1, 2 and 3).

The site is irregular in shape, 13,600m² in area and is bound by four road frontages, being The Northern Road to the south-east, Brunsdon Road to the south-west, Possum Street to the north and Platypus Street to the north-east. Both vehicular and pedestrian access are proposed from Brunsdon Road and Possum Street. The development will also utilise the existing slip lane from The Northern Road.

Located on the same lot of land to the north-east exists an approved development that involves the construction of three single storey food and drink premises and one single storey retail premise (bottle-shop), refer figure 2, 3 and 4.

The site has considerable fall (3m) from the northern boundary fronting Possum Street to the south-eastern boundary of Brunson Road. The site is burdened by an easement to drain water across the boundary of The Northern Road and Brunson Road, varying in width (3.0m–3.5m). Works are proposed within the easement and Council, being the benefiting authority, supports the works within the easement subject to recommended conditions. The site is partially constrained by Bushfire Prone Land to the north-eastern most portion of the site, outside of the scope works.



Figure 2: Extent of works highlighted green, in relation to adjoining approved development applications.

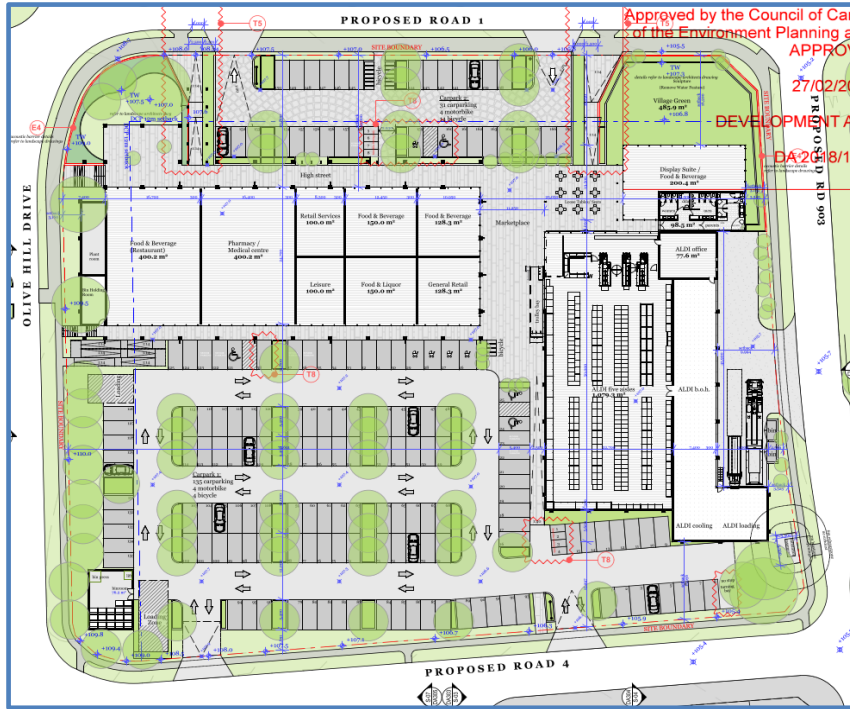


Figure 3: Approved DA2021/1507 to the south of the site.

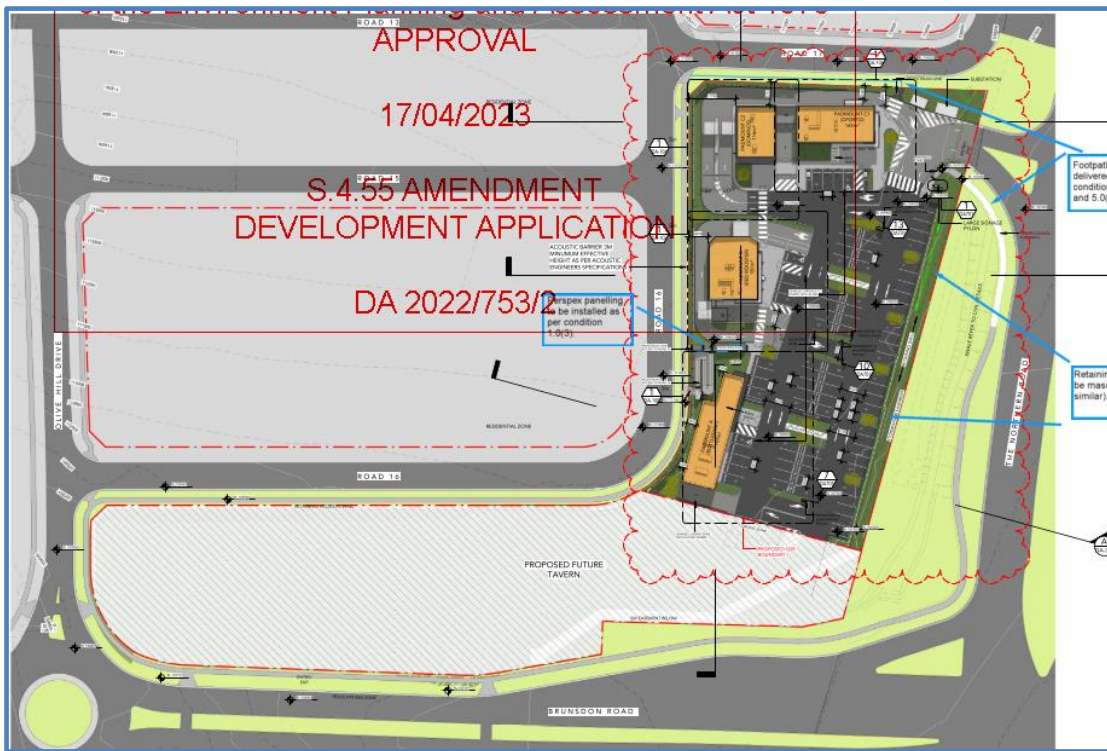


Figure 4: Approved development contained on same lot to the north-east.

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Site Photo 1: Looking north-east from southern side of Brunsdon Road, observing future alignment with north / south pedestrian through link.



Site Photo 2: Looking east across the site from Brunsdon Road observing level difference from site to Possum Street (left).



Site Photo 3: Looking north-west along Possum Street observing future interface with pub (left) and residential lots (right).

ZONING PLAN

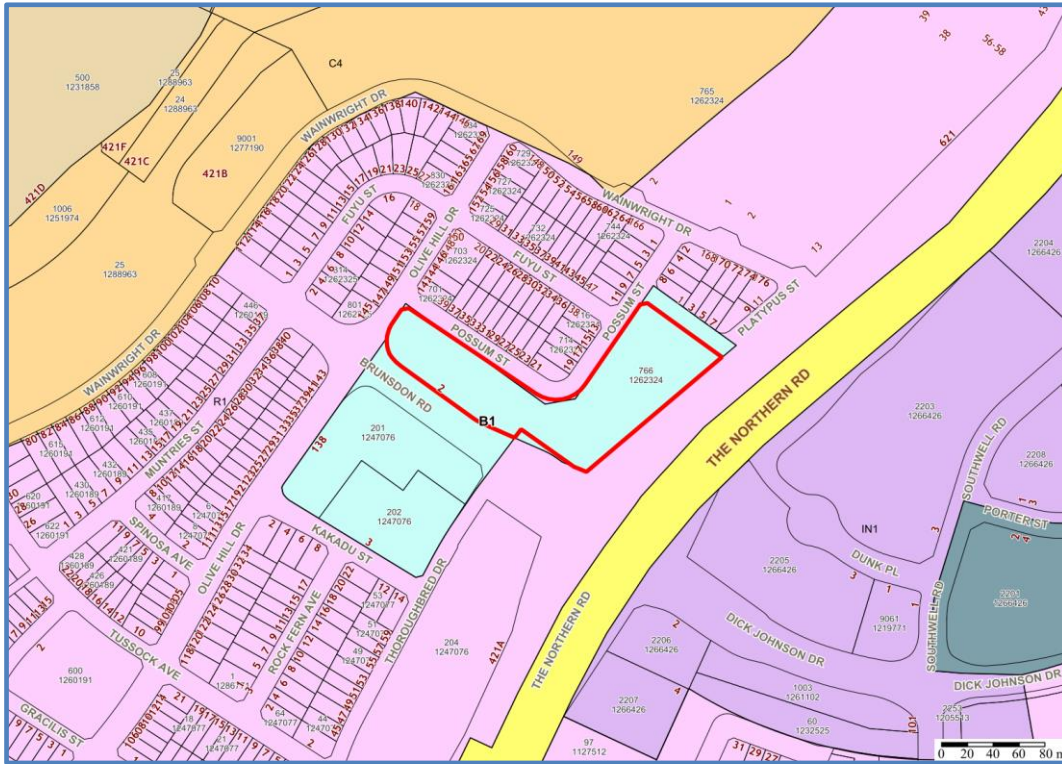


Figure 5: Zoning plan of site.

AREA MASTER PLAN



Figure 6: Indicative Structure Plan (ISP) of the site, blue outline showing extent of works.

HISTORY

The relevant development history of the site is summarised in the following table:

Date	Development
24/09/2020	DA/2020/15/1: Approved a Torrens title subdivision to create 120 residential lots, a super lot for further development, a neighbourhood centre lot and residual land with clearing, earthworks, landscaping, construction and dedication of roads, stormwater and civil works.
01/10/2021	DA/2020/15/2: Approved a section 4.55 modification application to include new first stage comprising Torrens title subdivision to create 4 superlots for future development in second stage.
24/02/2023	DA/2022/753/1: Approved construction of 4 x single storey food and drink premises with at-grade car parking and associated landscaping, services and civil works
17/04/2023	DA/2022/753/2: Approved a section 4.55 modification application to an approved food and drink premises complex to replace Taco Bell with a bottle shop (Cellarbrations), with amendments to the car park layout.

THE PROPOSAL

DA/2023/116/1 seeks approval for the construction and use of the building as a pub (licensed premises) including associated car parking, signage and landscaping.

Specifically, the development involves:

- Construction of a two-storey pub with a mezzanine and playground contained to the second floor.
- Maximum patron capacity of 750 people, operating between the hours of 5am and 3am Monday to Saturday and 10am and 12am on Sundays.
- Combination of at-grade and undercroft car parking for a total of 195 cars, 7 motorcycle spaces and 28 bicycle spaces.
- Construction and embellishment of a north / south pedestrian through link.
- Earthworks, site landscaping and associated site works.

The estimated cost of the development is \$22,385,000.

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Figure 7: View from Brunsdon Road, note pedestrian through link alignment from site photo 1.



Figure 8: View from The Northern Road.

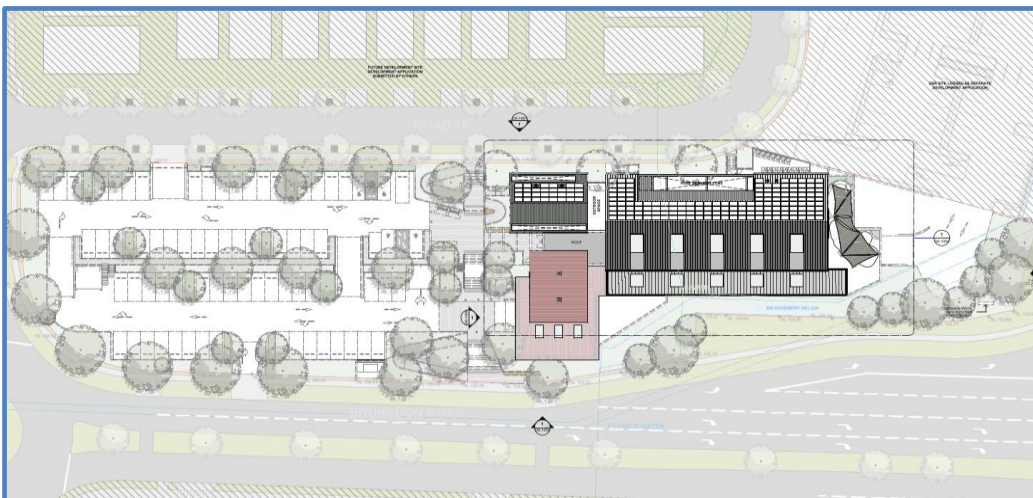


Figure 9: Extent of proposed works.

ASSESSMENT

Environmental Planning and Assessment Act 1979 - Section 4.15(1)

In determining a DA, the consent authority is to take into consideration the following matters as are of relevance to the development:

(a)(i) the provisions of any environmental planning instrument

The environmental planning instruments that apply to the development are:

- State Environmental Planning Policy (Biodiversity and Conservation) 2021.
- State Environmental Planning Policy (Resilience and Hazards) 2021 (Chapter 4).
- State Environmental Planning Policy (Transport and Infrastructure) 2021 (Subdivision 2).
- State Environmental Planning Policy (Industry and Employment) 2021 (Chapter 3 Advertising and Signage).
- State Environmental Planning Policy (Precincts – Western Parkland City) 2021 (Appendix 2).

State Environmental Planning Policy (Biodiversity and Conservation) 2021

The Biodiversity and Conservation SEPP aims to protect the environment of the Hawkesbury-Nepean River system by ensuring impacts of future land uses are considered in a regional context. Council staff have considered the general planning considerations outlined by the Biodiversity and Conservation SEPP and are satisfied there will be no detrimental impact on the Hawkesbury-Nepean River system as a result of the development. These considerations are demonstrated throughout this report and its accompanying attachments, including recommended conditions to manage erosion, sediment and water pollution control.

State Environmental Planning Policy (Resilience and Hazards) 2021 Chapter 4

The Resilience and Hazards SEPP aims to provide a State-wide approach to the remediation of contaminated land. Contamination has been considered under parent approval DA/2020/15/1. Council staff are satisfied the existing site is suitable for the proposed development, as informed by previous studies. The application was referred to Council's Specialist Support Environmental Health Officer who supports the proposed development with no recommended conditions (relating to remediation of land).

As such, the consent authority can be satisfied the site is suitable for the proposed development.

State Environmental Planning Policy (Transport and Infrastructure) 2021 Chapter 2, Subdivision 2 – Development in or adjacent to road corridors and road reservations.

The Transport and Infrastructure SEPP aims to facilitate the effective delivery of infrastructure across the state. The following clauses are applicable to the proposed development and are considered in detail below:

Clause 2.119 (Development with frontage to classified road)

The proposal will formalise practical and safe access to the land by creating vehicular ingress and egress onto Possum Street and Brunsdon Road. Additionally, TfNSW acquired a portion of land (former lot 104 in DP1217062) to facilitate road widening and construction of a slip lane that provides access to the northern portion of the site from The Northern Road.

The proposed development will improve the safety, efficiency and ongoing operation of the classified road by providing additional ingress and egress to the site, reducing reliance on the constructed slip lane and classified road.

Clause 2.122 (Traffic-generating development)

The development is defined under schedule 3 of SEPP Transport and Infrastructure as Traffic Generating Development having access to a classified road. TfNSW raised concerns with the proposed development in correspondence dated 28 April 2023, stating:

- *The driveway on Brunsdon Road is in close proximity, and potential safety and efficiency implications to the roundabout at Olive Hill Drive and traffic signals at The Northern Road. Council should consider providing all vehicular access via the driveway on 'Road 16' (Possum Street).*
- *There is an existing temporary left in/left out access for this property onto The Northern Road with civil plans indicating this development will have access to the left in/left out access. This access needs to be closed off as part of this development application as the local road network surrounding the property has been built.*

Pursuant to subclause (4)b, i, ii, iii, the consent authority can be satisfied that submission made by on 28 April 2023 by TfNSW (formerly RMS) has been considered as:

- a) On 31 May 2018 TfNSW were notified of a Planning Proposal which sought to make amendments to the Part B4 DCP referred to as the Northern Neighbourhood Centre. Left in/left out onto Brunsdon Road and left in/left out onto The Northern Road was clearly indicated (refer fig 6) and provided within public exhibition material supplied to TfNSW.
- b) On 26 June 2018, Council received formal response from TfNSW which raised no objection to the proposed left in/left out arrangement onto Brunsdon Road and The Northern Road.
- c) Further to the above, DA/2022/753/1, which sought approval to erect four single storey food and drink premises on the northern part of the site that rely on the left in/left out via The Northern Road. DA/2022/753/1 was referred to TfNSW, and no concerns were raised within this correspondence. It is noted that there are no physical changes proposed to the left in/left out arrangement that was originally considered and supported by TfNSW under DA/2022/753/1.
- d) Council and the applicant met with representatives from TfNSW on 5 June 2023 to discuss these matters in more detail. TfNSW had advised they would further review the proposal in an effort to provide an updated response. Despite numerous requests, at the time of writing this report no further response was provided from TfNSW.

State Environmental Planning Policy (Industry and Employment) 2021 Chapter 3 Advertising and Signage

This chapter aims to ensure signage is compatible, suitable and of a high quality. A variety of wall and detached pylon business identification signage is proposed which has been considered against this chapter and Schedule 5 - assessment criteria.

The proposed signage satisfies the provisions and controls in this chapter as demonstrated by the assessment table attached to this report.

State Environmental Planning Policy (Precincts – Western Parkland City) 2021 Appendix 2.

The Western Parkland City SEPP aims to make environmental planning provisions for land in the Oran Park and Turner Road Precincts within the South West Growth Centre in accordance with the relevant standard environmental planning instrument under Section 3.20 of the *Environmental Planning and Assessment Act, 1979*.

Site Zoning

The site is partly zoned B1 Neighbourhood Centre and partly zoned R1 General Residential pursuant to Clause 2.2 of Appendix 2.

Land Use/Development Definitions

The development is characterised as a 'pub', 'signage', 'earthworks' and 'drainage'.

Permissibility

A "pub" is a type of "food and drink premises", neither of which are a prohibited development within a B1 Neighbourhood Centre zone. Therefore, a "pub" is an innominate permissible use in the zone.

A "pub" is a type of "food and drink premises" which is a prohibited development within a R1 General Residential zone. Pursuant to clause 5.3 of the Precincts SEPP, elements of the prohibited development can be supported in the R1 zone (as further addressed in the attached assessment table)

All other elements of the development are permissible with consent under the zoning provisions applying to the land.

Planning Controls

An assessment table in which the development is considered against the Western Parkland City SEPPs planning controls is provided as an attachment to this report.

(a)(ii) the provisions of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)

Draft Environment State Environmental Planning Policy (Draft Environment SEPP)

The development is consistent with the Draft Environment SEPP in that there will be no detrimental impacts upon the Hawkesbury-Nepean River system as a result of it.

Draft Remediation of Land State Environmental Planning Policy (Draft Remediation of Land SEPP)

The development is consistent with the Draft Remediation of Land SEPP in that it is consistent with the Resilience and Hazards SEPP.

(a)(iii) the provisions of any development control plan

The development is subject to objectives and controls contained within:

- Camden Development Control Plan (DCP) 2019; and
- Oran Park Development Control Plan (DCP).

An assessment table in which the development is considered against both DCP’s is provided as an attachment to this report. The variation to the level of car parking required under the Camden DCP 2019 is further addressed below.

Camden Development Control Plan – Section 2.18.2.

The proposed development generates a demand for 301 car parking spaces pursuant to the controls outlined in the Camden DCP 2019 and the applicant proposes to provide 195 car parking spaces. This represents a variation of 107 spaces.

The proposed development provides 14.23 spaces per 100m² of public floor area. This rate is based off a total public floor area of 1,370m² as shown by plan titled ‘FOH Analysis’ dated 08/06/2023, rev 7 attached to this report. Importantly, this rate does not include the additional 32 surplus spaces provided on the northern part of the site (as shown by figure 4), which the proposed development will have direct access to. While not strictly relied on, if included, would increase the developments rate from 14.23 to 16.64 spaces per 100m² of public floor area.

More broadly the proposed variation is consistent with established rates observed at similar venues within the LGA, which range from 8.5 to 15 spaces per 100m² of public floor area (refer table 1 below). Of note, the Panel recently refused DA/2021/1220/1 that sought approval to establish a pub on the opposite side of The Northern Road (referred to as the ‘Oran Park Tavern’). The DA was recommended for refusal by Council staff as it was considered that insufficient car parking was provided for patrons (car parking was proposed at a rate of 6.95 spaces / 100m²). The applicant appealed that decision to the Land and Environment Court and following a Section 34 Conciliation Conference the applicant provided amended plans reducing the size of the hotel to ensure car parking was provided at a rate of 8.5 space / 100m² of public floor area. The level of car parking was deemed reasonable by Council’s experts and consent orders (Section 34 agreement) were issued by the Council.

Site	Rate
Gregory Hills Hotel.	12.36 space / 100m ²
Narellan Hotel.	15 space / 100m ²
Oran Park Tavern - [2023] NSWLEC 1226	8.5 space / 100m ²

Table 1: Comparing approx. space per 100m² observed at similar venues within LGA.

The variation has been considered against the relevant objectives from Section 2.18.2, discussed within the attached Camden DCP 2019 assessment table. The proposed development provides a car parking rate consistent with nearby and comparable venues, whilst also having access to surplus car parking (as provided under DA/2022/753/2).

Accordingly the level of car parking proposed is considered reasonable.

(a)(iii) the provisions of any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No relevant planning agreement or draft planning agreement exists or has been proposed as part of this DA.

(a)(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph)

The *Environmental Planning and Assessment Regulation 2021* prescribes several matters that are addressed in the conditions attached to this report.

(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

Hours of Operation.

The applicant seeks approval to operate between the hours of 5.00am and 3.00am Monday to Saturday and 10.00am to 12.00am on Sundays.

Council staff and Camden Local Area Command of the NSW Police have raised concern with the extensive hours of operation proposed. The proposed hours are viewed as being incompatible with the surrounding residential area, particularly those lots which front Possum Street located immediately adjacent the site (see figure 10 below).

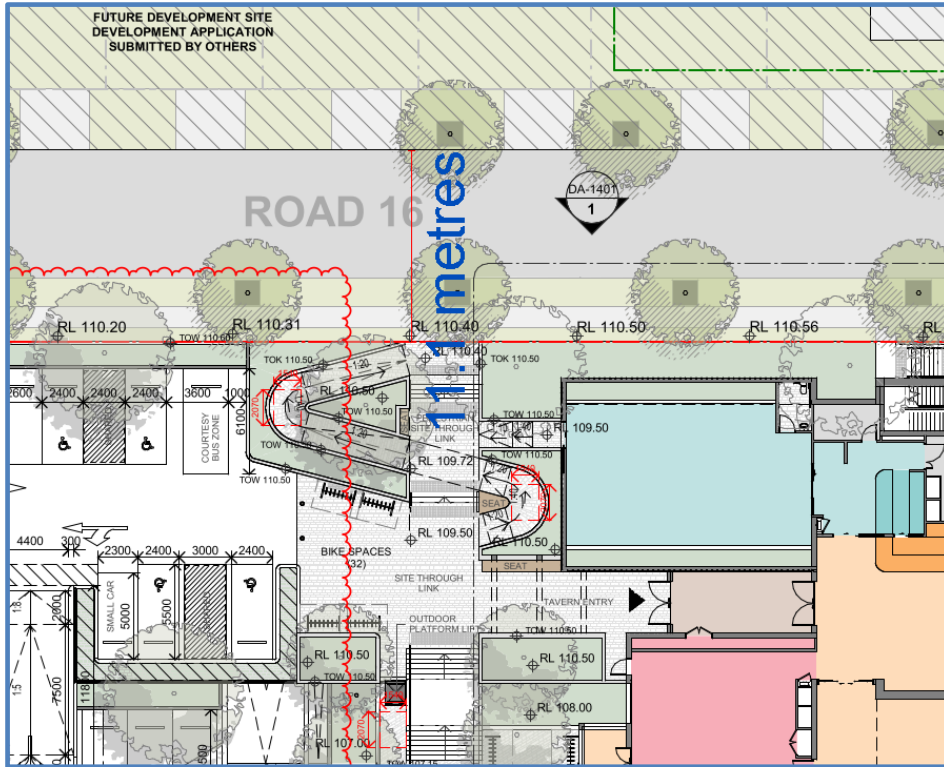


Figure 10: Interface of Tavern with adjoining residential lots within approx. 11.1m

The proposed hours of operation are also inconsistent with similar venues operating within the Camden LGA and a comparative table and aerial imagery has been provided in table 2 and figures 11 – 13 below. Of note, the proposed development seeks similar operating hours to the Gregory Hills Hotel, however that Hotel is located in a developed / developing business precinct and is 441m from the nearest residential neighbour.

Site	Hours	Distance to Nearest Residential Lot.
Oran Park Tavern #1 (DA/2019/402).	<ul style="list-style-type: none"> Monday to Saturday 7.00am - 2.00am. Sunday 7.00am - 12.00am. 	100m to envisaged medium density housing north.
Oran Park Tavern #2 (DA/2021/1220).	<ul style="list-style-type: none"> Monday to Saturday 7.00am - 2.00am (with 12.00 midnight lockout). Sunday 7.00am - 12.00am. 	95m separated by four lane sub-arterial road with roundabout and landscaped median.
Gregory Hills Hotel (DA/2022/822).	<ul style="list-style-type: none"> Monday to Saturday 7.00am – 3.00am. Sunday 7.00am - 12.00am. 	441m site is located within a semi-established / developing Business precinct.

Table 2: Comparing hours of operation and distance from residential lots across similar venues within LGA.



Figure 11: DA/2021/1220 located approximately 95m from residential lots.

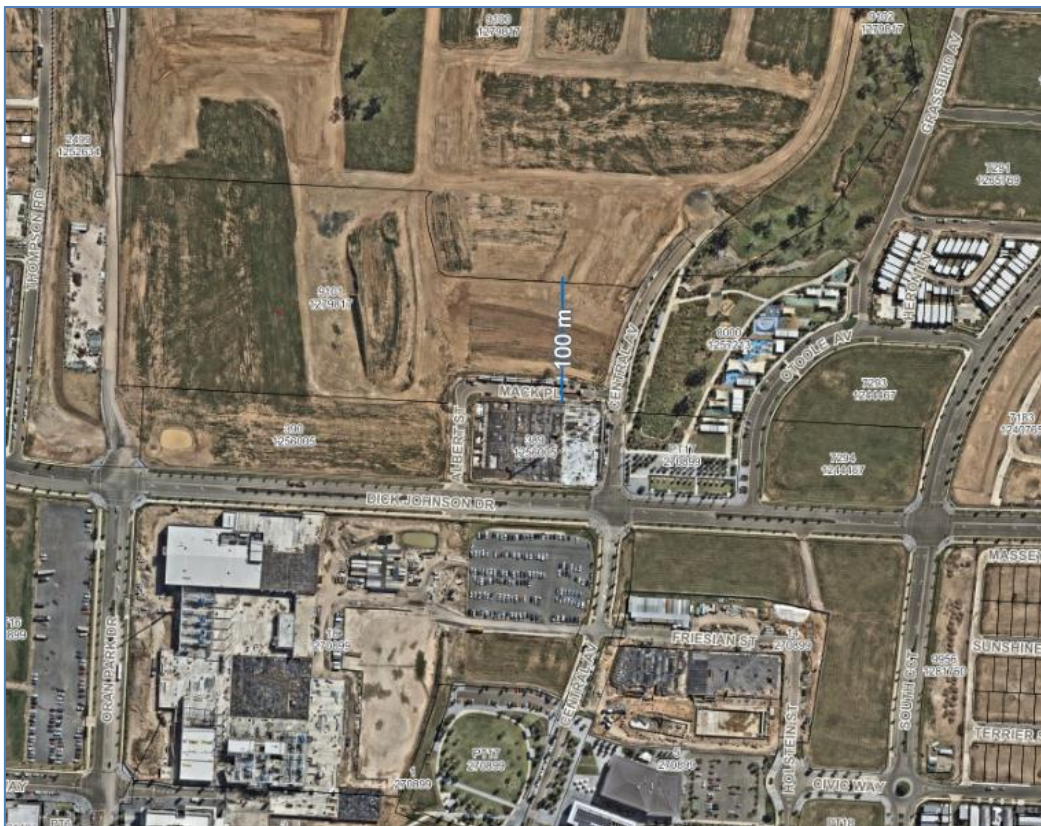


Figure 12: DA/2019/402 located approximately 100m from future residential lots

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Figure 13: DA/2022/822 approximately 441m from residential lots.

The applicant disagrees that the proposed hours of operation are incompatible with the residential area and seeks consent for the hours originally proposed. The applicant’s justification is copied below:

- *A Plan of Management has been completed that is considerate of the residential surroundings, and applies many controls to manage these hours adequately via security, responsible service of alcohol, delivery timings, etc.*
- *Our acoustic assessment has considered future dwellings and all surrounding residential areas.*
- *Our design has been completed satisfactorily with all the acoustic measures required and recommended to enable the development to operate in harmony with the residential surroundings.*
- *Operational limits have been identified in the acoustic report to enable the successful operation with nearby sensitive residential receivers during these proposed hours.*
- *Laundry Hotels, the operator of the premises, has been in operation for 60 years, and has immense experience in successful operation in residential zones during long trading hours.*

The application, including the above justification, was re-referred to the Camden Local Area Command of the NSW Police for comment. The Police maintained their objection to the proposed hours and have requested the venue close no later than 12.00am Monday to Sunday.

It is recommended that the pub be approved to operate between the hours of 7.00am to 12.00am Monday to Saturday and 10.00am to 12.00am on Sunday on a permanent

basis, with the extended hours (up until 2.00am) approved on a 12-month trial period. This is consistent with other licensed premises approved in the locality and is considered appropriate given the pub is located in a relatively small neighbourhood centre surrounded by developing residential uses. The area is currently undergoing development / transition and a trial period is considered appropriate to ensure the extended hours of operation do not result in unreasonable impacts on the amenity of the area.

Interface with Northern Residential Lots.

The northern building elevation which spans a distance of 60 fronting Possum Street lacks visual interest as there are no meaningful architectural elements, colours and materials (refer fig 14). Throughout the assessment, Council staff have requested the applicant revise this elevation to introduce additional elements, colours and materials (refer fig 15). In attempt to address this concern, the applicant has introduced a concrete board finish material. Council staff maintain the position that this elevation requires further treatment to create visual interest and an appropriate condition is recommended to address this matter.

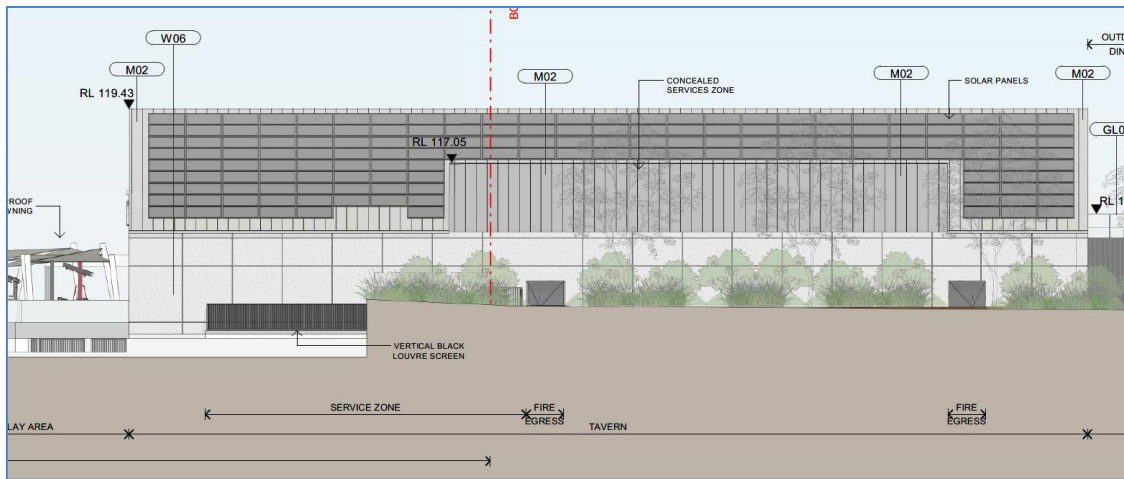


Figure 14: Northern elevation as originally proposed.

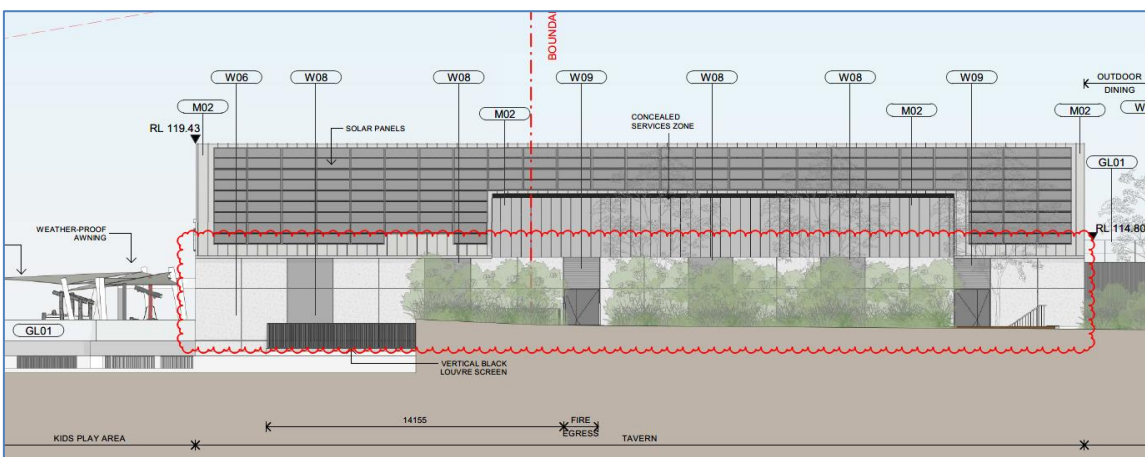


Figure 15: Northern elevation as currently proposed

(c) the suitability of the site for the development

As demonstrated by the above assessment, subject to recommended conditions, the site is considered suitable for the proposed development.

(d) any submissions made in accordance with this Act or the regulations

The DA was publicly exhibited for a period of 14 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 21 March to 4 April 2022 and no submissions were received.

(e) the public interest

The public interest is served through the detailed assessment of this DA under the *Environmental Planning and Assessment Act, 1979*, the *Environmental Planning and Assessment Regulation 2021*, environmental planning instruments, development control plans and policies. Based on the above assessment, the development is consistent with the public interest.

EXTERNAL REFERRALS

External Referral	Response
Sydney Water.	Support with conditions attached to this report.
TfNSW	Comment provided for consideration.
Camden Local Area Command of NSW Police	Support subject to reduced hours of operation.

FINANCIAL IMPLICATIONS

This matter has no direct financial implications for Council.

CONCLUSION

The DA has been assessed in accordance with Section 4.15(1) of the *Environmental Planning and Assessment Act, 1979* and all relevant instruments, plans and policies. The DA is recommended for approval subject to the conditions attached to this report.

RECOMMENDED

That the Panel approve DA/2023/116/1 for the construction and use of a building as a pub (licensed premises) including associated car parking, signage and landscaping at 2 Brunsdon Road Cobbitty, subject to the conditions attached to this report for the following reasons:

- The development is consistent with the objectives and controls of the applicable environmental planning instruments, being State Environmental Planning Policy (Precincts - Western Parkland City) 2021, State Environmental Planning Policy (Transport and Infrastructure) 2021, State Environmental Planning Policy (Resilience and Hazards) 2021, State Environmental Planning Policy (Industry and Employment) 2021 and State Environmental Planning Policy (Biodiversity and Conservation) 2021.**
- The development is consistent with the objectives of the Turner Road Development Control Plan 2007 and Camden Development Control Plan 2019.**

3. The development is considered to be of an appropriate scale and form for the site and the character of the locality.
4. Subject to the recommended conditions, the development is unlikely to have any unreasonable adverse impacts on the natural or built environments.
5. For the above reasons, the development is a suitable use of the site and its approval is in the public interest.

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ATTACHMENTS

1. Recommended Conditions
2. Western Parkland City SEPP Assessment Table
3. Signage SEPP Assessment Table
4. Camden DCP Assessment Table
5. Oran Park DCP Assessment Table
6. Architectural Plans

RECOMMENDED CONDITIONS**1.0 - General Conditions of Consent**

- (1) **Approved Plans and Documents** – The development must be carried out in accordance with the following plans and documents, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
DA-0110, Rev 24.	Overall – Basement.	FDC.	08/06/2023.
DA-0111, Rev 24.	Overall – Ground Floor.	FDC.	08/06/2023.
DA-0112, Rev 19.	Overall – Mezzanine.	FDC.	08/06/2023.
DA-0113, Rev 19.	Overall – Roof.	FDC.	08/06/2023.
DA-1001, Rev 26.	Floor Plan – Basement.	FDC.	08/06/2023.
DA-1002, Rev 24.	Floor Plan – Ground Floor.	FDC.	08/06/2023.
DA-1003, Rev 22.	Floor Plan – Mezzanine.	FDC.	08/06/2023.
DA-6102, Rev 7.	FOH Analysis.	FDC.	08/06/2023.
DA-1004, Rev 19.	Floor Plan – Roof.	FDC.	08/06/2023.
DA-1401, Rev 19.	North Elevation.	FDC.	25/07/2023.
DA-1402, Rev 17.	South Elevation.	FDC.	08/06/2023.
DA-1403, Rev 17.	East Elevation.	FDC.	08/06/2023.
DA-1404, Rev 17.	West Elevation.	FDC.	08/06/2023.
DA-1501, Rev 16.	Section A.	FDC.	08/06/2023.
DA-1502, Rev 16.	Section B.	FDC.	08/06/2023.
DA-1503, Rev 16.	Section C.	FDC.	08/06/2023.
DA-2001, Rev 11.	Material Schedule.	FDC.	08/06/2023.
DA-4901, Rev 9.	Signage.	FDC.	08/06/2023.
DA-4902, Rev 6.	Signage.	FDC.	08/06/2023.
DA-4903, Rev 3.	Signage.	FDC.	08/06/2023.
Drawing No. T002, Issue F.	Landscape Masterplan.	Site Image.	26/07/2023.
Drawing No. T101, Issue F.	Landscape Plan.	Site Image.	26/07/2023.
Drawing No. T102, Issue F.	Landscape Plan.	Site Image.	26/07/2023.

Drawing No. T501, Issue E.	Landscape Details.	Site Image.	26/07/2023.
Drawing No. T, Issue F.	Landscape Sections.	Site Image.	02/06/2023.
Drawing No. 210029-DA2-DA-C03.01, Rev 6.	Erosion and Sediment Control Plan.	Enspire.	26/06/2023.
Drawing No. 210029-DA2-DA-C03.21, Rev 2.	Erosion and Sediment Control Details.	Enspire.	07/02/2023.
Drawing No. 210029-DA2-DA-C03.31, Rev 4.	Temporary Sediment Basin Plans and Details.	Enspire.	08/06/2023.
Drawing No. 210029-DA2-DA-C04.01, Rev 5.	Earthworks Cut and Fill Plan.	Enspire.	26/06/2023.
Drawing No. 210029-DA2-DA-C04.21, Rev 6.	Earthworks Cut and Fill Sections.	Enspire.	07/02/2023.
Drawing No. 210029-DA2-DA-C04.22, Rev 2.	Earthworks Cut and Fill Sections.	Enspire.	07/02/2023.
Drawing No. 210029-DA2-DA-C05.01, Rev 8.	Siteworks and Stormwater Basement Plan.	Enspire.	24/07/2023.
Drawing No. 210029-DA2-DA-C05.11, Rev 8.	Siteworks and Stormwater Ground Floor Plan.	Enspire.	24/07/2023.
Drawing No. 210029-DA2-DA-C22.01, Rev 6.	Turning Path Plan Basement.	Enspire.	26/06/2023.

Document Title	Prepared by	Date
Oxley Ridge Tavern – Noise Impact Assessment, Rev 6.	Pulse White Noise Acoustics.	29/08/2023.
Plan of Management.	GJ Consulting, Version 1.3.	15/08/2023.

- (2) **National Construction Code - Building Code of Australia (BCA)** - All building work shall be carried out in accordance with the BCA as in force on the relevant date. In this condition the relevant date has the same meaning as in section 19 of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*.
- (3) **Shoring and Adequacy of Adjoining Property** - If the approved development involves excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, including a structure or work in a road rail corridor, the person having the benefit of the development consent must, at the person's own expense:
- a) protect and support the building, structure or work on adjoining land from possible damage from the excavation, and

- b) if necessary, underpin the building, structure or work on adjoining land to prevent damage from the excavation.

This condition does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land gives written consent to the condition not applying.

A copy of the written consent must be provided to the principal certifier prior to the excavation commencing.

- (4) **Engineering Specifications** - The entire development shall be designed and constructed in accordance with Council's Engineering Specifications.
- (5) **Outdoor Lighting** – The approved development must include lighting in all areas that complies with AS 1158 and AS 4282.
- (6) **Reflectivity** - The reflectivity of glass index for all glass used externally shall not exceed 20%.
- (7) **Roof Mounted Equipment** - All roof mounted equipment such as air conditioning units, etc., required to be installed shall be integrated into the overall design of the building and not appear visually prominent or dominant from any public view.
- (8) **Noxious Weeds Management** - Weed dispersion must be minimised and weed infestations must be managed during all stages of the development. Any noxious or environmentally invasive weed infestations that occur during or after works must be fully and continuously suppressed and destroyed by appropriate means. New infestations must be reported to Council.

Pursuant to the *Biosecurity Act 2015* and the *Biosecurity Regulation 2017*, the applicant must at all times ensure that any machinery, vehicles or other equipment entering or leaving the site are clean and free from any noxious weed material to prevent the spread of all weeds to or from the property.

Earth moved containing noxious weed material must be disposed of at an approved waste management facility and be transported in compliance with the *Biosecurity Act 2015* and the *Biosecurity Regulation 2017*.

- (9) **Infrastructure in Road and Footpath Areas** – Infrastructure must not be removed and/or reconstructed without prior written approval from Council. Any costs incurred due to the relocation, restoration or reconstruction of pram ramps, footpath, light poles, kerb inlet pits, service provider pits, street trees or other infrastructure in the street footpath area for the proposed development shall be borne by the applicant, and not Council.
Note. The issue of this development consent does not imply concurrence or approval of any required public infrastructure work associated with the development.
- (10) **General Terms of Approval/Requirements of State Authorities** - The general terms of approval/requirements from state authorities shall be complied with prior to, during, and at the completion of the development.

The general terms of approval are:

1. Camden Local Area Command, 17 May 2023.
2. Sydney Water, 31 March 2023.

2.0 - Prior to Issue of a Construction Certificate

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Modified Documents and Plans** - The development must be modified as follows:
- a) A greater variety of materials and finishes and/or the inclusion of a mural must be incorporated into the northern façade of the hotel (fronting Possum Street) to add visual interest. Amended plans and details must be submitted to the satisfaction of Council prior to the issue of any Construction Certificate.
 - b) Detailed fit-out plans must be provided for the design and construction of all food handling areas. These plans must demonstrate compliance with:
 - Food Act 2003.
 - Food Regulation 2015.
 - Food Standards Australia and New Zealand – Food Standards Code 2003.
 - AS 1668.1 – 2015 and 1668.2 – 2012: The use of ventilation and air conditioning in buildings.
 - AS4674-2004: Design, construction and fit out of food premises.
 - c) Pylon sign shown on approved plans at the southern boundary of the Northern Road and Brunson Road must be amended to remove reference to “rotating static display”. Flashing, electronic, running and / or moving signs are not permitted to any part of the approved development.
 - d) An amended landscape plan must be provided to which demonstrates tree, shrub and or groundcovers as being relocated immediately outside the turning path of the 12.5m HRV as shown on approved plan titled ‘turning path plan basement, rev 6’, dated 26/06/2023.
 - e) The area of 268m² notated for the mezzanine on approved plan titled ‘Floor Plan – Mezzanine’ is incorrect and must be amended to reflect the area notated on approve plan titled ‘FOH Analysis, rev 6’ dated 08/06/2023.
 - f) The proposed width of the existing stormwater easement shown on approved plan titled ‘siteworks and stormwater basement plan, rev 8’ dated 24/07/2023 must be reverted back to the registered width.
 - g) Barrier GL01 on approved plan titled ‘North Elevation, rev 19’ dated 25/07/2023 shall be amended from clear glass to obscure glazing.
- Amended plans or documentation demonstrating compliance shall be provided to the certifier and Council prior to the issue of any Construction Certificate.
- (2) **Existing Council Stormwater Pipe / Culvert** – Before the issue of any Construction Certificate, the person acting on this consent must obtain written confirmation from Council’s Manager Assets & Design Services as to the requirements for constructing over the Council stormwater asset.
- (3) **Garbage Room** - Plans showing the location and details of garbage room(s) and room(s) used for the washing and storage of garbage receptacles shall be provided

to the accredited certifier for approval. Garbage room(s) are to be constructed of solid material and finished as a smooth even surface. Floors are to be impervious, coved, graded and drained to an appropriate floor waste connection. Walls are to be smooth impervious surfaces to ensure no moisture, oils or similar material can soak in. Ventilation, pest proofing and a hose tap must be provided.

- (4) **Local Traffic Committee Concurrence** - Installation of or changes to regulatory signage, line marking and devices are subject to the concurrence of Council's Local Traffic Committee on local roads, and the Roads and Maritime Services on State roads. These concurrences (as required) must be obtained prior to the installation of or any changes to regulatory signage, line-marking and devices.
- (5) **Performance Bond** - The applicant is to lodge a bond with Council to provide security for works undertaken within the existing public domain in accordance with Council's Development Infrastructure Bonds Policy.

Note. Fees are payable for the lodgement and refund of the bond.

- (6) **Structural Engineer's Details** - The piers/slabs/footings/structural elements shall be designed and certified by a suitably qualified structural engineer and shall take into consideration the recommendations of any geotechnical report applicable to the site. A statement to that effect shall be provided to the accredited certifier.
- (7) **External Walls and Cladding Flammability** – The external walls of the building, including attachments, must comply with the relevant requirements of the National Construction Code (NCC). Prior to the issue of a Construction Certificate the accredited certifier must:
- a) be satisfied that suitable evidence is provided to demonstrate that the products and systems proposed for use in the construction of external walls, including finishes and claddings such as synthetic or aluminium composite panels, comply with the relevant requirements of the NCC; and
 - b) ensure that the documentation relied upon in the approval processes includes an appropriate level of detail to demonstrate compliance with the NCC as proposed.
- (8) **Civil Engineering Plans** - Civil engineering plans indicating drainage, roads, accessways, earthworks, pavement design, details of line-marking, traffic management, water quality and quantity facilities including stormwater detention and disposal, shall be prepared in accordance with the approved plans and Council's Engineering Design and Construction Specifications. Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.

A stormwater plan is to be submitted to the certifier prior to the augmentation of the existing drainage system to accommodate drainage from the approved development and to protect other property to the satisfaction of the certifier.

Note. Under the *Roads Act 1993*, only the Roads Authority can approve commencement of works within an existing road reserve.

- (9) **Sydney Water Trade Waste** - The applicant shall contact the Commercial Trade Waste section of Sydney Water regarding the trade waste requirements. A written response from Sydney Water demonstrating compliance shall be provided to the certifier and Council.

- (10) **Soil, Erosion, Sediment and Water Management** - An erosion and sediment control plan shall be prepared in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book'). Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.
- (11) **Works in Road Reserves** - Where any works are proposed in a public road reservation, a Road Opening Permit shall be obtained from Council in accordance with Section 138 of the *Roads Act 1993*.
- (12) **Car Park Noise Control** – All off-street (including basement) car parks must have a coved finish with Slabseal 2000 SR sealant (or similar equivalent product) applied to the concrete floor. The coved finish and sealant must be suitably maintained on the floor of all car parks at all times to a standard that eliminates tyre squeal noise from being audible.

Details demonstrating compliance shall be provided to the accredited certifier with the Construction Certificate application.

- (13) **Detailed Landscape Plan** - A detailed landscape plan shall be prepared in accordance with Appendix B – Landscape Design Principles of Camden Development Control Plan 2019 prior to any construction certificate. The following must be included:
- a) *Corymbia ficifolia* to be substituted with a species that will have a mature height greater than 12m.
 - b) *Elaeocarpus reticulatus* to be substituted with *Corymbia maculata* 'Lowanna' or *Corymbia citriodora* 'Scentuous'.
 - c) *Tristaniopsis laurina* to be substituted with *Tristaniopsis laurina* luscious.
 - d) *Melaleuca linarifolia* to be substituted with a species that will have a mature height greater than 12m.
 - e) Trees must be True to type, healthy and free from any active pests or diseases, the crown is to be symmetrical and has not suffered any significant injury that will impact growth habit.
 - f) Stock to have clean stem height that is less than 40% of total tree height and that branches are smaller than the stem.
 - g) All trees to be minimum 100 litre container size.
 - h) Trees planted within or adjacent to hardstand areas (i.e., car park) to include StrataCell (or equivalent root management systems) or structural soil or be substituted with an alternative. Where a StrataCell is used it must be provided with integrated sub-surface irrigation and conditioned soil to a minimum cell area of 30m³ (the exact soil volume is to be calculated based on the relevant species using the manufacturer's specifications), and within the projected mature canopy spread/dripline of proposed trees, or no less than 5m from trunks. Where tree spacing is less than 5m, the StrataCell system must be provided to the entire hardstand area.

- i) Appropriate treatments to be incorporated into the landscape design to minimise infrastructure damage such as root barriers, structural soils, etc.
 - j) Landscaping shall incorporate the relevant ESD and WSUD principals.
 - k) Trees to be sourced in accordance with tests and measurements contained within AS2303-2018 - Tree Stock for Landscape Use
- (14) **Fibre-Ready Facilities/Telecommunications Infrastructure** – Documentary evidence must be provided to the certifier demonstrating that satisfactory arrangements have been made for:
- a) the installation of fibre-ready facilities to all individual lots and/or premises in a real estate development project so as to enable fibre to be readily connected to any premises that is being or may be constructed on those lots. The carrier must confirm in writing that they are satisfied that the fibre-ready facilities are fit for purpose; and
 - b) the provision of fixed-line telecommunications infrastructure in the fibre-ready facilities to all individual lots and/or premises in a real estate development project demonstrated through an agreement with a carrier.

This condition does not apply where an applicable exemption exists under Commonwealth law. Documentary evidence of any exemption relied upon must be provided to the certifier.

- (15) **Driveway Gradients and Design** – The design of all driveways shall comply with AS 2890.1-2004 'Off street car parking' and:
- a) the driveway shall comply with Council's Access Driveway Specifications; <https://www.camden.nsw.gov.au/assets/pdfs/Development/Preparing-a-DA/Development-Guidelines-and-policies/Access-Driveways-Specifications-and-Drawings.pdf>
 - b) the driveway shall be at least 1m from any street tree, stormwater pit or service infrastructure;
 - c) the level for the driveway across the footpath area shall achieve a gradient of 4%; and
 - d) a Driveway Crossing Approval (PRA) must be obtained prior to the issue of a Construction Certificate.

Details demonstrating compliance shall be provided to the accredited certifier prior to issue of a Construction Certificate.

- (16) **Selection of Mechanical Plant** - An acoustic consultant must be involved in the selection and noise control of all mechanical plant for the Pub and ensure compliance with the criteria in "Table 3-2" of "Noise Impact Assessment: Oxley Ridge Tavern, Prepared by PWNA, Ref No 210375 (Version Final), Dated 17 May 2023," when assessed at the nearest affected residents in Oran Park.
- (17) **Mechanical Ventilation** - Any room or area not provided with natural ventilation in accordance with the relevant requirements of the Building Code of Australia must be provided with a system of mechanical ventilation that complies with the requirements

of Australian Standard 1668, Parts 1 & 2. Details demonstrating compliance shall be provided to the accredited certifier with the Construction Certificate application.

- (18) **Damages Bond** - The applicant is to lodge a bond with Council to ensure any damage to existing public infrastructure is rectified in accordance with Council's Development Infrastructure Bonds Policy.

Note. A fee is payable for the lodgement of the bond.

- (19) **Section 7.11 Contributions – Works In Kind** - Section 7.11 contributions may be offset by the value of land and/or works as part of a 'Works in Kind' agreement with Council. Works in kind to be carried out shall be agreed to by Council in writing prior to the payment of the contributions and issue of a construction certificate (related to the works in kind). All such agreements shall be in accordance with Council's Works In Kind Policy.
- (20) **Long Service Levy** - In accordance with the *Building and Construction Industry Long Service Payments Act 1986*, the applicant shall pay a long service levy at the prescribed rate to either the Long Service Payments Corporation or Council. This applies to building and construction works with a cost of \$250,000 or more.
- (21) **Section 7.11 Contributions – Monetary (Turner Road and Oran Park)** - A contribution pursuant to the provisions of Section 7.11 of the *EP&A Act 1979* for the services and amounts detailed below.

Plan Name	Contribution Type	Indexed Rate	Amount Payable
OP & TR Contributions Plan	Transport Management - Land Acquisition	\$141,393.00	\$192,719.00
		per net developable hectare.	
OP & TR Contributions Plan	Transport Management - Works	\$109,447.00	\$149,176.00
		per net developable hectare.	
OP & TR Contributions Plan	Transport Management - Project Management	\$2,462.00	\$3,356.00
		per net developable hectare.	
OP & TR Contributions Plan	Water Cycle Management - Land Acquisition	\$153,348.00	\$209,013.00
		per net developable hectare	
OP & TR Contributions Plan	Water Cycle Management - Works	\$73,338.00	\$99,960.00
		per net developable hectare	

OP & TR Contributions Plan	Water Cycle Management - Project Management	\$1,650.00	\$2,249.00
Total			\$656,473.00

A copy of the Oran Park and Turner Road Precincts Section 7.11 Contributions Plan may be inspected at Council's Camden office at 70 Central Avenue Oran Park or can be accessed on Council's website at www.camden.nsw.gov.au.

The amount of contribution payable under this condition has been calculated at the date of consent. In accordance with the provisions of the Contributions Plan, this amount shall be indexed at the time of actual payment in accordance with the applicable Index.

- (22) **Special Infrastructure Contribution** - A special infrastructure contribution (SIC) is to be made in accordance with the Environmental Planning and Assessment (Special Infrastructure Contribution - Western Sydney Growth Areas) Determination 2011 (as in force when this consent becomes operative).

Evidence of payment of the SIC shall be provided to Council and the certifier.

Alternatively, the applicant must obtain written confirmation from the Department of Planning and Environment that the SIC is not required to be paid for the approved development.

More information

A request for assessment by the Department of Planning and Environment of the amount of the special infrastructure contribution that is required under this condition can be made through the NSW Planning Portal (<https://www.planningportal.nsw.gov.au/special-infrastructurecontributions-online-service>). Please refer enquiries to SIContributions@planning.nsw.gov.au.

3.0 - Prior to Commencement of Works

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Public Liability Insurance** - The owner or contractor shall take out a Public Liability Insurance Policy with a minimum cover of \$20 million in relation to the occupation of, and works within, public property (i.e. kerbs, gutters, footpaths, walkways, reserves, etc) for the full duration of the proposed works. Evidence of this Policy shall be provided to Council and the certifier.
- (2) **Notice of Principal Certifier** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*. The notice shall include:
- a) a description of the work to be carried out;

- b) the address of the land on which the work is to be carried out;
 - c) the registered number and date of issue of the relevant development consent;
 - d) the name and address of the principal certifier, and of the person by whom the principal certifier was appointed;
 - e) the certifier's registration number, and a statement signed by the certifier consenting to being appointed as principal certifier; and
 - f) a telephone number on which the principal certifier may be contacted for business purposes.
- (3) **Notice of Commencement of Work** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*. The notice shall include:
- a) the name and address of the person by whom the notice is being given;
 - b) a description of the work to be carried out;
 - c) the address of the land on which the work is to be carried out;
 - d) the registered number and date of issue of the relevant development consent and construction certificate;
 - e) a statement signed by or on behalf of the principal certifier (only where no principal certifier is required) to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and
 - f) the date on which the work is intended to commence.
- (4) **Construction Certificate Required** - In accordance with the requirements of the *EP&A Act 1979*, building or subdivision works approved by this consent shall not commence until the following has been satisfied:
- a) a Construction Certificate has been issued by a certifier;
 - b) a principal certifier has been appointed by the person having benefit of the development consent;
 - c) if Council is not the principal certifier, Council is notified of the appointed principal certifier at least two (2) days before building work commences;
 - d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and
 - e) the principal certifier is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
- (5) **Sign of Principal Certifier and Contact Details** - A sign shall be erected in a prominent position on the site stating the following:

- a) that unauthorised entry to the work site is prohibited,
- b) the name of the principal contractor, if any, for the building work and a telephone number on which the principal contractor may be contacted outside working hours, and
- c) the name, address and telephone number of the principal certifier for the work.

The sign must be maintained while the work is being carried out and removed when the work has been completed.

- (6) **Site is to be Secured** - The site shall be secured and fenced.
- (7) **Sydney Water Approval** – The approved construction certificate plans must also be approved by Sydney Water to determine if sewer, water or stormwater mains or easements will be affected by any part of the development. Go to www.sydneywater.com/tapin to apply.

A copy of the approval receipt from Sydney Water must be submitted to the principal certifier.

- (8) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book') and any Sediment and Erosion plans approved with this development consent.
- (9) **Dilapidation Report – Council Property** - A dilapidation report prepared by a suitably qualified person, including a photographic survey of existing public roads, kerbs, footpaths, drainage structures, street trees and any other existing public infrastructure within the immediate area of the site shall be prepared. The report must be submitted to the principal certifier and Council at least 2 days prior to the commencement of works.

Should any public property or the environment sustain damage during the course of and as a result of construction, or if the construction works put Council's assets or the environment at risk, Council may carry out any works necessary to repair the damage or remove the risk. The costs incurred will be deducted from the applicant's damages bond.

- (10) **Traffic Management Plan** - A traffic management plan shall be prepared in accordance with Council's Engineering Specifications and AS 1742.3. The plan must be submitted to the principal certifier.
- (11) **Construction Management Plan** - A construction management plan that includes dust, soil and sediment and traffic management, prepared in accordance with Council's Engineering Design Specification, shall be provided to the principal certifier.
- (12) **Environmental Management Plan** - An environmental management plan (EMP) prepared in accordance with Council's Engineering Design Specification shall be provided to the principal certifier.

The EMP shall address the manner in which site operations are to be conducted and monitored to ensure that adjoining land uses and the natural environment are not

unacceptably impacted upon by the proposal. The EMP shall include but not be necessarily limited to the following measures:

- a) measures to control noise emissions from the site;
 - b) measures to suppress odours and dust emissions;
 - c) soil and sediment control measures;
 - d) measures to control air emissions that includes odour;
 - e) measures and procedures for the removal of hazardous materials that includes waste and their disposal;
 - f) any other recognised environmental impact;
 - g) work, health and safety; and
 - h) community consultation.
- (13) **Construction Noise Management Plan** – A construction noise management plan shall be provided to the principal certifier and include the following:
- a) noise mitigation measures;
 - b) noise and/or vibration monitoring;
 - c) use of respite periods;
 - d) complaints handling; and
 - e) community liaison and consultation.
- (14) **Protection of Existing Street Trees** - No existing nature strip, street tree, tree guard, protective bollard, garden bed surrounds or root barrier installation shall be disturbed, relocated, removed or damaged during earthworks, demolition, excavation (including any driveway installation), construction, maintenance and/or establishment works applicable to this consent, without Council agreement and/or consent.
- The protection methods for existing nature strip, street tree, tree guard, protective bollard, garden bed surrounds or root barrier installation during all works approved by this development consent shall be installed in accordance with AS 4970-2009 Protection of Trees on Development Sites.
- (15) **Protection of Trees to be Retained** - Protection of trees to be retained shall be in accordance with Council's Engineering Specifications. The area beneath the canopies of the tree(s) to be retained shall be fenced. Tree protection signage is required to be attached to each tree protection zone and displayed in a prominent position.
- (16) **Assessment of Existing Pipe / Culvert Strength** – The structural integrity of the existing pipe and culvert contained within easement (L) DP1247076 impacted by the approved works must be assessed prior to works commencing. This assessment can be conducted using Pipeclass software or through manual evaluation. Details of the

evaluation must be provided to the satisfaction of Council's Asset and Design Services team prior to the commencement of building works.

- (17) **Condition Assessment and Treatment** – A condition report must be carried out on the existing pipe and culvert. This assessment must identify any necessary treatments or repairs (if required). Where treatments or repairs are required, it shall be carried out at no cost to Council. The conditions report must be provided to the satisfaction of Council's Asset and Design Services team prior to the commencement of building works.

4.0 - During Works

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **External Seating Area Acoustic Barrier** - A 1.8-metre-high acoustic barrier is to be constructed on the northern side of the external seating area on the mezzanine level consistent with "Figure 4" of the *"Noise Impact Assessment: Oxley Ridge Tavern, Prepared by PWNA, Ref No 210375 (Version Final), Dated 17 May 2023."*
- (2) **Outdoor Dining Terrace Acoustic Wall** - A 1.8-metre-high acoustic barrier is to be constructed on the northern side of the external car park consistent with "Figure 4" of the *"Noise Impact Assessment: Oxley Ridge Tavern, Prepared by PWNA, Ref No 210375 (Version Final), Dated 17 May 2023."*
- (3) **Glass Openings - Acoustic Performance** - The glass openings within the façade enclosing indoor open spaces must be a minimum of 10.38mm laminated glass to achieve a RW35 level.
- (4) **Work Hours** - All work (including delivery of materials) shall be:
- restricted to between the hours of 7am to 5pm Monday to Saturday (inclusive), and
 - not carried out on Sundays or public holidays,
- unless approved in writing by Council.
- (5) **Excavations and Backfilling** - All excavations and backfilling associated with the approved development must be executed safely and protected to prevent them from being dangerous to life or property, and in accordance with the design of a suitably qualified structural engineer.

If an excavation extends below the level of the base of the footings of a building, structure or work on adjoining land, including a structure or work in a road rail corridor, the person causing the excavation must:

- a) protect and support the building, structure or work on adjoining land from possible damage from the excavation,
- b) if necessary, underpin the building, structure or work on adjoining land to prevent damage from the excavation, and

- c) give at least 7 days notice of the intention to excavate to the owner of the adjoining land before excavating.

The above requirements do not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land gives written consent to the requirements not applying.

The principal contractor, owner builder or any person who needs to excavate and undertake building work, shall contact 'Dial Before You Dig' prior to works commencing, and allow a reasonable period of time for the utilities to provide locations of their underground assets.

- (6) **Stormwater – Collection and Discharge Requirements** - The roof of the subject building(s) shall be provided with guttering and down pipes and all drainage lines, including stormwater drainage lines from other areas and overflows from rainwater tanks, conveyed to the drainage easement.

Connection to the drainage easement or kerb shall only occur at the designated connection point for the allotment. New connections that require the rectification of an easement pipe or kerb shall only occur with the prior approval of Camden Council.

All roofwater shall be connected to the approved roofwater disposal system immediately after the roofing material has been fixed to the framing members. The principal certifier shall not permit construction works beyond the frame inspection stage until this work has been carried out.

- (7) **Site Management** - The following practices are to be implemented during construction:
 - a) stockpiles of topsoil, sand, aggregate, spoil or other material shall be kept clear of any drainage path, easement, natural watercourse, kerb or road surface and shall have measures in place to prevent the movement of such material off site;
 - b) builder's operations such as brick cutting, washing tools, concreting and bricklaying shall be confined to the building allotment. All pollutants from these activities shall be contained on site and disposed of in an appropriate manner;
 - c) waste shall not be burnt or buried on site or any other properties, nor shall wind-blown rubbish be allowed to leave the site. All waste shall be disposed of at a licenced waste disposal facility;
 - d) a waste storage area shall be located on the site;
 - e) all building materials, plant, equipment and waste control containers shall be placed on the building site. Building materials, plant and equipment (including water closets), shall not to be placed on public property (footpaths, roadways, public reserves, etc);
 - f) toilet facilities shall be provided at, or in the vicinity of, the work site at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet shall:
 - i) be a standard flushing toilet connected to a public sewer; or

- ii) have an on-site effluent disposal system approved under the *Local Government Act 1993*; or
 - iii) be a temporary chemical closet approved under the *Local Government Act 1993*.
- (8) **Finished Floor Level** - A survey report prepared by a registered land surveyor confirming that the finished floor level complies with the approved plans or floor levels specified by the development consent, shall be provided to principal certifier prior to the development proceeding beyond floor level stage.
- (9) **Survey Report** - The building shall be set out by a registered land surveyor. A peg out survey detailing the siting of the building in accordance with the approved plans shall be provided to the principal certifier prior to the pouring of concrete.
- (10) **Traffic Management Plan Implementation** - All traffic management procedures and systems identified in the approved traffic management plan shall be introduced and maintained during construction of the development to ensure safety and to minimise the effect on adjoining pedestrian and traffic systems.
- (11) **Site Signage** - A sign shall be erected at all entrances to the site and be maintained until the development has been completed. The sign shall be constructed of durable materials, be a minimum of 1200mm x 900mm, and read as follows:

"WARNING UP TO \$8,000 FINE. It is illegal to allow soil, cement slurry or other building materials to enter, drain or be pumped into the stormwater system. Camden Council (02 4654 7777) – Solution to Pollution."

The wording shall be a minimum of 120mm high and the remainder a minimum of 60mm high. The warning and fine details shall be in red bold capitals and the remaining words in dark coloured lower case letters on a white background, surrounded by a red border.
- (12) **Vehicles Leaving the Site** - The construction supervisor must ensure that:
 - all vehicles transporting material from the site cover such material so as to minimise sediment transfer;
 - the wheels of vehicles leaving the site:
 - do not track soil and other waste material onto any public road adjoining the site; and
 - fully traverse the site's stabilised access point.
- (13) **Fill Compaction** - All fill must be compacted in accordance with Camden Council's current Engineering Design Specifications.
- (14) **Removal of Waste Materials** - Where there is a need to remove any identified materials from the site that contain fill/rubbish/asbestos, the waste material shall be assessed and classified in accordance with the NSW EPA Waste Classification Guidelines 2014 (refer to: www.epa.nsw.gov.au/wasteregulation/classify-guidelines.htm)

Once assessed, the materials shall be disposed of to a licensed waste facility suitable for that particular classification of waste. Copies of tipping docketts shall be retained and supplied to Council upon request.

- (15) **Soil, Erosion, Sediment and Water Management – Implementation** - All requirements of the erosion and sediment control plan and/or soil and water management plan shall be maintained at all times during the works and any measures required by the plan shall not be removed until the site has been stabilised.
- (16) **Construction Waste Management Plan** - Construction waste management must be undertaken in accordance with the approved "*Waste Management Plan*, (or similar plan). The plan must be kept on site for compliance until the completion of all works.
- (17) **Air Quality** - Vehicles and equipment used on site must be maintained in good working order and be switched off when not operating. The burning of any waste material is prohibited.
- (18) **Noise During Work** - Noise levels emitted during works must comply with:
- (a) Construction period of 4 weeks and under:
- The LAeq level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 20 dB(A).
- (b) Construction period greater than 4 weeks and not exceeding 26 weeks:
- The LAeq level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 10 dB(A).
- (c) Construction period greater than 26 weeks:
- The LAeq level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 5 dB(A).

Alternatively, noise levels emitted during works shall be restricted to comply with the NSW Environment Protection Authority Interim Construction Noise Guidelines.

- (19) **Mechanical Plant Selection and Attenuation** - Mechanical plant for operation of the pub should not exceed the following noise levels (refer below) when cumulatively assessed at the closest noise impacted property boundaries:
- Day 53 dB(A) (LAeq, 15min).
 - Evening 41 dB(A) (LAeq, 15min).
 - Night 35 dB(A) (LAeq, 15min).
- All plant must be suitably located on site or screened with suitable acoustic materials to meet the criteria.
- (20) **Location of Stockpiles** - Stockpiles of soil shall not be located on / near any drainage lines or easements, natural watercourses or water bodies, footpath or roadway without first providing suitable protective measures adequate to protect

these water bodies. All stockpiles of contaminated materials shall be suitably covered to prevent dust and odour nuisance.

- (21) **Disposal of Stormwater** - Water seeping into any site excavations is not to be pumped into the stormwater system unless it complies with relevant EPA and ANZECC standards for water quality discharge.
- (22) **Delivery Register** - The applicant must maintain a register of deliveries which includes date, time, truck registration number, quantity of fill, origin of fill and type of fill delivered. This register must be made available to Council officers on request and be provided to the Council at the completion of the development.
- (23) **Fill Material (VENM)** - Prior to the importation and/or placement of any fill material on the subject site, an assessment report and sampling location plan for such material must be provided to and approved by the principal certifier.

The assessment report and associated sampling location plan must:

- a) be prepared by a contaminated land specialist; and
- b) be endorsed by a practising engineer with Specific Area of Practice in Subdivisional Geotechnics; and
- c) be prepared in accordance with;

Virgin Excavated Natural Material (VENM):

- i) the Department of Land and Water Conservation publication "Site investigation for Urban Salinity;" and
- ii) the Department of Environment and Conservation - Contaminated Sites Guidelines "Guidelines for the NSW Site Auditor Scheme (Third Edition) - Soil Investigation Levels for Urban Development Sites in NSW."
- d) confirm that the fill material;
 - i) provides no unacceptable risk to human health and the environment;
 - ii) is free of contaminants;
 - iii) has had salinity characteristics identified in the report, specifically the aggressiveness of salts to concrete and steel (refer Department of Land and Water Conservation publication "Site investigation for Urban Salinity");
 - iv) is suitable for its intended purpose and land use; and
 - v) has been lawfully obtained.

Sampling of VENM for salinity of fill volumes:

- e) less than 6000m³ - 3 sampling locations; and

- f) greater than 6000m³ - 3 sampling locations with 1 extra location for each additional 2000m³ or part thereof.

For e) and f) a minimum of 1 sample from each sampling location must be provided for assessment.

Sampling of VENM for contamination and salinity must be undertaken in accordance with the following table:

Classification of Fill Material	No of Samples Per Volume	Volume of Fill (m ³)
Virgin Excavated Natural Material	1 (see Note)	1000 or part thereof

Note – Where the volume of each fill classification is less than that required above, a minimum of 2 separate samples from different locations must be taken.

- (24) **Offensive Noise, Dust, Odour and Vibration** - All work shall not give rise to offensive noise, dust, odour or vibration as defined in the *Protection of the Environment Operations Act 1997* when measured at the property boundary.
- (25) **Erosion and Sedimentation Control** - Soil erosion and sedimentation controls are required to be maintained for the duration of the works. The controls must be undertaken in accordance with version 4 of the *Soils and Construction – Managing Urban Stormwater manual (Blue Book)*.

Soil erosion and sediment control measures shall only be removed upon completion of the works when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).
- (26) **Protection for Existing Trees** – The protection of existing trees (on-site and street trees) must be carried out as specified by AS 4970 *Protection of Trees on Development Sites*.
- (27) **Unexpected Finds Contingency (General)** - Should any suspect materials (identified by unusual staining, odour, discolouration or inclusions such as building rubble, asbestos, ash material, etc.) be encountered during any stage of works (including earthworks, site preparation or construction works, etc.), such works shall cease immediately until a certified contaminated land consultant has been contacted and conducted a thorough assessment.

In the event that contamination is identified as a result of this assessment and if remediation is required, all works shall cease in the vicinity of the contamination and Council shall be notified immediately.

Where remediation work is required, the applicant will be required to obtain consent for the remediation works.

- (28) **Salinity Management Plan** - All approved development that includes earthworks, imported fill, landscaping, buildings and associated infrastructure must be carried out or constructed in accordance with the management strategies as contained within the approved salinity management plan titled *“Report on Salinity Investigation and Management Plan: Proposed Residential Subdivision; Denbigh Estate*

Cobbitty NSW, prepared by Douglas Partners, Project No 76772.00, Dated November 2016."

- (29) **Relics Discovery During Works** – If any relic surviving from the past is uncovered during the work that could have historical significance (but is not an aboriginal object):
- all work must stop immediately in that area;
 - Heritage NSW must be advised of the discovery in writing in accordance with Section 146 of the *Heritage Act 1977*, and
 - any requirements of Heritage NSW must be implemented.
- (30) **Aboriginal Objects Discovered During Works** – If any Aboriginal object (including evidence of habitation or remains) is discovered during the work:
- all excavation or disturbance of the area must stop immediately in that area,
 - Heritage NSW must be advised of the discovery in writing in accordance with Section 89A of the *National Parks and Wildlife Act 1974*, and
 - any requirements of Heritage NSW must be implemented.
- (31) **Compaction** – The area of the lot subject to filling must be compacted in accordance with Council's current Engineering Construction Specifications. A suitably qualified and experienced geotechnical engineer must supervise the placing of fill material and certify that the work has been carried out to level 1 responsibility in accordance with Appendix B of AS 3798.
- (32) **Compliance with BCA** - All building work shall be carried out in accordance with the requirements of the BCA.
- (33) **Signage** - Suitable signage must be displayed at all exit locations advising patrons to be mindful of noise when leaving the premises.
- (34) **Protection of Existing Pipe / Culvert** – Works occurring within easement (L) on DP1247076 may only be carried out under the supervision of a staff member from Council's Asset and Design Services team. The request for supervised works shall occur at least 48 hours prior to the carrying out of those works. To book, contact mail@camden.nsw.gov.au.
- (35) **Temporary Pipe Protection** – During site works Council staff may determine that temporary pipe protection measures are required to be installed. The person acting on this consent must install any pipe protection works deemed necessary by Councils Asset and Design Services team.
- (36) **Developer Responsibility** – The developer / owner bears the responsibility for any damage caused to Council assets during construction. In the event specific treatment is required as a result of damage caused during works, the developer must adhere to any such direction from Council.

5.0 - Prior to Issue of an Occupation Certificate

An Occupation Certificate shall be obtained prior to any use or occupation of the development. The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Related Development Application** – An occupation certificate for DA/2022/753/2 (or as amended) must be issued prior to the issuing of any occupation certificate for this development.
- (2) **Fire Safety Certificates** - A Fire Safety Certificate shall be provided to the principal certifier in accordance with the requirements of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*.
- (3) **Survey Certificate** - A registered surveyor shall prepare a Survey Certificate to certify that the location of the building in relation to the allotment boundaries complies with the approved plans or as specified by this consent. The Survey Certificate shall be provided to the satisfaction of the principal certifier.
- (4) **Mechanical Exhaust System** - A Certificate of Compliance prepared by a suitably qualified engineer confirming that the mechanical exhaust systems have been designed, constructed and installed in accordance with the relevant requirements of Clause F4.12 of the BCA and AS1668 Parts 1 and 2, shall be provided to the principal certifier. Certification shall be provided that the air handling system as installed has been tested and complies with the approved plans and specifications, including ventilation requirements and fire precautions.
- (5) **Food Premises Notification** - Council shall be notified that the premises is being used for the preparation, manufacture or storage of food for sale, or food intended for sale. A 'Notification of Food Premises' form can be found on Council's website.
- (6) **Driveway Crossing Construction** – A footpath crossing (where required) and a driveway crossing shall be constructed in accordance with this development consent and the driveway crossing approval prior to use or occupation of the development.
- (7) **Services** - Certificates and/or relevant documents shall be obtained from the following service providers and provided to the principal certifier:
 - a) Energy supplier – A Notice of Arrangement for the provision of distribution of electricity from Endeavour Energy to service the proposed development;
 - b) Water supplier – A Section 73 Compliance Certificate demonstrating that satisfactory arrangements have been made with a water supply provider to service the proposed development.

The assessment will determine the availability of water and sewer services, which may require extension, adjustment or connection to Sydney Water mains. Sydney Water will assess the development and if required will issue a Notice of Requirements letter detailing all requirements that must be met. Applications can be made either directly to Sydney Water or through a Sydney Water accredited Water Servicing Coordinator (WSC). Go to www.sydneywater.com.au/section73 or phone 1300 082 746 to learn more about applying through an authorised WSC or Sydney Water.

- (8) **External Walls and Cladding Flammability** – The external walls of the building, including attachments, must comply with the relevant requirements of the National

Construction Code (NCC). Prior to the issue of an Occupation Certificate principal certifier must:

- a) be satisfied that suitable evidence is provided to demonstrate that the products and systems used in the construction of external walls, including finishes and claddings such as synthetic or aluminium composite panels, comply with the relevant requirements of the NCC; and
- b) ensure that the documentation relied upon in the approval processes includes an appropriate level of detail to demonstrate compliance with the NCC as built.
- (9) **Reinstate Verge** - The applicant shall construct and/or reconstruct the unpaved verge area with grass, species and installations approved by Council.
- (10) **Waste Management Plan** - The principal certifier shall ensure that all works have been completed in accordance with the approved waste management plan referred to in this development consent.
- (11) **Waste Collection Contract** - The building owner shall ensure that there is a contract with a licensed contractor for the removal of all waste. A copy of the contract is to be held on the premises at all times.
- (12) **Completion of Landscape Works** - All landscape works, including the removal of noxious weed species, are to be undertaken in accordance with the approved landscape plan and conditions of this development consent.
- (13) **Landscape Certification** – Certification is to be provided to the Principal Certifying Authority (PCA) from the designer of the landscape plan that all tree planting/landscape works have been carried out in accordance with the Council endorsed landscape plan. If Council is the PCA, the certification is to be submitted to Council prior to or at the final landscape inspection.
- (14) **Inspection of Existing Street Trees** – All existing street trees must be inspected by Council to ensure that they are undamaged and in a healthy condition.
- (15) **Acoustic Compliance Report** – A report shall be prepared by an independent acoustic consultant and be submitted to the principal certifier certifying that noise levels from the pub and its operations and mechanical plant (excluding patron and music noise) will comply with the following criteria when measured at the nearest noise affected existing or future residential lot to the site:
- 53 dB(A) LAeq 15minutes 7am-6pm;
 - 41 dB(A) LAeq 15 minutes 6pm-10pm; and
 - 35 dB(A) LAeq 15 minutes 10pm-7am.

All noise attenuation materials and structures used for the mitigation and control of noise must be compliant with the conditions of this development consent.

For any non-compliance, the report must make recommendations for compliance or further attenuation of noise sources and these recommendations will be enforced by Council at the cost of the owner/occupier.

The owner/occupier must then provide a supplementary acoustic report to the principal certifier certifying that all compliance works have been completed and that noise levels comply with the above criteria.

- (16) **Defects and Liability Bond** – The applicant is to lodge a bond with Council to cover any defects and liabilities of any new public infrastructure in accordance with Council's Development Infrastructure Bonds Policy.

Note. Fees are payable for the lodgment and refund of the bond.

6.0 - Ongoing Use

The following conditions of consent are operational conditions applying to the development.

- (1) **Number of Patrons** - The number of patrons permitted on the premises shall not exceed 750 at any given time.
- (2) **Manoeuvring of Vehicles** - All vehicles shall enter and exit the site in a forward direction.
- (3) **Removal of Graffiti** - The owner/manager of the site is responsible for the removal of all graffiti from the building and fences within 48 hours of its application.
- (4) **Hours of Operation** - The property is only to be open for business and used for the purpose approved within the following core hours:

Day	Hours of Operation
Monday – Saturday	7:00am – 12:00am
Sunday	10:00am – 12:00am

Notwithstanding the above, for a trial period of 12 months from the date of the issue of any Occupation Certificate the property is approved to be open for business and used for the purpose approved within the following extended hours of operation:

Day	Hours of Operation
Monday – Saturday.	7:00am – 2:00am (with a 12.00 midnight lockout)
Sunday.	10:00am – 12:00am

A further application must be submitted to Council prior to the expiration of this 12 month trial period if the person acting on this consent seeks to continue the extended operating hours. It is recommended that the further application be lodged with the Council at least three months prior to the expiry of the trial period.

At the end of the 12 month trial period the Council will base its consideration and determination of any further application for the extended hours on the following:

- Validated complaints associated with the operation of the premises received by the Council during the trial period.
- The Council's review of the applicant's complaints register and incidents register which are to be made available to the Council and Police upon request at any time.
- The results of any consultation by the Council with the Camden Local Area Police Command.

- Appropriate supporting evidence (e.g. an Acoustic Report) that may be required at the end of the trial period to demonstrate compliance with the conditions of this consent.
- (5) **Compliance with Plan of Management** – The approved development shall operate in accordance with approved document titled 'Plan of Management, prepared by GJ Consulting version 1.3, dated 15 August 2023, as amended by any conditions of this consent.
- (6) **Operation and Management of Loading Dock** – Where a vehicle is required to reverse into the loading dock the following must occur:
- Suitably trained staff member wearing a high visibility vest is to escort the reversing vehicle to ensure the safety of pedestrians and general traffic. The reversing vehicle is to ensure hazard lights are on at all times.
 - Sign posting is to be installed in a suitable location(s) which alerts approaching pedestrians and vehicles of a reversing vehicle(s). All signage must be maintained and in good condition at all times.
- (7) **Independent Liquor and Gaming Authority – License Premises Noise Criteria** - The operation of the hotel that includes any entertainment on the property must comply with the noise criteria set by the Independent Liquor and Gaming Authority.
- (8) **Gaming Room Noise Controls** - The combined noise from chimes and background music in the gaming room is to be limited to a sound pressure level of 65 dB(A) measured in the room.
- (9) **Internal Restaurant Noise** - The background music within the restaurant is to be limited to 70 dB(A) sound pressure when measured in the space.
- (10) **Noise Restriction** - The following noise restrictions apply as follows:
- Live music is not permitted to be played in any external area/s of the Tavern / Pub.
 - Background music from the external restaurant is to cease from 12.00 midnight.
- (11) **Patron Capacities** - A maximum of 318 patrons are permitted in the outdoor dining area on the ground floor at any one time and a maximum of 20 patrons in the outdoor area on the mezzanine. A maximum of 30 children are permitted within the external kids play area at any one time.
- (12) **Window / Door and Seating Area** - Operable windows and doors to the external seating areas are to be closed from 12.00 midnight. The seating area itself is to be closed to patrons from 12.00 midnight.
- (13) **Closing of Outdoor Kids Area** - The external kids play area is to be closed from 6.00pm each day.
- (14) **Waste Collection and Truck Deliveries** - The collection of waste and truck deliveries is restricted to occur during daytime hours.
- (15) **Glass Crushing** - The crushing of glass is restricted to daytime hours.

- (16) **Loading to Occur on Site** - All loading and unloading operations are to be carried out wholly within the building/site. The loading dock shall be used for loading and unloading operations in connection with the approved use.
- (17) **Driveways to be Maintained** - All access crossings and driveways shall be maintained in good order for the life of the development.
- (18) **Parking Areas to be Kept Clear** - At all times, the loading docks, car parking spaces, driveways and footpaths shall be kept clear of goods and shall not be used for storage purposes.
- (19) **Amenity** - The approved development shall be conducted and patrons controlled at all times so that no interference occurs to the amenity of the area, the footpath, adjoining occupations or residential/business premises.
- (20) **Offensive Noise and Noise Compliance** - The use and occupation of the premises including all plant and equipment shall not give rise to any offensive noise within the meaning of the *Protection of the Environment Operations Act 1997*. Noise must also comply with the NSW Noise Policy for Industry 2017.
- (21) **No Waste to Be Stored Outside of the Site** – No waste is to be placed on any public land (eg. footpaths, roadways, plazas, reserves, etc.) or any other properties at any time.
- (22) **Maintenance of Landscaping** - Landscaping shall be maintained in accordance with the approved landscape plan.
- (23) **Landscaping Maintenance Establishment Period** - Commencing from the date of practical completion, the applicant will have the responsibility to establish and maintain all hard and soft landscaping elements associated with this consent.

The 12 month maintenance and establishment period includes the applicant's responsibility for the establishment, care and repair of all landscaping elements including all street tree installations, plantings, lawn and hardscape elements including paths, walls, bins, seats, BBQs, shelters, playground equipment and soft fall treatments.

The date of practical completion is taken to mean completion of all civil works, soil preparation and treatment and initial weed control, and completion of all planting, turf installation, street tree installation and mulching.

At the completion of the 12 month landscaping maintenance and establishment period, all hard and soft landscaping elements (including any nature strip and road verge areas, street trees, street tree protective guards and bollards, etc) shall be in an undamaged, safe and functional condition and all plantings have signs of healthy and vigorous growth.

At the completion of the maintenance and establishment period, the landscaping works shall comply with the approved landscape plans and all improvements be in full working order.

- (24) **Food Premises** - All equipment (including pie warmers, hot food display units, etc) used for the display or storage of hot food shall maintain the food at a temperature of not less than 60°C.



All equipment used for the display or storage of cold food shall maintain the food at a temperature of not more than 5°C.

A food business must, at food premises where potentially hazardous food is handled, have a temperature measuring device (eg probe thermometer) that:

- a) Is readily accessible; and
- b) Can accurately measure the temperature of potentially hazardous food to +/- 1oC

A suitable waste contractor(s) must be engaged for the removal of wastes generated at the premises. All bins and waste storage facilities at the premises are to be sealed and emptied on a regular basis to prevent odour, vermin and fire hazards from occurring.

SEPP Precincts - Western Parkland City (2021) Appendix 2 Assessment Table

Clause	Assessment	Compliance?
<p>2.3 Zone objectives and land use table The consent authority must have regard to the objectives for development in a zone when determining a development application in respect of land within a zone:</p> <ul style="list-style-type: none"> • B1 Neighbourhood Centre. • R1 General Residential: 	<p>Regard has been given to the B1 Neighbourhood Centre and R1 General Residential zone objectives. The proposed development seeks to establish a business that will be utilised by the people who live and work in the surrounding neighbourhood. The proposed development encourages walking / cycling seeking to create a strong pedestrian through link which will serve the residential area north, connecting it with the future southern portion of the Northern Neighbourhood Centre.</p>	Yes.
<p>4.3 Height of buildings Maximum building heights must not exceed the maximum building height shown on the Height of Buildings Map.</p>  <p>The maximum building height for this site is 18.0m (P) and 9.5 (O).</p>	<p>In relation to the RL of a building, the vertical distance from existing ground level to the highest point of the building = $RL119.46 - 106 = 13.46m$ (observed from the eastern elevation). Additionally, the bin enclosure area contained to north-eastern portion of site, is subject to a 9.5m height of building development standard due to mapping anomaly. The highest element in this area is taken to be the vertical black louver screen being less than 2m in height from existing ground level.</p>	Yes.
<p>5.3 Development near zone boundaries (1) The objective of this section is to provide flexibility where the investigation of a site and its surroundings reveals that a use allowed on the other side of a zone boundary would enable a more logical and appropriate development of the site and be compatible with the planning objectives and land uses for the adjoining zone.</p>  <p>Applies to land within the relevant distance (50m) of a boundary between any 2 zones.</p>	<p>R1 General Residential zoned land encroaches portion of the site by a maximum of 9m. The development has been considered against the B1 Neighbourhood Centre and R1 General Residential zone objectives as required by clause 2.3 above. The development is consistent with the objectives of both zones and the carrying out of the proposed development is desirable from a land use planning and infrastructure point of view. This is demonstrated in more detail throughout the main body of the attached report.</p>	Yes.
<p>6.2 Public utility infrastructure (1) Development consent must not be granted for development on land in an urban release area unless the Council is satisfied that any public utility infrastructure that is essential for the proposed development is available or that adequate arrangements have been made to make that infrastructure available when it is required.</p>	<p>Council staff are satisfied the site contains essential public utility infrastructure.</p>	Yes.
<p>6.3 Development in Special Area. (2) The consent authority must not grant development consent for development on land in a special area unless a development control plan that provides for detailed development controls has been prepared for the land.</p>	<p>The site is identified under the former Growth SEPP as being special area 'C' – subject to consideration against section 5 and Part B4 of the Oran Park DCP. Part B4 of the Oran Park DCP provides detailed development controls that have been prepared for the land. The proposal has been assessed in detail against this part under a separate attached assessment table.</p>	Yes.

SEPP Industry and Employment (2021) – Schedule 5 Assessment.

Section	Control	Assessment	Compliance ?
Character of the area.	Is the proposal compatible with the existing or desired future character of the area or locality in which it is proposed to be located?	The proposed signage is compatible with the desired future character of the area as it aligns with the intended use of the site.	Yes.
	Is the proposal consistent with a particular theme for outdoor advertising in the area or locality?	The signage envisioned for the area is set out by specific DCP objectives and controls relating to the Neighbourhood Centre. Proposed signage is consistent with signage envisioned for the area.	Yes.
Special areas.	Does the proposal detract from the amenity or visual quality of any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas?	The proposed signage is not considered to detract from the amenity or visual quality of the area, including upon residential areas. The site is not located within any environmentally sensitive areas, heritage areas, conservation areas, open space, waterways, or rural landscapes.	Yes.
Views and vistas.	Does the proposal obscure or compromise important views?	Proposed signage does not compromise important views.	Yes.
	Does the proposal dominate the skyline and reduce the quality of vistas?	The proposed signage will not dominate the skyline nor will it reduce the quality of vistas.	Yes.
	Does the proposal respect the viewing rights of other advertisers?	The proposal will respect the viewing rights of other advertisers.	Yes.
Streetscape, setting or landscape.	Is the scale, proportion and form of the proposal appropriate for the streetscape, setting or landscape?	Proposed development has been assessed against relevant DCP controls to which compliance is achieved. The scale, proportion, and form are considered appropriate for the streetscape, setting and landscape.	Yes.
	Does the proposal contribute to the visual interest of the streetscape, setting or landscape?	Proposed signage is predominately attached to the proposed development whereby it is integrated with the built form. The proposed signage contributes to the visual interest of the built form.	Yes.
	Does the proposal reduce clutter by rationalising and simplifying existing advertising?	Proposed signage is predominately attached to the proposed development whereby it is integrated with the built form.	Yes.
	Does the proposal screen unsightliness?	Proposed signage creates interest to the facades. Proposed signage does not screen unsightliness.	Yes.
	Does the proposal protrude above buildings, structures or tree canopies in the area or locality?	The surrounding area is predominately undeveloped. The proposal is consistent with future buildings, structures, and tree canopies.	Yes.
	Does the proposal require ongoing vegetation management?	Not pertaining to signage.	Yes.
Site and building.	Is the proposal compatible with the scale, proportion and other characteristics of the site or building, or both, on which the proposed signage is to be located?	Proposed development has been assessed against relevant DCP controls to which compliance is achieved. The scale, proportion, and form are appropriate for the streetscape, setting and landscape.	Yes.
	Does the proposal respect important features of the site or building, or both?	Proposed signage will emphasise key elevations.	Yes.
	Does the proposal show innovation and imagination in its relationship to the site or building, or both?	Proposed signage is innovatively attached and integrated with the built form.	Yes.
Associated devices and logos with advertisements and advertising structures	Have any safety devices, platforms, lighting devices or logos been designed as an integral part of the signage or structure on which it is to be displayed?	The signage will comply with the relevant As imposed by conditions of consent.	Yes.

CLPP01

Attachment 3

SEPP Industry and Employment (2021) – Schedule 5 Assessment.

Illumination	Would illumination result in unacceptable glare?	Signage is illuminated. Signage will be conditioned to comply with the relevant AS in regard to illumination.	Yes.
	Would illumination affect safety for pedestrians, vehicles or aircraft?	As above – signage is not considered to affect safety for pedestrians and vehicles. Regarding aircraft, the proposed development is located outside of land shown as the 6km lighting intensity radius from part 4.3 of SEPP (Precincts – Western Parkland City) 2021. Therefore, signage does not pose any concerns to aircraft.	Yes.
	Would illumination detract from the amenity of any residence or other form of accommodation?	No, all signage will be conditioned to comply with relevant AS in regard to illumination.	Yes.
	Can the intensity of the illumination be adjusted, if necessary?	All signage will be conditioned to comply with relevant AS in regard to illumination.	Yes.
	Is the illumination subject to a curfew?	No.	Yes.
Safety	Would the proposal reduce the safety for any public road?	Signage along the frontage of The Northern Road is consolidated to one detached pylon sign. This organised arrangement displays and presents signage in a safe manner that is not distracting or overwhelming to road users.	Yes.
	Would the proposal reduce the safety for pedestrians or bicyclists?	As outlined above.	Yes.
	Would the proposal reduce the safety for pedestrians, particularly children, by obscuring sightlines from public areas?	As outlined above.	Yes.

CLPP01

Attachment 3

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

CLPP01

Attachment 4

Section / Control	Assessment	Compliance?																					
2.17.1 General Requirements for Signage.																							
Signs and Road Safety.																							
(2) The location of signs must not obscure views of traffic signs or traffic signals or have the potential to cause confusion with traffic signs or traffic signals.	The proposed development will incorporate a range of detached free-standing signage and mounted wall signs. All signage complies with the relevant DCP controls as considered further below.	Yes.																					
(3) The location of signs must not interfere with the view of oncoming vehicles, pedestrians or a road hazard or obstruction which should be visible to drivers or other road users.	This is discussed above.	Yes.																					
(4) Signs must not be located at a major intersection, pedestrian crossing or at merging or diverging lanes.	The 6.0m (h) x 3.0m (w) x 0.5m (thick) detached pylon sign proposed to the south-east setback approx. 35m from the intersection of the Northern Road / Brunsdon Road has been considered. The setback together with the immediate landscaping is not likely to interfere with any major intersection, pedestrian crossing, merging or diverging lane(s).	Yes.																					
(5) Signs must not consist of flashing, electronic, running or moving signs or signage with an intensity of lighting sufficient to impair driver vision or distract driver attention.	Concern is raised with the proposed moving signage, such as the rotating static display pylon sign. A recommended condition of consent prohibits the use of any moving sign. Additionally, where signage is proposing illumination, a recommended condition requires compliance with AS 1158 and AS 4248.	Complies with condition.																					
2.17.2 Commercial and Mixed Use Zones.																							
(1) The total combined signage area on a building elevation must not exceed 20% of that building elevation that is visible from a public place	Northern elevation: No signage. Eastern elevation: 13.5 / 164 * 100 = 8.23% Southern elevation: 16m2 / 655 *100 = 2.4% Western elevation: 33 / 227 * 100 = 14.53% Where elevations are visible from a public space, they contain <20% of signage as shown above.	Yes.																					
(2) With the exception of under awning signs, all signs must be located wholly within the property boundaries.	No sign is located outside of the property boundary.	NA.																					
(3) All Illumination signage must comply with AS 1158 - Lighting for Roads and Public Spaces and AS 4282 - Control of the Obtrusive Effects of Outdoor Lighting.	This has been discussed above.	Yes.																					
(4) Window signs must be affixed to the inside of the window. The total combined window signage area must not exceed 20% of the visible window area.	No window signs proposed.	NA.																					
(5) A maximum of one pole or pylon sign per street frontage, not exceeding 6m above existing ground level is permitted.	One (1) detached pylon sign proposed with a maximum height of 6.0m from existing ground level.	Yes.																					
2.18.2 Off Street Car Parking Rates/Requirements.																							
A detailed car parking submission is required. Provision for coaches to pick up and set down may also be required for large establishments. <ul style="list-style-type: none"> 1 car parking space per 2m2 GFA of public bar area and 1 car parking space per 5m2 GFA of lounge, beer garden, auditorium, billiard room, restaurant and 25 car parking spaces per 100m2 of remaining public floor area. Developments must also accommodate: <ul style="list-style-type: none"> 1 bicycle space per 25 car parking spaces in excess of the first 25 car parking spaces; and 1 motorcycle space per 50 car parking spaces in excess of the first 50 car parking spaces. 	Car parking calculations as follows: <ul style="list-style-type: none"> Indoor dining area = 431.6m² Outdoor dining area = 472.8m² Sports lounge = 136.8m² VIP lounge = 144.7m² Mezzanine = 268m² Outdoor = 35.3m² <table border="1" style="margin-left: 20px;"> <thead> <tr> <th>Area / Rate</th> <th>Size.</th> <th>Spaces.</th> </tr> </thead> <tbody> <tr> <td>Indoor Area – 1 space / 5m².</td> <td>431.6</td> <td>87</td> </tr> <tr> <td>Outdoor Area – 1 space / 5m²</td> <td>472.8</td> <td>95</td> </tr> <tr> <td>Sports Lounge – 1 space / 5m²</td> <td>136.8</td> <td>28</td> </tr> <tr> <td>VIP Lounge – 1 space / 5m²</td> <td>144.7</td> <td>29</td> </tr> <tr> <td>Mezzanine – 1 space / 5m²</td> <td>268</td> <td>54</td> </tr> <tr> <td>Outdoor Area – 1 space / 5m²</td> <td>35.3</td> <td>8</td> </tr> </tbody> </table>	Area / Rate	Size.	Spaces.	Indoor Area – 1 space / 5m ² .	431.6	87	Outdoor Area – 1 space / 5m ²	472.8	95	Sports Lounge – 1 space / 5m ²	136.8	28	VIP Lounge – 1 space / 5m ²	144.7	29	Mezzanine – 1 space / 5m ²	268	54	Outdoor Area – 1 space / 5m ²	35.3	8	No. Variation supported.
Area / Rate	Size.	Spaces.																					
Indoor Area – 1 space / 5m ² .	431.6	87																					
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Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Section / Control	Assessment	Compliance?						
	<table border="1"> <tr> <td>Total GFA</td> <td>1,489</td> <td>301</td> </tr> <tr> <td>Total Public Floor Area.</td> <td>1,370</td> <td>-</td> </tr> </table> <p>*Total amount required = 301 / Total provided = 195 (shortfall of 106 spaces)</p> <p>Note: Adjoining development (DA/2022/753/2) provides a surplus of 32 spaces of which the site will have benefit should it be required.</p> <p><u>This has been discussed further in the main body of the report.</u></p>	Total GFA	1,489	301	Total Public Floor Area.	1,370	-	
Total GFA	1,489	301						
Total Public Floor Area.	1,370	-						
2.18.3								
Car Parking Design Criteria.								
<u>Service vehicle provisions.</u>	(1) The site is irregular in shape and is constrained by significant level differences. The proposed design and layout is considered to be responsive to the site constraints. As such, it is not practical to provide separate off-street loading / unloading area without compromising valued elements of the proposal. Council staff had initially expressed concerns with service vehicles reversing back across a two-way aisle and pedestrian path. In addressing these concerns, the following measures have been introduced which are taken to satisfy concerns initially raised:	Yes.						
(1) Where provision of separate off-street loading/unloading areas may prove difficult Council may consider requests from applicants to allow:	<ul style="list-style-type: none"> Shared parking and loading areas, with limitations on the hours during which vehicular loading/unloading may take place; or Creation of kerbside loading zones. 							
(2) Access by a garbage collection vehicle, where necessary, must be provided to development.	<ul style="list-style-type: none"> Ensure there is an escort in a high visibility vest that assists reversing trucks / ensures safety of pedestrian and general traffic where required. Installation of signs which alert motorists and pedestrians of reversing vehicles. Trucks fitted with reverse alarm and to ensure hazard lights are turned on. Deliveries and collections to occurring during non-speak periods. 							
<u>Table 2-6: Service Vehicle Requirements:</u>	(2) Access for a 12.5m (HRV) to the development is facilitated by existing access from the Northern Road slip lane. It is noted that waste vehicles cannot utilise proposed access from road 16 or Brunson Road which will assist in reducing conflict between smaller vehicles and pedestrians.							
<ul style="list-style-type: none"> 1 car parking space per 400m² GFA or part thereof for the first 2,000m² GFA; and 1 car parking space per 800m² GFA or part thereof thereafter (50% of spaces adequate for trucks). 	Total GFA = 1520m ² . 1520/400 = 3.8 > 4 spaces for service vehicles.							
	The proposed loading dock arrangement provides:							
	<ul style="list-style-type: none"> One 6.4m (SRV) space. One 12.5m (HRV) space. 							
	The loading dock does not strictly allocate space for the provision of an additional two non-truck spaces. However, it is accepted smaller service vehicles/vans/utes could utilise (when unoccupied), the larger SRV/HRV space. Additionally, smaller non-bulky deliveries typical to front of house operations may be dropped off through main Tavern entrance whereby car parking standard spaces can accommodate a B99 service vehicle. The submitted Plan of Management demonstrates how deliveries will be managed, noting all deliveries are to occur during off-peak times. As such, the proposed development is considered to provide sufficient space and management solutions to accommodate the deliveries.	Yes.						
<u>Disabled Parking Requirements/</u>	The application is accompanied with an Access Report which demonstrates off-street parking has been provided in accordance with AS 2890.6. Councils Building Certification Department have reviewed the proposed development and raised no objection, subject to appropriate conditions.	Yes.						
<u>Parking for Motorcycles and Bicycles.</u>	Dimensions and details provided on architectural plans demonstrate the proposed car park complies with AS2890.3 and AS2890.5. Councils Engineering Certification Department have reviewed the proposed development and raised no objection, subject to appropriate conditions.	Yes.						
The design of the bicycle spaces should be in accordance with AS2890.3. Alternative designs for bicycle racks will be considered. The design of motorcycle spaces (on and off street) must be in accordance with the on-street design requirements specified in AS2890.5.								

Camden Development Control Plan 2019 (Camden DCP) Assessment Table

Section / Control	Assessment	Compliance?
2.18.3 Car parking design criteria.		
<u>Coaches and Car/Taxi Set-down.</u> (1) Taxi, private vehicle and coach drop-off/set-down areas should be provided for larger developments in a convenient off-street location close to pedestrian entrances, with consideration given to the design of the front of the building, safely and interruption to traffic.	(1) Zone provided which facilitates taxi and private vehicle drop off / pick up. This is located in close proximity to the main entrance of the Tavern where pedestrian movement is prioritised through bollards, threshold treatments, stairs and ramps.	Yes.
<u>Public Transport.</u> (1) Access to public transport services from developments should be maximised.	(1) North / south pedestrian through link is provided by the development which maximises connection to an existing bus zone located on Brunsdon Road. The benefits of this link will extend beyond the site, shortening the distance between the residential area north the existing bus zone.	Yes.
<u>Garbage vehicles.</u> (1) Garbage storage and collection areas should be conveniently located and designed so as not to cause unacceptable on-street conflicts.	(1) All garbage storage is located internally within a bin enclosure. The collection area accommodates a turning circle which will assist waste collection vehicles as they reverse in. As discussed above, conditions of consent are imposed to assist in enabling the safe and efficient reversing movement.	Yes.
<u>Planting Principles.</u> (3) Car parks that are highly visible from the public domain must comply with the following requirements: <ul style="list-style-type: none"> - provide a 2.5m wide landscape bay between every 6-8 car parking spaces, - provide a minimum 1m landscaping strip at the end of parking aisles, and - be landscaped generally in accordance with the Figure 2-12. 	(3) The car park is taken to be highly visible from the public domain as it has three road frontages. The proposed car park has been landscaped as guided by figure 2-12. Specifically: <ul style="list-style-type: none"> • Generous landscaping buffer is provided to all three road frontages, varying from 1.0m – 6.0m in width accommodating trees, shrubs and groundcovers. • Provides a landscaping bay between carparking spaces, typically every 5-6 spaces, noting the internal aisle contains a bay generally every 8-9 spaces (in accordance with figure 2-12). 	Yes.

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Attachment 4

Oran Park DCP (2022) Assessment Table

Section / Control	Assessment	Compliance?
2.1 Indicative Layout Plan.		
(1) All development is to be undertaken generally in accordance with the Indicative Layout Plan at Figure 2 subject to compliance with the objectives and development controls set out in this DCP	(1) The ILP identifies the site for the purposes of 'retail'. The proposed development and landuse is consistent with the envisioned landuse of 'retail premises'. The development proposed is consistent with the use identified by figure 2 in the Oran Park DCP (ILP).	Yes.
2.4 Northern Neighbourhood Centre.		
(1) Development is to be consistent with table 1 and figure 4.	(1) The proposed development is consistent with table 1 and figure 4 as discussed within the report. Refer further to section 3.4 below.	Yes.
3.1 Street Network Layout and Design.		
(14) No direct vehicular site access is permitted to The Northern Road.	The site does not seek to establish any new direct vehicular access from The Northern Road to the site.	NA.
5.2 Neighbourhood Centres.		
<p>Functions and Uses:</p> <ul style="list-style-type: none"> Provide for a maximum of 5,000m² GLAR of retail premises within each neighbourhood centre to cater for the needs of the local population Contain retail, commercial, entertainment, childcare and community uses to serve the needs of the local community, and Be central focus for the community and is to be supported by higher residential densities in close proximity to the centre 	<p>The proposal will introduce an additional 2,091m² of GLAR to the NCC, bringing the total GLAR of the NNC to 5,270m² (exceedance of 270m²). This figure is inclusive of approved DA/2018/1507 involving the construction, fit out and use of a supermarket and specialty retail buildings with nine tenancies. This proposal will contain a bistro, dining area, bar, sports lounge and kids play. It is anticipated that temporary communal events will be held throughout the year whereby the pedestrian through link will be utilised to support pop-up activities such as facepainting and the like.</p> <p>The applicant has submitted an economic needs assessment which concludes the exceedance of 270m² would not compromise the NCC's role as a neighbourhood centre, particularly that the Tavern is not considered an integral retail shop.</p> <p>The proposed development aligns with the NNC vision in that:</p> <ol style="list-style-type: none"> The development does not compromise the centres main commercial and retail land uses envisaged (and approved) to the southern NNC site. Aligns with one of the intended landuses, that being a 'Tavern'. Is highly accessible by pedestrians, cyclists and transport links. 	Yes.
<p>Built form:</p> <ul style="list-style-type: none"> Provide a range of building heights up to a maximum of 4 storeys, Buildings are to be visible from and have a presence to street frontages. The building and landscape design is to be complementary to ensure legible, safe, comfortable and easy access for pedestrians from the street frontages, within the centre and to adjoining land, where appropriate, Avoid blank walls visible from principal streets and the public domain, and Establish a 'sense of place' and contemporary character for the precinct through a high quality built form and energy efficient architectural design. 	<ul style="list-style-type: none"> The site has 4.0m of fall (1:10 grade) from Possum Street to Brunsdon Road. The development presents single storey in height to interface with Possum Street, while presenting as two storey when viewed from the eastern, southern and western elevations. The proposed development incorporates a range of building heights that responds and complements the constrained site topography. The development sympathetically presents to its street frontages. Fronting north the development closely aligns with the height and scale of future adjacent residential dwellings, characteristic of a two storey height of building. The eastern, southern and western elevations of the development respond with a larger height, containing outdoor dining areas, modulated building facades and roof forms all which enable the development to announce itself to the southern portion of the NNC and The Northern Road. No blank walls are visible from the street / public domain. The longest unbroken wall is observed to Possum Street. This wall is broken through various colours and materials and further obscured by large trees, shrubs and ground covers. This interface will be further improved through a recommended condition of consent. Sense of place is instilled through large pedestrian through 	Yes.

Oran Park DCP (2022) Assessment Table

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Attachment 5

Section / Control	Assessment	Compliance?
	link which services the northern residential catchment the site, providing access through the development and across Brunsdon Road through existing median break into adjoining southern NNC. In addition, the Tavern will be named 'Oxley Ridge Tavern' which complements the residential area of Oxley Ridge.	
Pedestrian Amenity: <ul style="list-style-type: none"> Provide high amenity pedestrian streetscapes to and within the neighbourhood centres Walking and cycling leading to and within the neighbourhood centres is to take priority over traffic circulation, Provide continuous weather protection for pedestrians, where possible, and Provide adequate solar access to key pedestrian streets. 	The development will establish pedestrian through link which connects Possum Street with Brunsdon Road through ramps, stairs and a disabled platform lift. This link generally aligns with existing pram ramp and median break in Brunsdon Road which connects to approved southern NNC. The proposal has further focused on formalising internal links between the site and adjoining take-away food and drink development (approved by DA/2022/753 to vacant eastern portion of site). Importantly, approved DA/2022/753 provides pedestrian access to Possum Street, road 17 and the existing sharepath located on the Northern Road. In total, the site has established five pedestrian links to the surrounding area. The proposed development has created a pedestrian friendly, walkable well landscaped, environment both within the site and outside of the site.	Yes.
Public Domain: <ul style="list-style-type: none"> Incorporate the principles of Crime Prevention Through Environmental Design (CPTED) and Safer by Design (NSW Police) into all development within the neighbourhood centres. Provide a high quality landscape design including a co-ordinated package of street furniture and lighting that enhances the character of the neighbourhood centres. Provide street tree and open space planting to provide generous shade for pedestrians, and Site servicing and loading facilities, waste storage and other infrastructure is to be designed to minimise visual impact on the public domain and impacts on neighbours. 	The development aligns with CPTED principles, which was also considered by the Camden Local Area Command. The development provides high quality landscaping throughout the car parking areas. Back of house areas and waste storage areas are contained internally and are not located so as to promote or facilitate anti-social behavior.	Yes.
Parking and Access: <ul style="list-style-type: none"> The visibility of parking areas at street frontages shall be minimised through parking layout and design, building location and design and landscaping treatments. Bitumen and cars are not to be the dominant features of the landscape. Parking areas shall be designed to enable legible, safe, comfortable and easy access for pedestrians from the street frontages, within the centre and to adjoining land, where appropriate. Provide a high quality landscape design including a co-ordinated package of street furniture and lighting that enhances the character of the neighbourhood centres. Opportunities for shared parking provision for compatible uses within the neighbourhood centre are to be provided Design waste storage and collection areas, in particular within mixed use development, to minimise amenity impacts 	The car park has been minimised through use of level differences, setbacks and site landscaping. This has been discussed in detail under section 2.18.3 above.	Yes.
6.2 Flooding and Watercycle Management.		
(2) Management of 'minor' flows using piped systems for the 20% AEP (residential land use) and 10% AEP	Water will discharge to a basin fronting The Northern Road, south of the site. This was reviewed by Council's Engineering Department who have recommended conditions.	Yes.
(3) Management of 'major' flows using dedicated overland flow paths in excess of the pipe drainage system capacity and above the 20% AEP shall be in accordance with Camden Council's Engineering Design Specification.	Water will discharge to a basin fronting The Northern Road, south of the site. This was reviewed by Council's Engineering Department who have recommended conditions.	Yes.

Oran Park DCP (2022) Assessment Table

Section / Control	Assessment	Compliance?
(4) Where practical, development shall attenuate up to the 50% AEP peak flow for discharges into the local tributaries, particularly Category 1 and 2 creeks	The development provides a temporary sediment basin which will reduce soil erosion and siltation during construction.	Yes.
(6) All development is to incorporate water sensitive urban design (WSUD).	The development incorporates WSUD as demonstrated throughout this assessment table and discussed in the body of the attached report.	Yes.
6.4 Aboriginal and European Heritage.		
(1) Aboriginal Archaeological Conservation Areas are identified Figure 24. Development shall not proceed within these areas without appropriate investigation and consultation with the relevant local Aboriginal groups and until a Plan of Management has been prepared that addresses the ongoing management of any archaeological deposits within the Conservation Areas.	The site is not identified as an aboriginal archaeological conservation area under figure 24.	Yes.
6.7 Contamination Management.		
1) DAs for development in Areas of Environmental Concern (AEC) as identified at Figure 28 shall be accompanied by a Stage 2	The site is not an area of environmental concern. Further consideration has been given under section 4.15 of this assessment report.	Yes.
6.9 Acoustics.		
(4) All industrial / commercial / employment development is to comply with the Industrial Noise Policy (DECC 2000).	The development appropriately attenuates noise associated with commercial development as per Camden Councils Noise Policy. This was reviewed by Councils Environmental Health Office in support of the application.	Yes.
8.2 Stormwater and Construction Management.		
(1) A Stormwater Concept Plan is to be submitted with each building DA indicating how stormwater will be managed and disposed of.	A satisfactory stormwater concept plan has been submitted.	Yes.
8.3 Waste Management.		
(1) A Waste Management Plan is to be submitted with all DAs with the exception of single dwelling housing or superlot subdivision applications.	Waste management has been prepared for proposed development. In response to the requirements: i. Waste will be separated on site with specific areas set aside for different types of waste generated, clearly signposted. ii. Table has been prepared identifying all types of waste and expected volume. iii. Table prepared that identifies method and location for disposal of waste. Waste will be collected once a week by a privately engaged waste contractor.	Yes.
(3) All business and industrial operations are to provide adequate on-site waste storage facilities that are readily accessible and appropriately screened from public view.	The proposal adopts a refuse area for waste that is secure from public view but, is readily accessible for disposal of on-site waste and, collection services.	Yes.
(4) Development must demonstrate that the design takes into account refuse storage and collection without reducing the amenity of a dwelling or neighbouring lots	The development adopts refuse area that is completely contained in an enclosed room where it is rolled out at arrival of waste vehicle.	Yes.
(5) Storage areas for rubbish bins are to be located away from the front of development where they have a significant negative impact on the streetscape, the visual presentation of the building entry and on the amenity of residents, building users and pedestrians.	Storage areas are contained to plant/loading/waste area all accessed from loading dock.	Yes.

Oran Park DCP (2022) Assessment Table

CLPP01

Attachment 5

Section / Control	Assessment	Compliance?
8.4 Site Facilities and Servicing.		
(1) Underground services are required for all domestic serving utilities, including electrical services.	The site will be serviced by the required servicing utilities and electrical services. Standard condition of consent to be imposed.	Yes.
8.6 Safety and Surveillance.		
(1) Buildings should be designed to overlook streets, lanes and other public or communal areas to provide casual surveillance. In the case of corner lots habitable windows are also be oriented to overlook the side street.	The development will present to The Northern Road (south-east) and Brunsdon Road (south-west). Both roads are a higher order roads (arterial / sub-arterial) which naturally provide surveillance through consistent and large volumes of vehicle movements. In addition, the proposal will provide opportunities for casual surveillance through elevated outdoor dining areas, pedestrian links and car park which will be at-grade with its respective road frontage.	Yes.
(2) The design of all development, in particular, the public domain and community facilities is to enhance public surveillance of public streets and open space / conservation areas	The development will enhance surveillance of public street frontages drawing in the nearby community and, providing active usages (such as outdoor dining terrace / play areas) overlooking public streets.	Yes.
(3) Appropriate design of publicly accessible areas (e.g. parks, footpaths, etc.) encourages a sense of community ownership of open and public spaces.	This has been discussed above in section 5.2.	Yes.
(5) Developments are to avoid creating areas for concealment and blank walls facing the street.	This is addressed under section 5.2 above.	Yes.
(6) Pedestrian and communal areas are to have sufficient lighting to ensure a high level of safety. These areas must be designed to minimise opportunities for concealment.	Existing street lighting and lighting from proposed development will ensure pedestrian and communal areas receive sufficient lighting to ensure high level of safety is achieved.	Yes.
(7) All development should aim to provide casual surveillance of the street as a means of passive security. This should be achieved by maximising outlooks and views, but minimising the overlooking of neighbouring properties	This is discussed above.	Yes.
(8) All developments are to incorporate the principles of Crime Prevention Through Environmental Design (CPTED). Development Applications for subdivision, public open space and community facilities may require a formal crime risk (CPTED) assessment as part of the EP & A Act 1979, development assessment and Camden Council's Designing Safer Communities – Safer by Design Guidelines (October 2002	The proposal was reviewed by Camden Local Area Police Command, which rated the development as a low crime risk. Conditions of consent have been recommended by the Camden Local Area Police Command pertaining to lighting, CCTV and maintenance of landscaping, which will be imposed to ensure that the development maintains its ability to comply with CPTED principles for the duration of its life.	Yes.

Section / Control	Assessment	Compliance?
3.4 Building Form and Articulation.		
(1) Building form is to be generally consistent with the layout and principles demonstrated on the Indicative Structure Plan shown on Figure 2.	<p>The proposed development is generally consistent with figure 2 – indicative structure plan in that it:</p> <ul style="list-style-type: none"> adopts a commercial development. adopts a similar building layout. provides access to Possum Street. <p>The development differs from figure 2 in that:</p> <ul style="list-style-type: none"> Additional car parking is proposed. The development does not incorporate shop top housing. The site was envisaged to have a perimeter road (currently Possum Street and 17) however, due to approved level differences in the range of 2m - 4.2m established under parent DA, it is not possible to achieve the intended outcome. <p>As considered with the main body of this report, the proposed development is generally consistent with figure 2 from Part B4 of</p>	Yes.

Oran Park DCP (2022) Assessment Table

Section / Control	Assessment	Compliance?
	the Oran Park DCP and is considered supportable.	
(3) Buildings located within the Neighbourhood Centre should provide a range of heights up to a maximum of 4 storeys	This has been discussed above under heading 5.2.	Yes.
(4) Commercial buildings fronting streets may be built to the property boundary to facilitate active street frontages:	<p>The commercial building is setback as follows:</p> <ul style="list-style-type: none"> • North-eastern setback to Possum Street = 2.0m. • North-western setback to road 14 = 81m. • South-western setback to Brunsdon Road = 2.4m. • South-eastern setback from paved loading area to the Northern Road = 10.069m. <p>As such, the proposed development is not built to any boundary. Notwithstanding, the proposed development incorporates a combination of active frontages such as:</p> <ul style="list-style-type: none"> • North / south pedestrian through link; and • Elevated open outdoor dining area overlooking the Northern Road, Brunsdon Road and pedestrian through link. 	Yes.
(5) Buildings must demonstrate articulation in the built form and incorporate a variety of colours and materials which provide visual interest and articulate key areas of buildings. The external finishes must be: <ul style="list-style-type: none"> a) Made from durable high quality, low maintenance and non-reflective materials; and non-reflective materials; b) Compatible with the overall design and form of the development; and c) Considered in association with proposed plantings and landscape treatment 	The development adopts a variety of materials including masonry, rendered masonry, cladding, painted panels and prefabricated metals. Colours of the abovementioned materials can be described as pastel appearing as part of the same family. As such, the materials and colours are taken to meet the requirements of the control.	Yes.
(6) Building facades that front key roads (i.e. Olive Hill Drive) which do not have active frontages (i.e. northern section of Neighbourhood Centre) must be designed to minimise the visibility and extent of large wall surfaces and respond to proposed finished ground levels.	The building will predominately front Brunsdon Road (formerly referred as Olive Hill Drive). This frontage (south-west) does not have any identified active frontages by the DCP rather is identified as 'street and park defining building'. The proposed development minimises visibility and extent of large wall surfaces by utilising level differences across the site. The development will present as single storey in height to interface with Possum Street (6.4m), presenting as two storey when viewed from the eastern, southern and western elevations. Notably, the development will provide sufficient landscaping to all road frontages, with particularly emphasis along Brunsdon Road and the intersection with the Northern Road where a landscape buffer ranges 1 – 6m in width or, 1 – 11m with additional buffer unaccounted for to the existing verge. As such, the extent of walls at ground level is minimised through building height and/or sufficient landscaping.	Yes.
(8) Buildings shall be designed to clearly identify pedestrian movement and entry ways to the Neighbourhood Centre buildings and to adjacent land uses	The proposed development incorporates a large pedestrian through link which services the northern neighbourhood residential catchment north of the site, providing access through the development and across Brunsdon Road through existing median break into adjoining southern NNC.	Yes.
(9) Building form should assist in creating a 'sense of place' and contemporary character for the precinct through a high-quality built form.	Building form is responsive to the northern residential catchment, southern portion of the NCC and, surrounding major road networks (The Northern Road / Brunsdon Road). This has been discussed in detail above.	Yes.
(10) Buildings fronting residential areas are to be designed to minimise impacts on residential land uses in terms of noise, traffic and circulation, emissions, and bulk and scale	<p>The adjacent Possum Street (to the north) contains 10 vacant residential lots. To minimise the potential impacts on future residential dwellings fronting Possum Street the following has occurred:</p> <ul style="list-style-type: none"> • Built form to Possum Street incorporates 2.0m landscaped setback with a maximum height of 6.5m, with form characteristic to a single / two storey dwelling house. • Of the 10 residential lots, 2 will have a primary frontage to the building façade of the Tavern; • The remaining lots will interface with the car park, noting a raised planter bay is proposed which obscures the 40 upper level parking spaces located 1.8m below the planter bay. 	Yes.

Oran Park DCP (2022) Assessment Table

CLPP01

Attachment 5

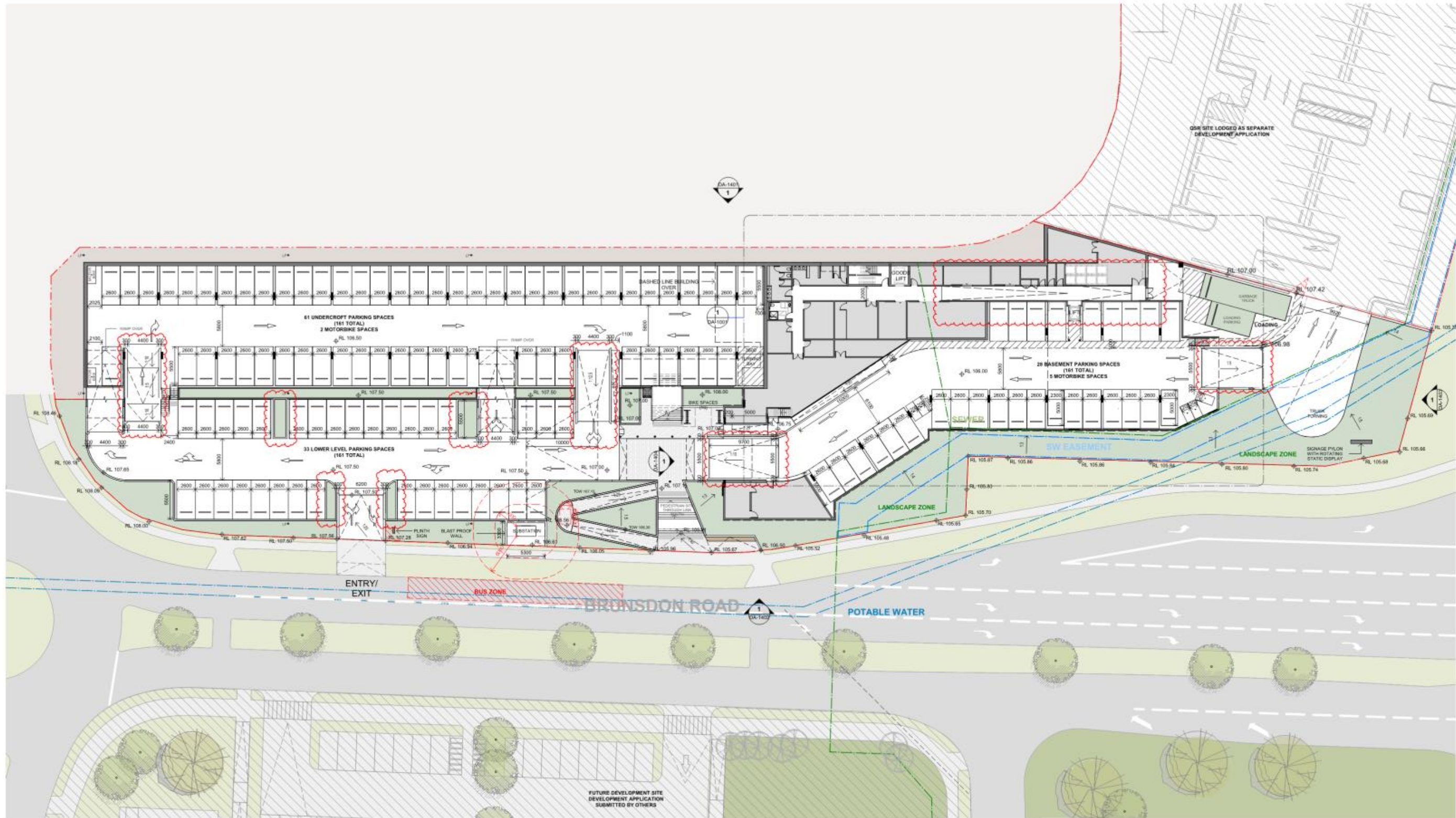
Section / Control	Assessment	Compliance?
	<ul style="list-style-type: none"> A Plan of Management and Acoustic Report have considered impacts to the adjoining residential area. These documents were reviewed by Council's Specialist Support Environmental Health Officer who is supportive of the proposal subject to recommended conditions of consent. 	
(11) Uses that activate frontages such as restaurants, cafes and the like are to consider providing openable shopfronts	This has been discussed in detail above.	Yes.
(12) Buildings are to be designed in an energy efficient manner, consistent with the Building Code of Australia.	The building incorporates a variety of windows, doors and skylights which are advantaged by the north / south orientation of the proposed development. The proposed development has incorporated use of lighter colours and materials together with landscaping is taken to reduce effects of the urban heat island. The proposed development was reviewed and supported by Council's Building Certification Team (subject to recommended conditions).	Yes.
(13) Waste storage areas are to be designed to minimise visual and acoustic impacts	This has been discussed in detail above.	Yes.
3.5 Public Domain.		
(1) High quality materials and finishes are to be utilised in the public realm / landscaped areas	The development incorporates a range of materials and colours which are unique and will signify the presence of the proposed development in its location. These high quality materials consist of varying masonry / metal material, both exposed and rendered adopting pastel colours. In addition, timber cladding and metal elements are incorporated to complement the overall design. The most publicly accessed area is anticipated to be the north / south pedestrian through link which has been embellished with benches, planter bays, bike spaces and paved ramps, stairs and surfaces. Overall, the proposed development exhibits materials and finishes that are unique to the proposed development.	Yes.
(2) Development and landscaping should be designed to minimise visual impacts and provide for efficient access and linkages across the Neighbourhood Centre (see Figure 4). Landscaping should be used to soften the visual impact of car parking and streetscape areas.	Pedestrian access as identified by figure 4 has been achieved, as discussed in detail above by the provision of a north / south pedestrian link. Landscaping has been incorporated within the car park and around the perimeter of the proposed development which assists in softening visual impact of car park and streetscape areas, while placing greater emphasis on pedestrians and a walkable environment.	Yes.
(3) Shading and/or weather protection is to be provided where appropriate, particularly fronting the small park/plaza in the southern precinct (see Figure 5) and main pedestrian access areas to the commercial buildings	Shading to the site is achieved through site landscaping. The proposed development does not seek to incorporate a variety of commercial tenancies that would typically be linked together by footpaths or open onto a public footpath requiring weather protection in the form of an awning. As such, the proposed development is taken to satisfy this control.	Yes.
(7) All signage and advertising is to be designed in a co-ordinated manner.	Signage proposed only relates to the proposed development. The signage is taken to be designed in a co-ordinated manner, complying with the relevant signage controls as assessed above.	Yes.
3.2 Access		
(1) Access linkages as illustrated in Figures 4 and 6 shall incorporate structural elements which identify the Neighbourhood Centre edge and provide for way-finding through the site and to/from the surrounding precinct through the pedestrian and cycleway network (see Figure 18 of Part A).	This has been discussed in detail above.	Yes.
(2) Where appropriate, walking and cycling leading to/from and within the Neighbourhood Centre are to have priority over traffic circulation.	The proposed development has utilised existing pedestrian / sharepaths. The prominent north / south pedestrian through link aligns with median break in Brunson Road, providing connection from the residential area north, through the site and into the adjacent southern portion of the NCC. Notably, this link provides ramped access together with a platform lift which enables access to cyclists and wheelchairs. Additionally, bollards are introduced to the pedestrian through link to assist in prioritising walking and cycling over traffic circulation where possible.	Yes.
(3) Parking must be provided in accordance	Please refer to section 2.18.	No. Variation

Oran Park DCP (2022) Assessment Table

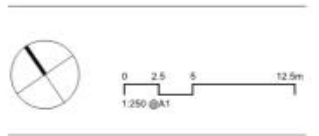
Section / Control	Assessment	Compliance?
with Camden DCP 2011 (as may be updated or replaced from time to time) and designed in accordance with Australian Standards 2890.1 and 2890.6.		supported.
(4) Opportunities for shared parking provision may be incorporated in the design of the centre, which recognise the variety of land uses, peak parking demands and other modes of transport.	Share parking provisions have been incorporated together with a dedicated courtesy bus zone. All shared provisions are located as close as possible to the entry of the Tavern.	Yes.
(5) Bicycle parking facilities are to be provided at appropriate locations in the Neighbourhood Centre.	The proposed development provides a total of 28 bicycle spaces located within the pedestrian only area, closest to the entry of the Tavern.	Yes.
(7) The Neighbourhood Centre is to incorporate an appropriate number of loading docks to service the development. Loading docks should be appropriately located and/or screened to minimise impacts on sensitive receivers	This has been discussed under heading 2.18.3 above.	Yes.
(8) All loading, circulation and access areas must comply with Australian Standard 2890.1	The proposal was reviewed by Councils Engineering and Traffic Departments who are in support of the proposed development subject to recommended conditions.	Yes.
(9) Final bus stop locations and design for local routes are to be determined by Transport for NSW. Design of the Neighbourhood Centre shall provide appropriate access linkages to the bus stop(s)	The proposal seeks to shorten the length of the existing signposted bus stop on Brunsdon Road to accommodate the ingress / egress to the site. The applicant has demonstrated consultation with relevant bus operators and TfNSW who have raised no objection in this regard. Additionally, Councils Traffic Engineering Team confirm the length of the bus stop remains sufficient to accommodate a bus and have provided in principal support. The reduced signposting is subject to concurrence from the Local Traffic Committee as a general condition of consent.	Yes.

CLPP01

Attachment 5



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15	23.12.2023	REVISED PARKING DRAFT ISSUE	ML	JT
16	20.01.2024	FOR COORDINATION	NS	JT
17	24.01.2024	FOR DA COORDINATION	NS	JT
18	17.01.2024	CLIENT REVIEW	NS	JT
19	01.02.2024	CLIENT REVIEW	NS	JT
20	07.02.2024	FOR DA REVIEW	NS	JT
21	08.02.2024	DA REVIEW	NS	JT
22	15.02.2024	DA REVIEW	NS	JT
23	26.02.2024	DA REVIEW	NS	JT
24	08.03.2024	DA REVIEW	NS	JT



Client
OXLEY RIDGE TAVERN
 2 Brunson Rd
 Cobbity NSW 2570

Drawing Name
OVERALL - BASEMENT

Date
08.06.2023

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Sheet Size
@ A1

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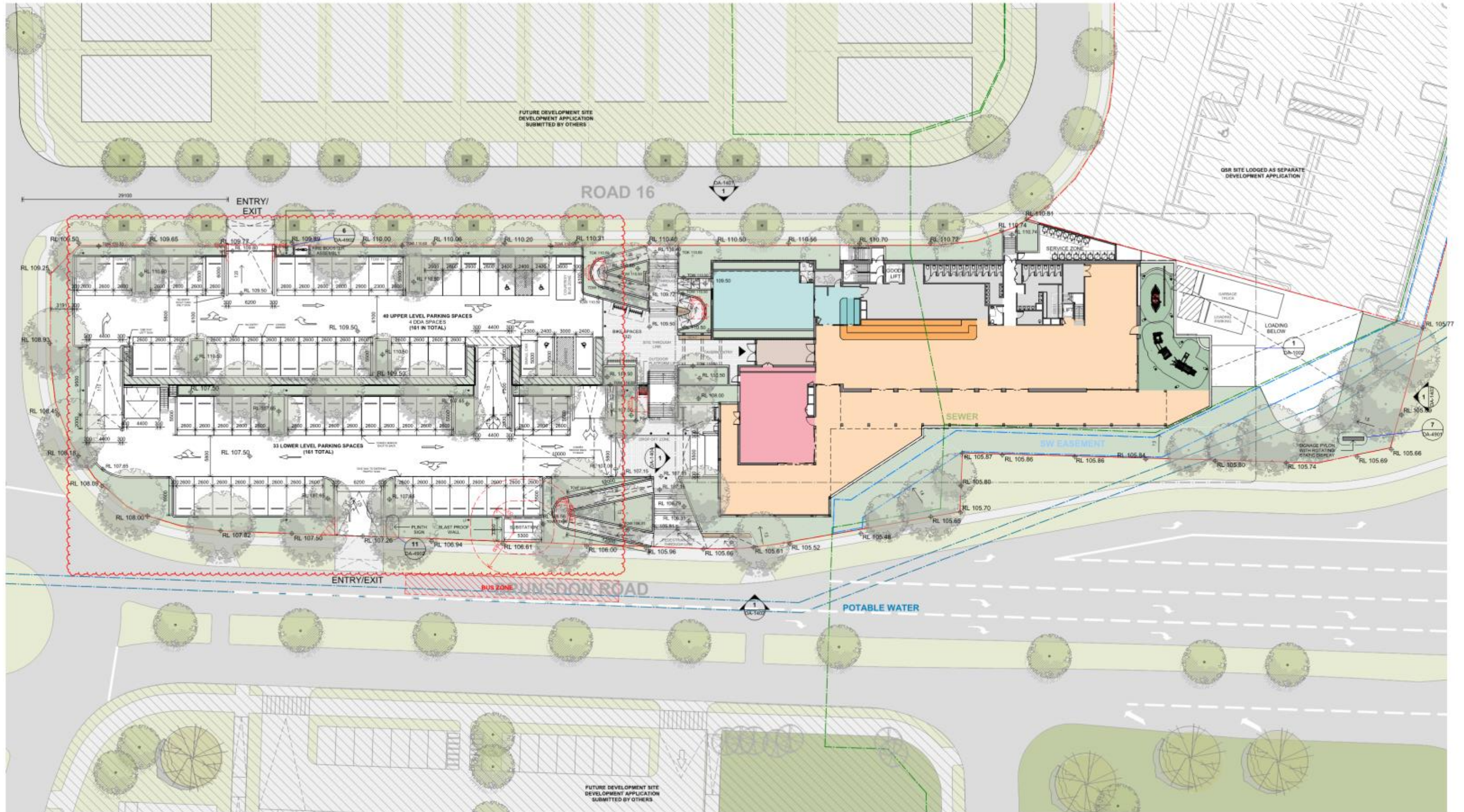
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Revision
6647

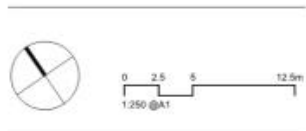
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16	20.01.2023	FOR COORDINATION	NS	JT
17	24.01.2023	FOR DA COORDINATION	NS	JT
18	31.01.2023	CLIENT REVIEW	NS	JT
19	01.02.2023	CLIENT REVIEW	NS	JT
20	07.02.2023	DA REVIEW	NS	JT
21	08.02.2023	DA REVIEW	NS	JT
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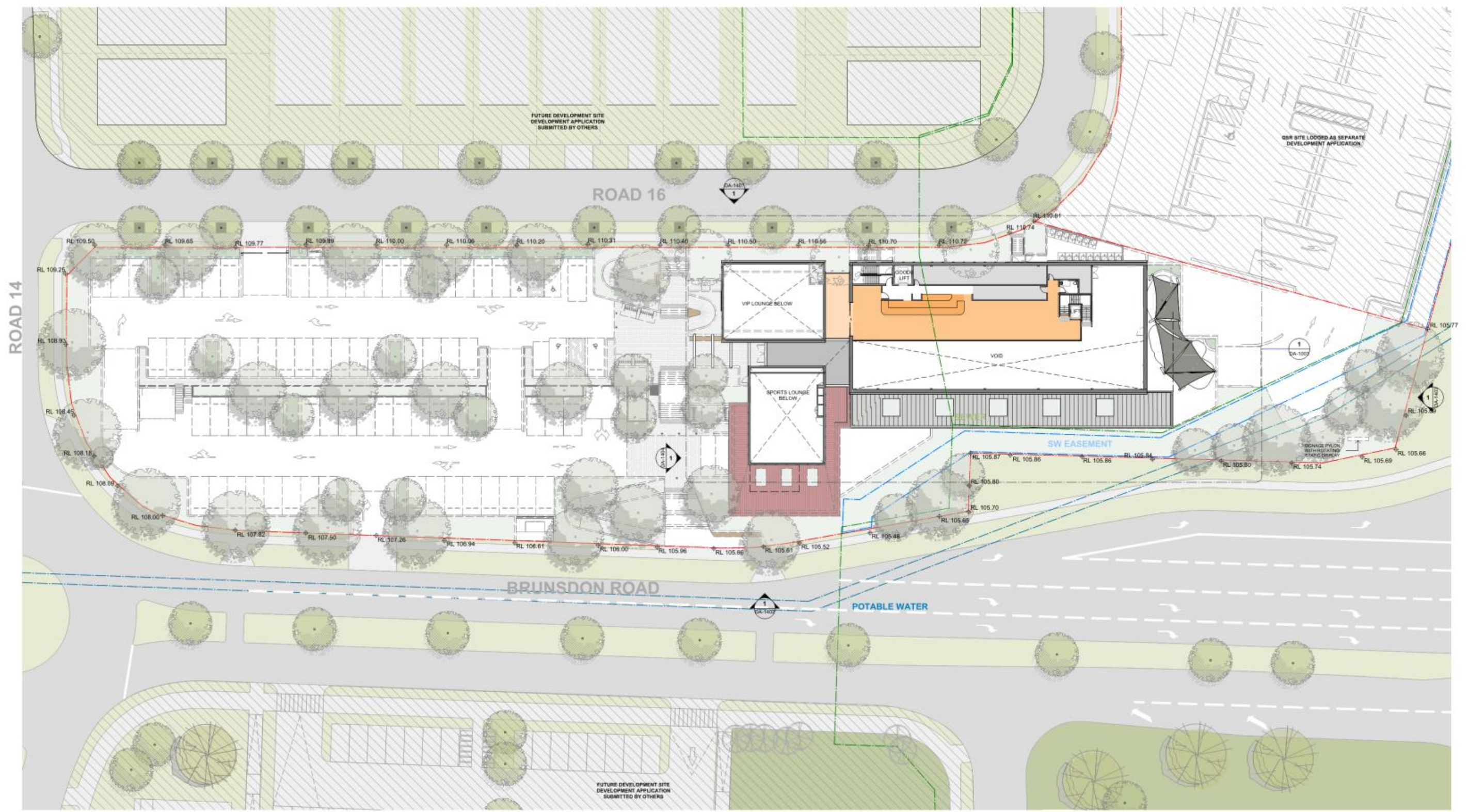
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Project
 OXLEY RIDGE TAVERN
 2 Brunson Rd
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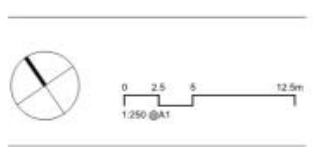
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10	24.10.2022	DRAFT DA	ML	JT
11	03.11.2022	DA CLIENT REVIEW	NS	JT
12	20.01.2023	FOR COORDINATION	NS	JT
13	20.01.2023	FOR DA COORDINATION	NS	JT
14	31.01.2023	CLIENT REVIEW	NS	JT
15	07.02.2023	CLIENT REVIEW	NS	JT
16	07.02.2023	DA REVIEW	NS	JT
17	08.02.2023	DA REVIEW	NS	JT
18	16.02.2023	DA ISSUE	NS	JT
19	08.06.2023	DA RFI ISSUE	NS	JT



Client
OXLEY RIDGE TAVERN
 2 Brunsdon Rd
 Cobbity NSW 2570

Drawing Name
 OVERALL - MEZANNINE

Date
 08.06.2023

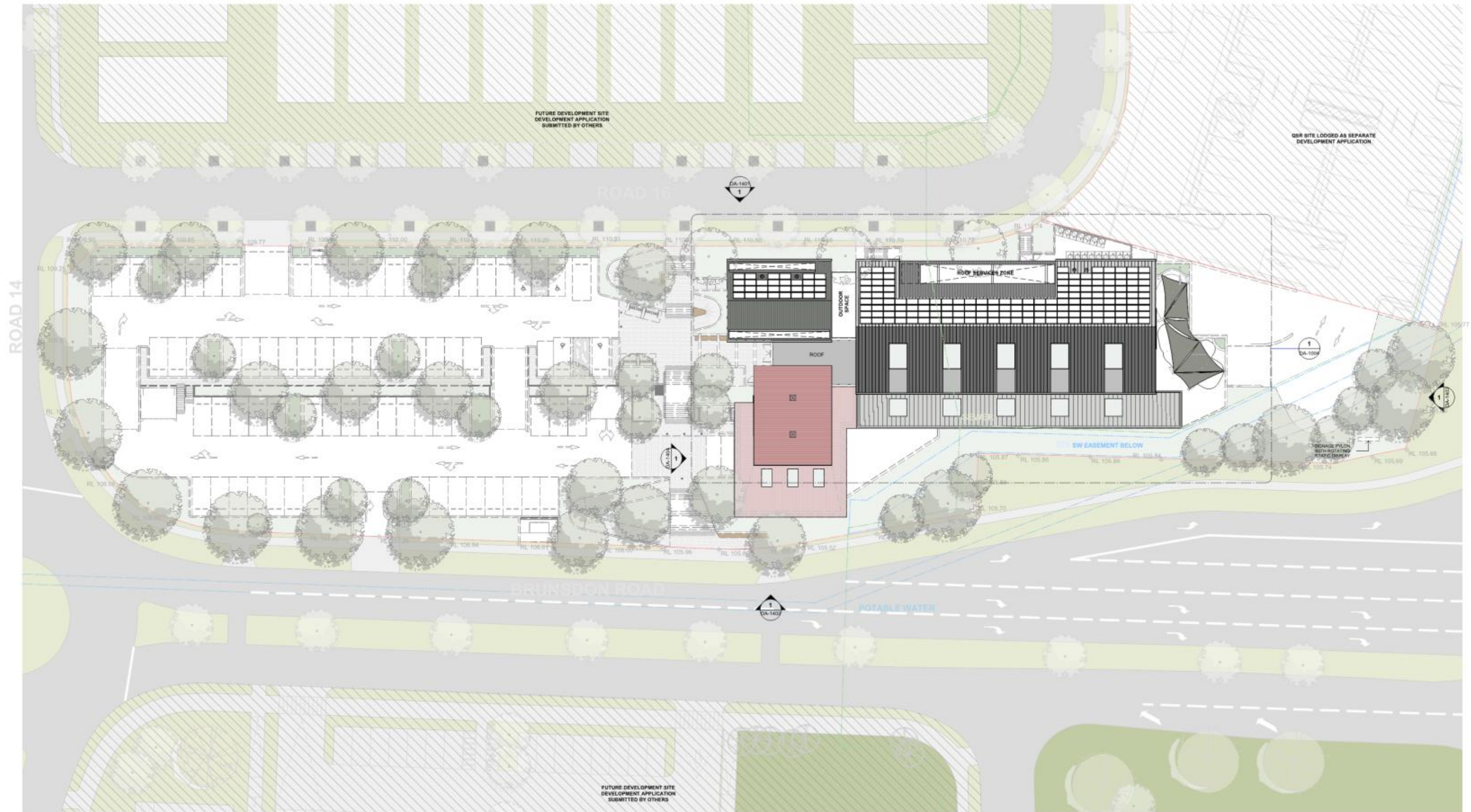
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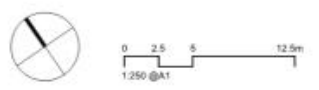
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11	05.11.2022	DA CLIENT REVIEW	NS	JT
12	20.01.2023	FOR COORDINATION	NS	JT
13	24.01.2023	FOR DA COORDINATION	NS	JT
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15	01.02.2023	CLIENT REVIEW	NS	JT
16	07.02.2023	DCA REVIEW	NS	JT
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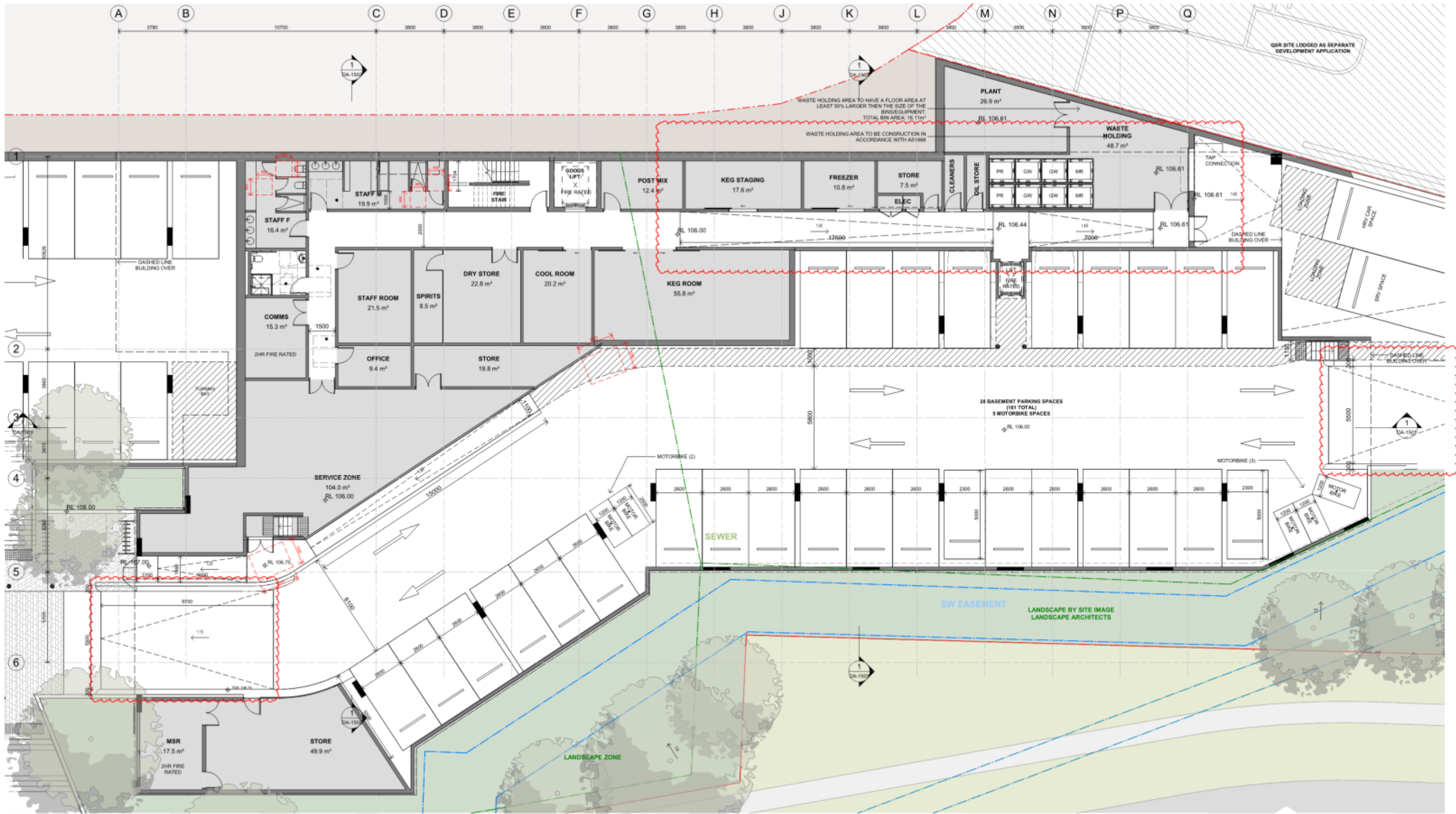
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Project
 OXLEY RIDGE TAVERN
 2 Brunston Rd
 Cobbity NSW 2570

Drawing Name
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ML	JT	6647
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17	23.12.2022	REVISED PARKING DRAFT ISSUE	ML	JT
18	20.01.2023	FOR COORDINATION	HS	JT
19	24.01.2023	FOR DA COORDINATION	HS	JT
20	31.01.2023	CLIENT REVIEW	HS	JT
21	01.02.2023	CLIENT REVIEW	HS	JT
22	07.02.2023	DA REVIEW	HS	JT
23	08.02.2023	DA REVIEW	HS	JT
24	15.02.2023	DA ISSUE	HS	JT
25	25.06.2023	DA RFI FOR REVIEW	HS	JT
26	06.06.2023	DA RFI ISSUE	HS	JT



Client
OXLEY RIDGE TAVERN
 2 Brunson Rd
 Cobbly NSW 2570

Project
FLOOR PLAN - BASEMENT

Date
08.06.2023

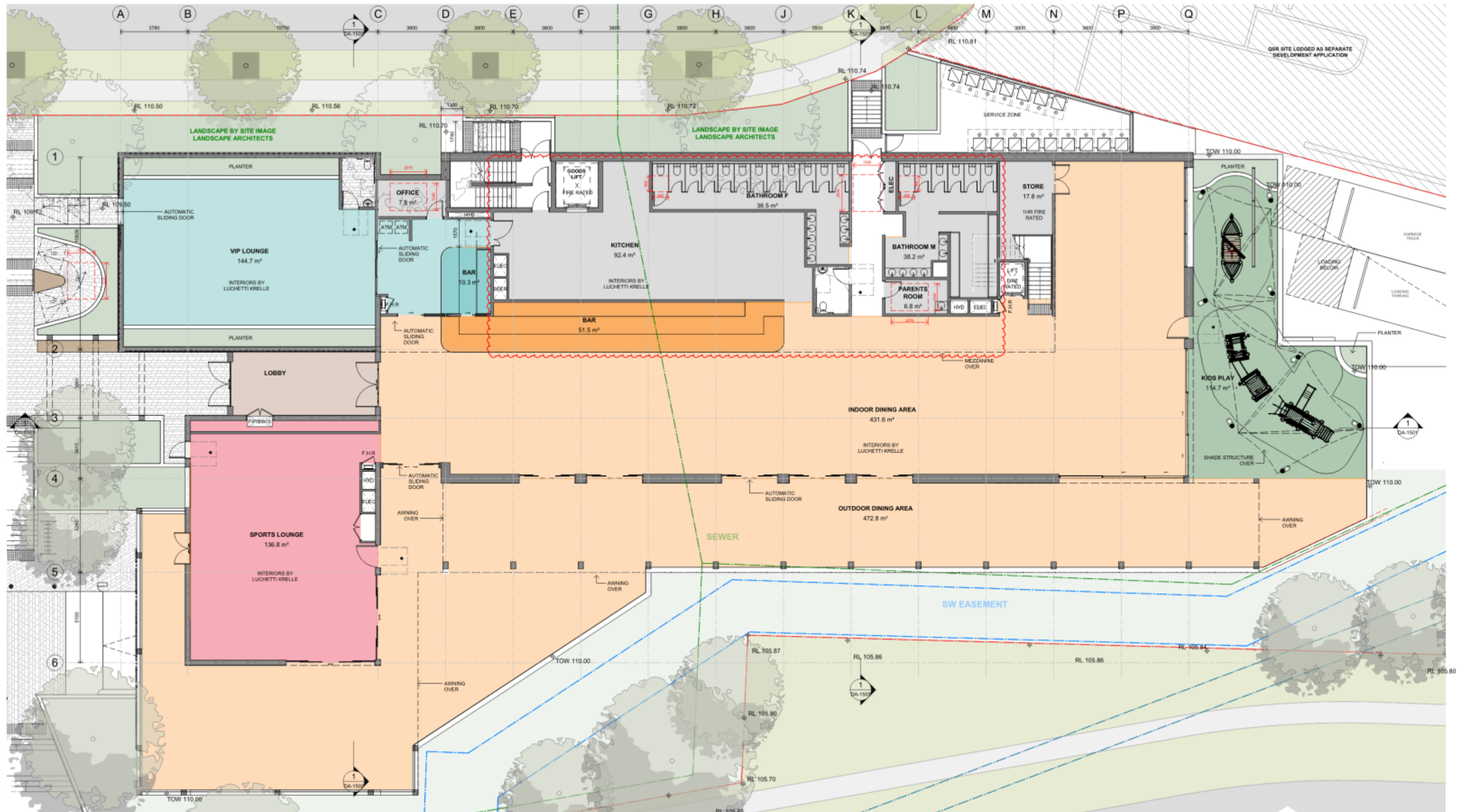
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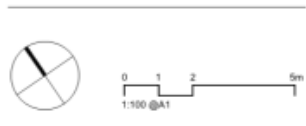
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18	23.12.2022	REVISED PARKING DRAFT ISSUE	ML	JT
19	20.01.2023	FOR COORDINATION	HS	JT
20	24.01.2023	FOR DA COORDINATION	HS	JT
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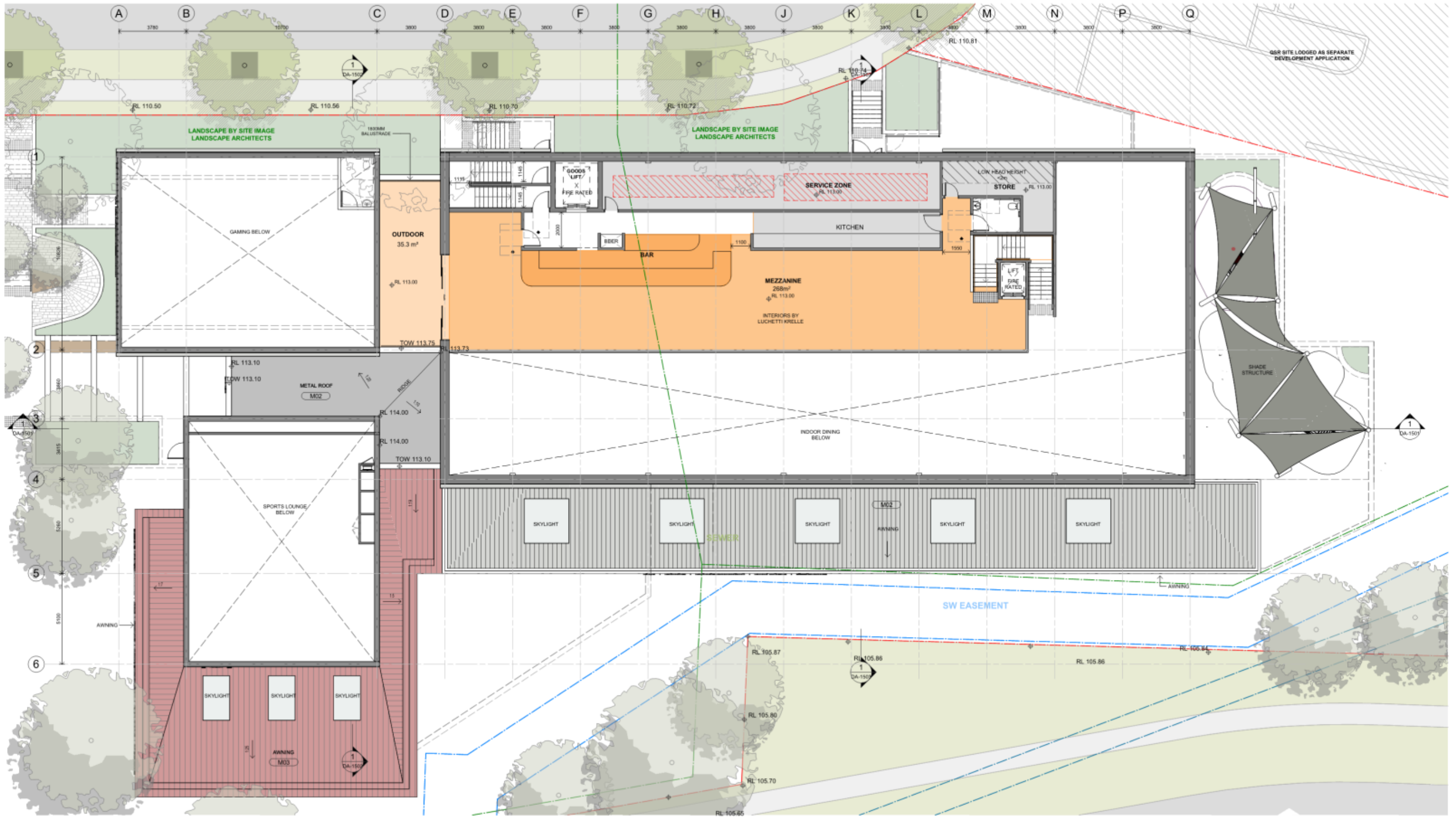


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 2 Brunson Rd
 Cobbity NSW 2570
 Drawing Name
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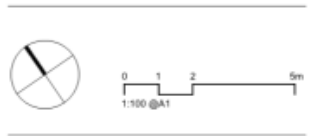
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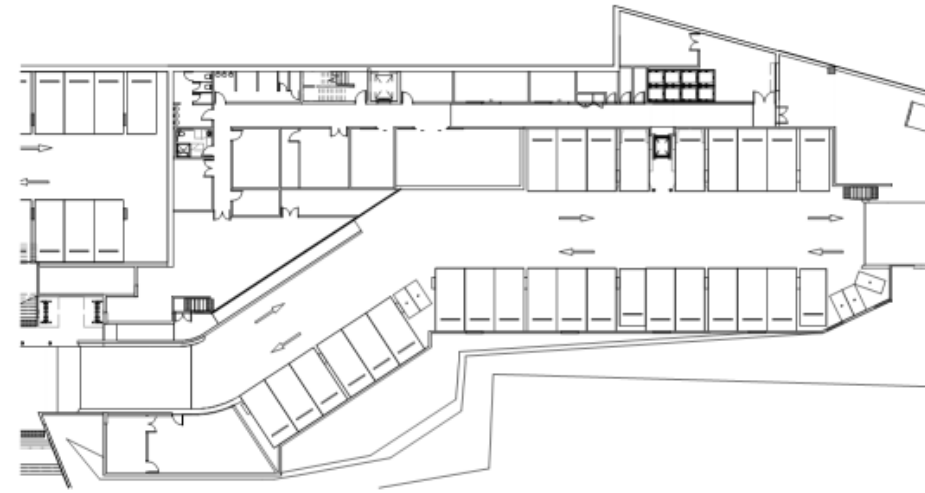
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16	24.01.2023	FOR DA COORDINATION	NS	JT
17	31.01.2023	CLIENT REVIEW	NS	JT
18	07.02.2023	CLIENT REVIEW	NS	JT
19	07.02.2023	DA REVIEW	NS	JT
20	08.02.2023	DA REVIEW	NS	JT
21	16.02.2023	DA ISSUE	NS	JT
22	08.06.2023	DA RFI ISSUE	NS	JT



Client
 Project
 OXLEY RIDGE TAVERN
 2 Brunson Rd
 Cobbity NSW 2570
 Drawing Name
 FLOOR PLAN - MEZZANINE

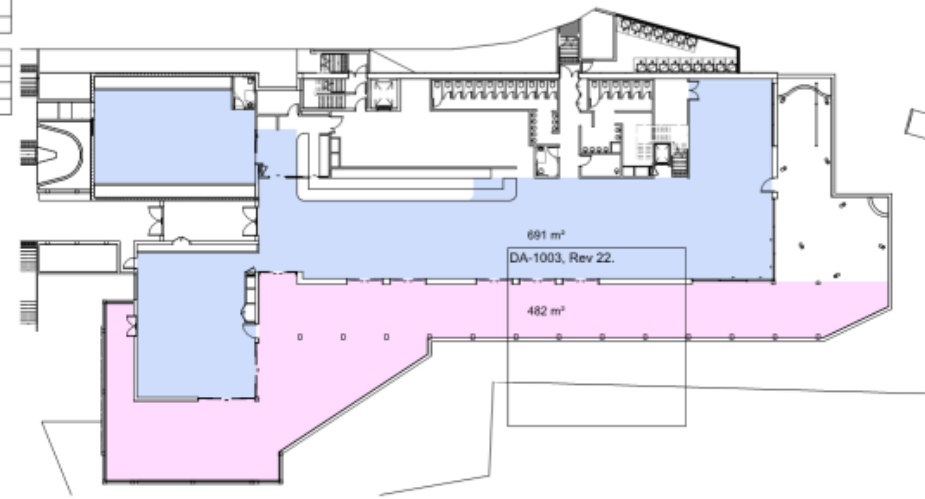
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 DA-1003 / 22

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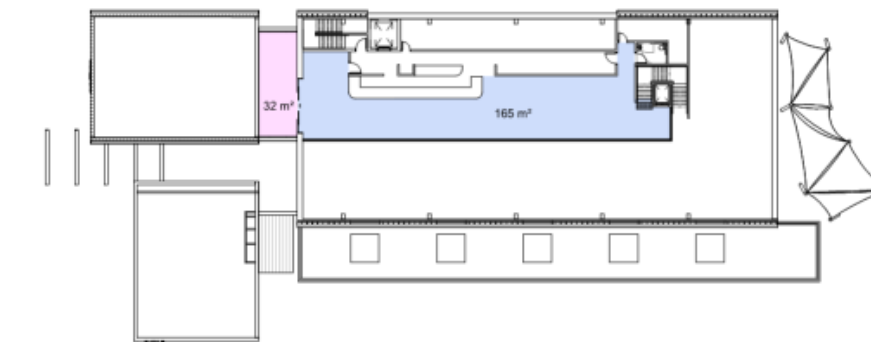


BASEMENT

Area Schedule (FOH)		
Level	Name	Area
GROUND FLOOR	FOH INDOOR	691 m ²
GROUND FLOOR	FOH OUTDOOR	482 m ²
MEZZANINE	FOH INDOOR	165 m ²
MEZZANINE	FOH OUTDOOR	32 m ²
		1370 m ²

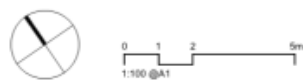


GROUND FLOOR



MEZZANINE

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1	24.01.2023	FOR SA COORDINATION	HS	JT
2	15.01.2023	CLIENT REVIEW	HS	JT
3	01.02.2023	CLIENT REVIEW	HS	JT
4	07.02.2023	DOA REVIEW	HS	JT
5	08.02.2023	DOA REVIEW	HS	JT
6	15.02.2023	DA ISSUE	HS	JT
7	08.06.2023	DA RFI ISSUE	HS	JT



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Drawing Name
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Date
 08.06.2023

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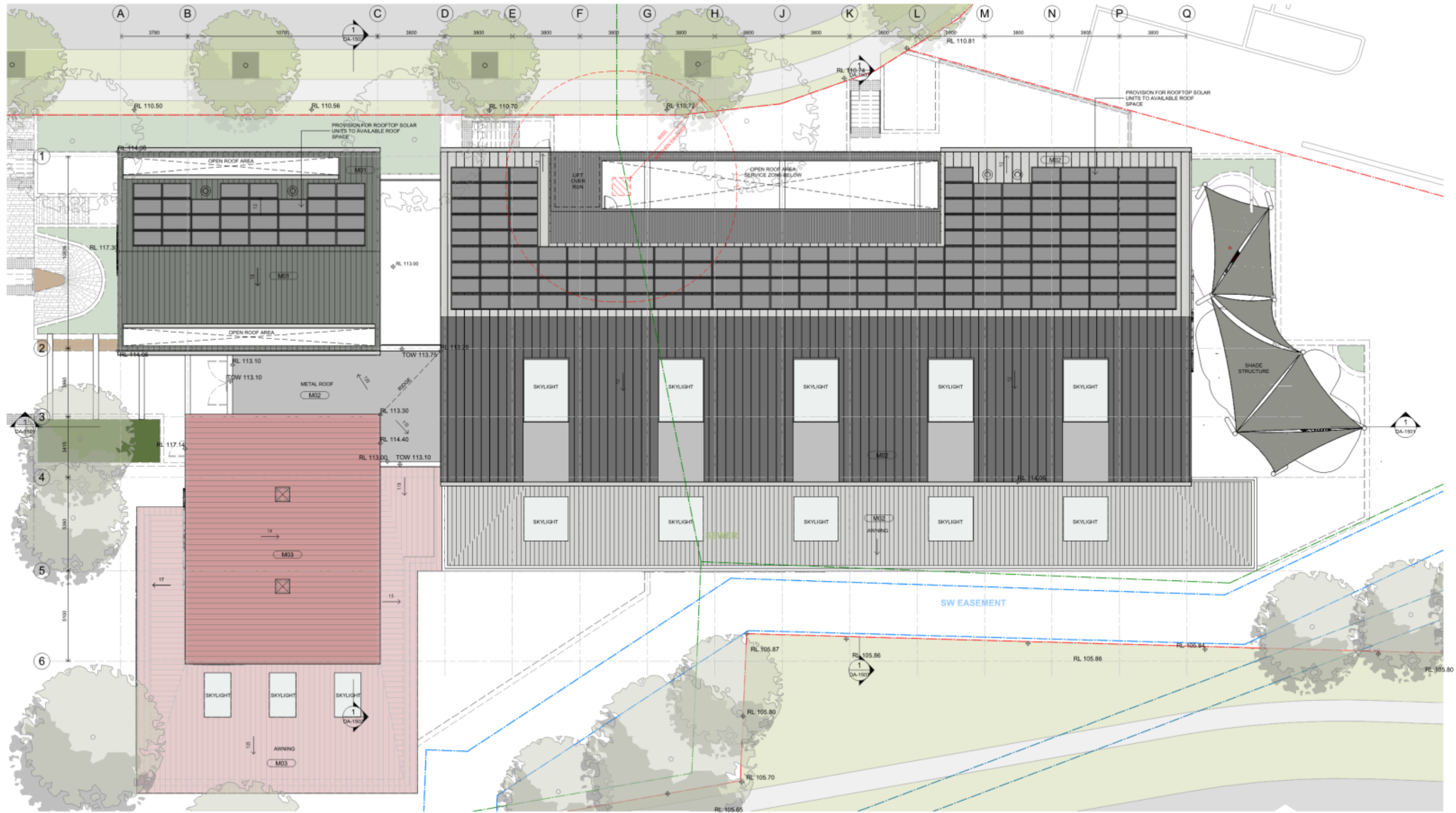
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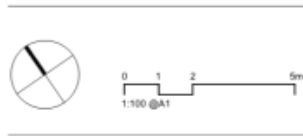
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17	08.02.2023	DA REVIEW	HS	JT
18	16.02.2023	DA REVISION	HS	JT
19	08.06.2023	DA RFI ISSUE	HS	JT



Client
OXLEY RIDGE TAVERN
 2 Brunson Rd
 Cobbity NSW 2570

Drawing Name
 FLOOR PLAN - ROOF

Date
 08.06.2023

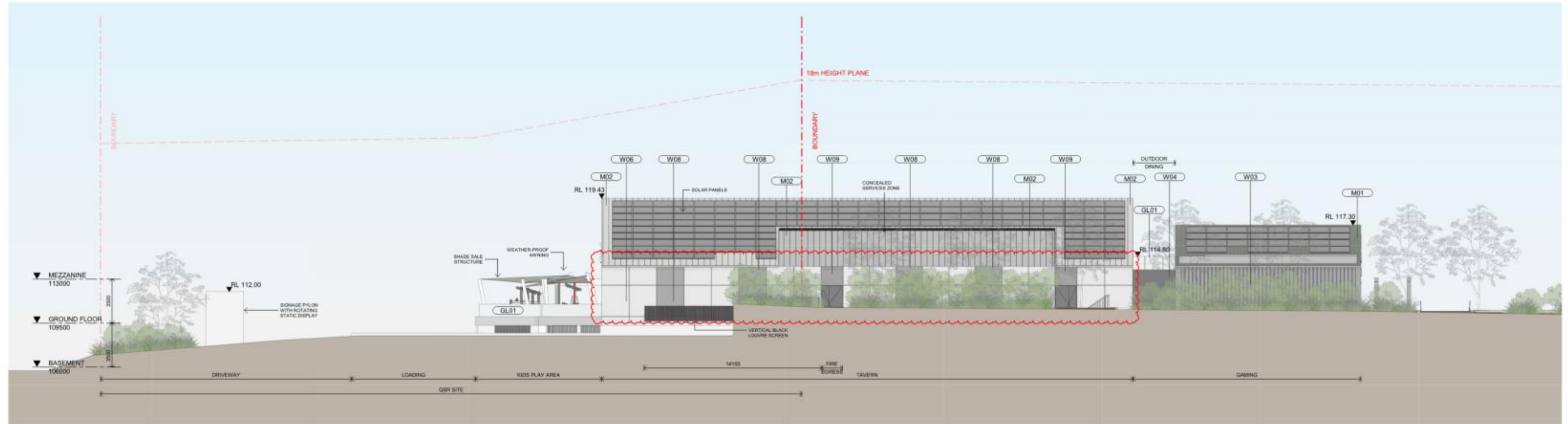
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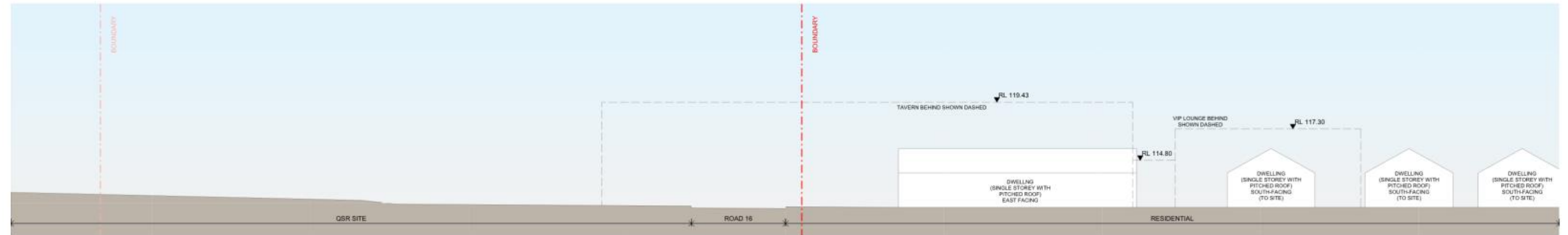
Job No.
 6647

Revision
 / 19

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NORTH ELEVATION



ADJACENT NORTHERN SITE SECTION

EXTERNAL FINISHES

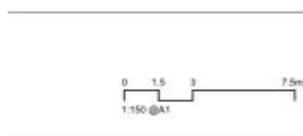
W01 - WHITE MASONRY	W02 - RED MASONRY	W03 - TIMBER CLADDING	W04 - TIMBER CLADDING (BLACK)	W05 - PRECAST PANEL PAINTED WHITE	G01 - CLEAR GLASS
W06 - WHITE RENDERED MASONRY	W07 - RED RENDERED MASONRY	W08 - CONCRETE NATURAL FINISH	W09 - CONCRETE BOARD FINISH	M01 - METAL ROOF DARK	M02 - METAL ROOF LIGHT
M03 - METAL ROOF RED					

WALLS
 W01 - WHITE MASONRY
 W02 - RED MASONRY
 W03 - TIMBER CLADDING
 W04 - TIMBER CLADDING (BLACK)
 W05 - WHITE PAINTED PRECAST PANEL
 W06 - WHITE RENDERED MASONRY
 W07 - RED RENDERED MASONRY
 W08 - NATURAL CONCRETE FINISH
 W09 - NATURAL CONCRETE BOARD FINISH

ROOF
 M01 - METAL ROOF DARK
 M02 - METAL ROOF LIGHT
 M03 - METAL ROOF RED

GLAZING
 G01 - GLASS

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 Nominated Architect: Adam Haddock-T106 | John Pradel-T064



Rev	Date	Revision	By	Chk
10	28.01.2023	FOR COORDINATION	NS	JT
11	24.01.2023	FOR DA COORDINATION	NS	JT
12	31.01.2023	CLIENT REVIEW	NS	JT
13	01.02.2023	CLIENT REVIEW	NS	JT
14	07.02.2023	DA REVIEW	NS	JT
15	08.02.2023	DA REVIEW	NS	JT
16	15.02.2023	DA ISSUE	NS	JT
17	20.02.2023	DA REVIEW FOR REVIEW	NS	JT
18	08.06.2023	DA RFI ISSUE	NS	JT
19	26.07.2023	DA RFI ISSUE AMENDED	NS	JT



Client
FDC

Project
 OXLEY RIDGE TAVERN
 2 Brunson Rd
 Cobbity NSW 2570

Drawing Name
 NORTH ELEVATION

Date	Scale	Sheet Size
25.07.2023	1 : 150	@ A1
Drawn	Chk	Job No.
ML	JT	6647
Drawing No.	Revision	
DA-1401	/ 19	

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EXTERNAL FINISHES

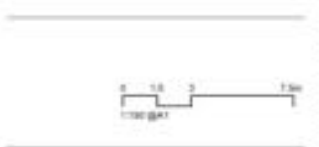
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W06 - WHITE RENDERED MASONRY	W07 - RED RENDERED MASONRY	M01 - METAL ROOF DARK	M02 - METAL ROOF LIGHT	M03 - METAL ROOF RED	

WALLS
 W01 - WHITE MASONRY
 W02 - RED MASONRY
 W03 - TIMBER CLADDING
 W04 - TIMBER CLADDING (BLACK)
 W05 - WHITE PAINTED (RECAST) PANEL
 W06 - WHITE RENDERED MASONRY
 W07 - WHITE RENDERED MASONRY

ROOF
 M01 - METAL ROOF DARK
 M02 - METAL ROOF LIGHT
 M03 - METAL ROOF RED

GLAZING
 S01 - GLASS

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Rev.	Date	Revised	By	CHK
1	08.06.2023	ISSUE FOR PERMIT	ML	JT
2	08.06.2023	ISSUE FOR PERMIT	ML	JT
3	08.06.2023	ISSUE FOR PERMIT	ML	JT
4	08.06.2023	ISSUE FOR PERMIT	ML	JT
5	08.06.2023	ISSUE FOR PERMIT	ML	JT
6	08.06.2023	ISSUE FOR PERMIT	ML	JT
7	08.06.2023	ISSUE FOR PERMIT	ML	JT
8	08.06.2023	ISSUE FOR PERMIT	ML	JT
9	08.06.2023	ISSUE FOR PERMIT	ML	JT
10	08.06.2023	ISSUE FOR PERMIT	ML	JT



Project
OXLEY RIDGE TAVERN
 2 Brunson Rd
 Cobbly NSW 2570

Drawing Name
SOUTH ELEVATION

Date
 08.06.2023

Scale
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Sheet No.
 01 A1

Author
 ML

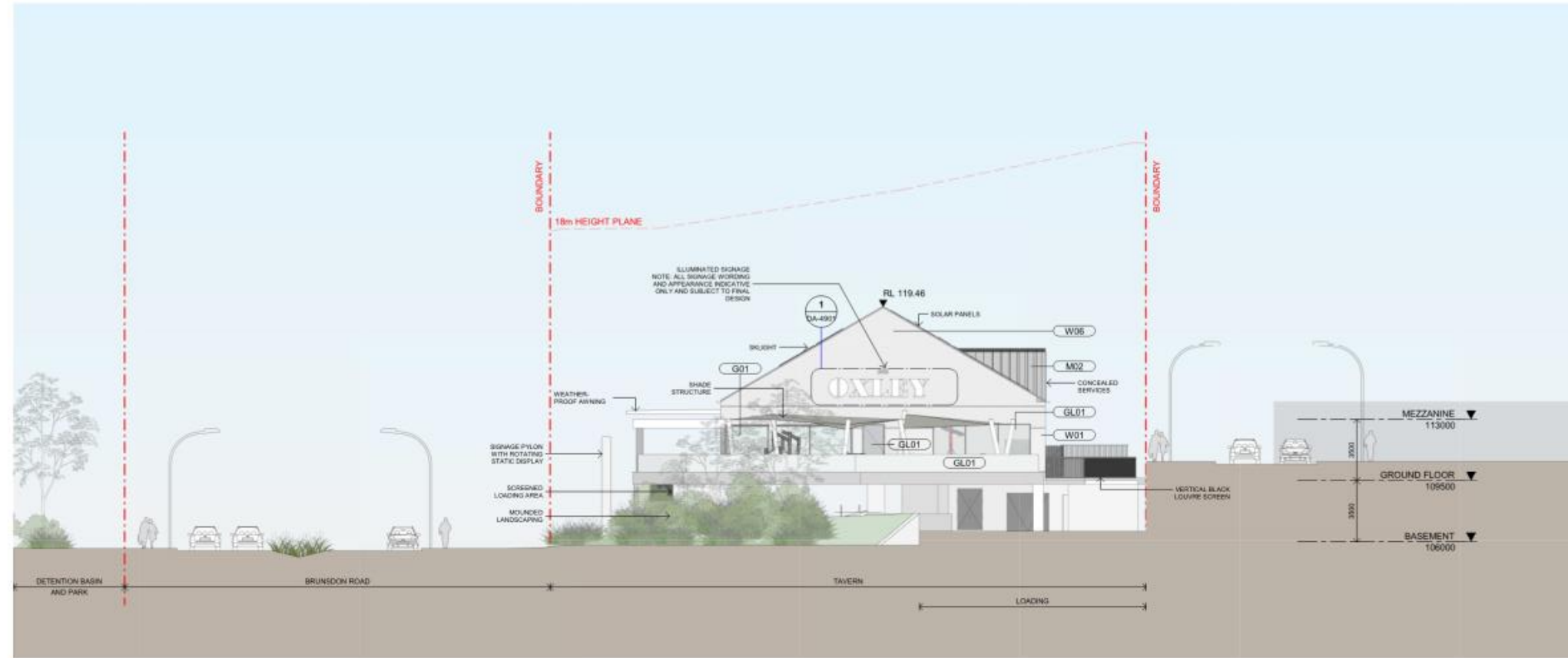
Checker
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Job No.
 5547

Drawing No.
 DA-1402

Revision
 / 17

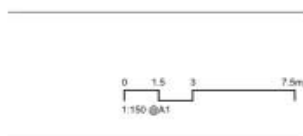
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EXTERNAL FINISHES

						WALLS W01 - WHITE MASONRY W02 - RED MASONRY W03 - TIMBER CLADDING W04 - TIMBER CLADDING (BLACK) W05 - WHITE PAINTED PRECAST PANEL W06 - WHITE RENDERED MASONRY W07 - WHITE RENDERED MASONRY
						ROOF M01 - METAL ROOF DARK M02 - METAL ROOF LIGHT M03 - METAL ROOF RED
						GLAZING G01 - GLASS

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 Notified Architects: Adam Haddock-7186 | John Pradel-7084



Rev	Date	Revision	By	Chk.
1	28.10.2022	ISSUED FOR	ML	JT
2	23.11.2022	DA CLIENT REVIEW	NS	JT
3	23.11.2022	FOR COORDINATION	NS	JT
4	23.11.2022	FOR DA COORDINATION	NS	JT
5	23.11.2022	CLIENT REVIEW	NS	JT
6	23.11.2022	CLIENT REVIEW	NS	JT
7	23.11.2022	CLIENT REVIEW	NS	JT
8	23.11.2022	DA REVIEW	NS	JT
9	23.11.2022	DA REVIEW	NS	JT
10	23.11.2022	DA REVIEW	NS	JT
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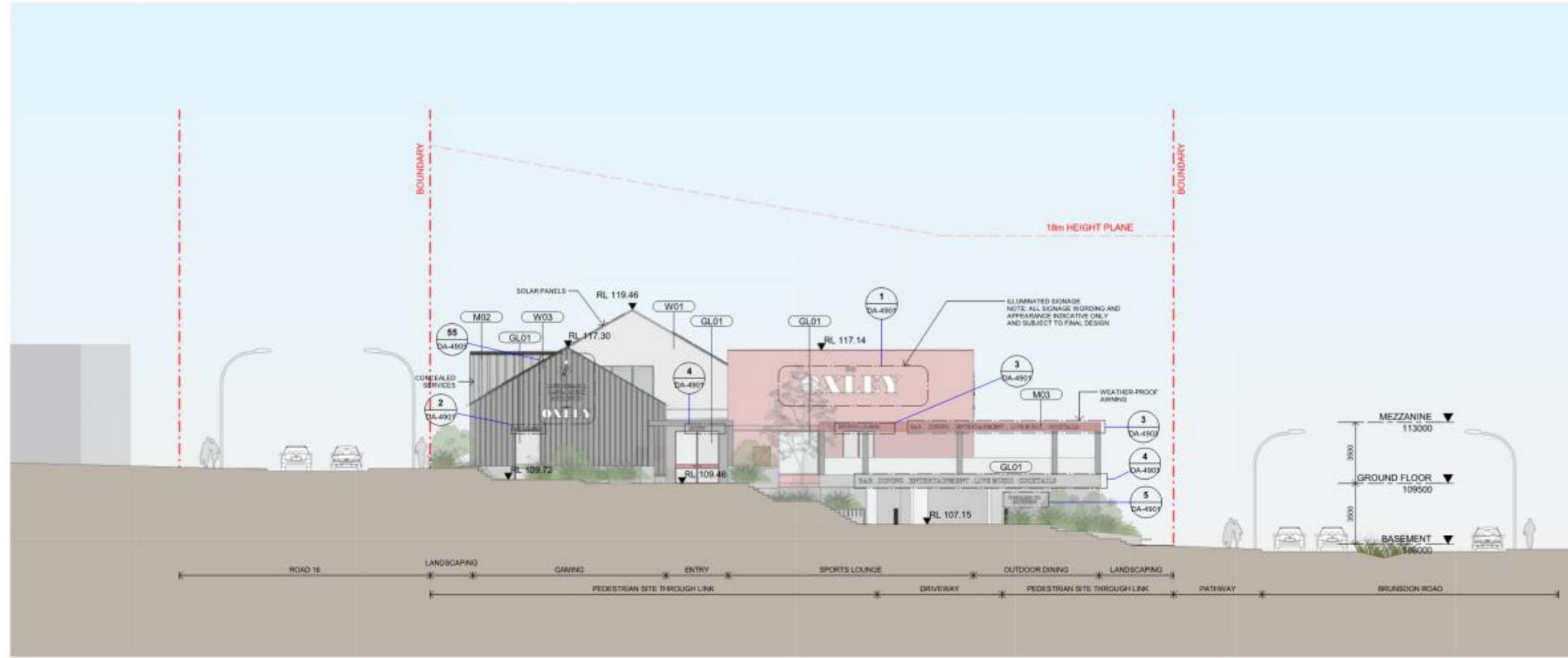
Client
FDC

Project
OXLEY RIDGE TAVERN
 2 Brunson Rd
 Cobbity NSW 2570

Drawing Name
EAST ELEVATION

Date	Scale	Sheet Size
08.06.2023	1 : 150	@ A1
Drawn	Chk.	Job No.
ML	JT	6647
Drawing No.	Revision	
DA-1403	/ 17	

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EXTERNAL FINISHES

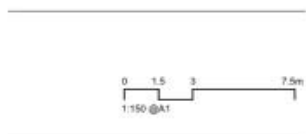
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W06 - WHITE RENDERED MASONRY	W07 - RED RENDERED MASONRY	M01 - METAL ROOF DARK	M02 - METAL ROOF LIGHT	M03 - METAL ROOF RED	

WALLS
 W01 - WHITE MASONRY
 W02 - RED MASONRY
 W03 - TIMBER CLADDING
 W04 - TIMBER CLADDING (BLACK)
 W05 - WHITE PAINTED PRECAST PANEL
 W06 - WHITE RENDERED MASONRY
 W07 - WHITE RENDERED MASONRY

ROOF
 M01 - METAL ROOF DARK
 M02 - METAL ROOF LIGHT
 M03 - METAL ROOF RED

GLAZING
 G01 - GLASS

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Rev	Date	Revision	By	CHK
1	24.10.2023	DRAFT DA	ML	JT
2	03.11.2023	DA CLIENT REVIEW	NS	JT
3	20.01.2024	FOR COORDINATION	NS	JT
4	24.01.2024	FOR DA COORDINATION	NS	JT
5	31.01.2024	CLIENT REVIEW	NS	JT
6	07.02.2024	CLIENT REVIEW	NS	JT
7	07.02.2024	DA REVIEW	NS	JT
8	16.02.2024	DA ISSUE	NS	JT
9	28.02.2024	DA RFI ISSUE	NS	JT



Client
 OXLEY RIDGE TAVERN
 2 Brunson Rd
 Cobbity NSW 2570

Drawing Name
 WEST ELEVATION

Date
 08.06.2023

Scale
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Sheet Size
 @ A1

Drawn
 ML

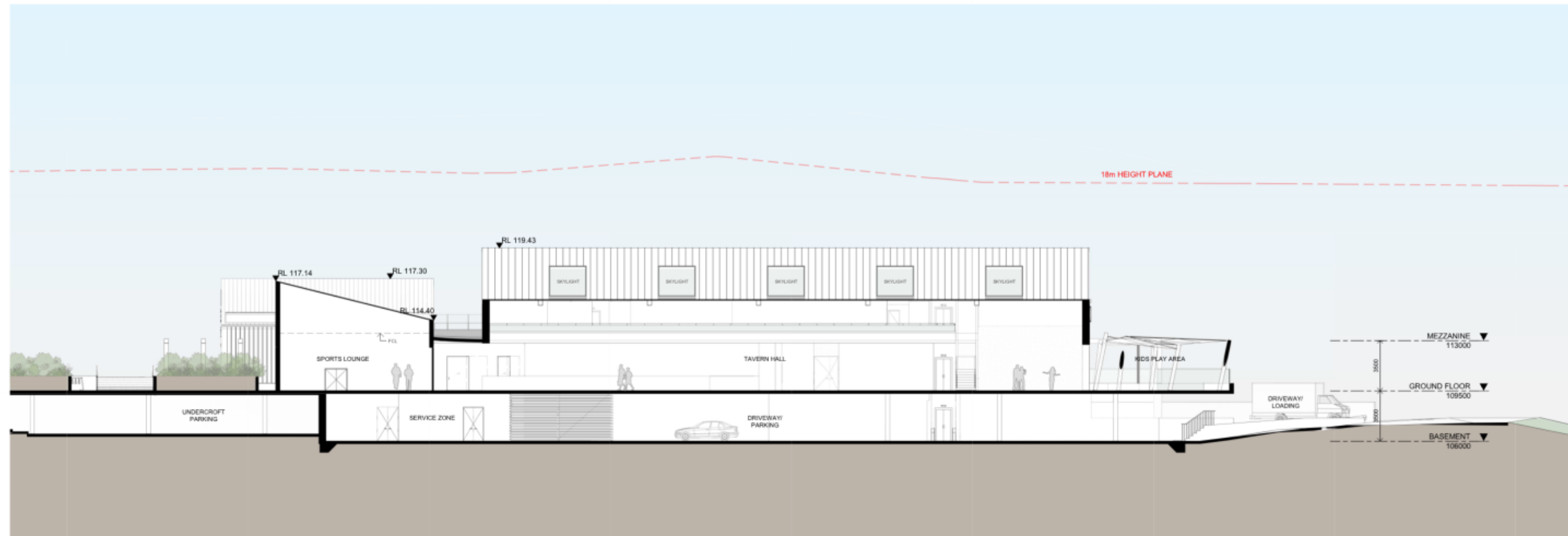
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Revision
 6647

Drawing No.
 DA-1404

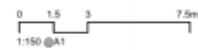
Revision
 / 17





SECTION A

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Rev	Date	Revision	By	CHK
7	28.10.2022	DISPT DA	ML	JT
8	03.11.2022	DA CLIENT REVIEW	HS	JT
9	20.01.2023	FOR COORDINATION	HS	JT
10	24.01.2023	FOR DA COORDINATION	HS	JT
11	21.01.2023	CLIENT REVIEW	HS	JT
12	01.02.2023	CLIENT REVIEW	HS	JT
13	07.02.2023	DCA REVIEW	HS	JT
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16	08.06.2023	DA RFI ISSUE	HS	JT

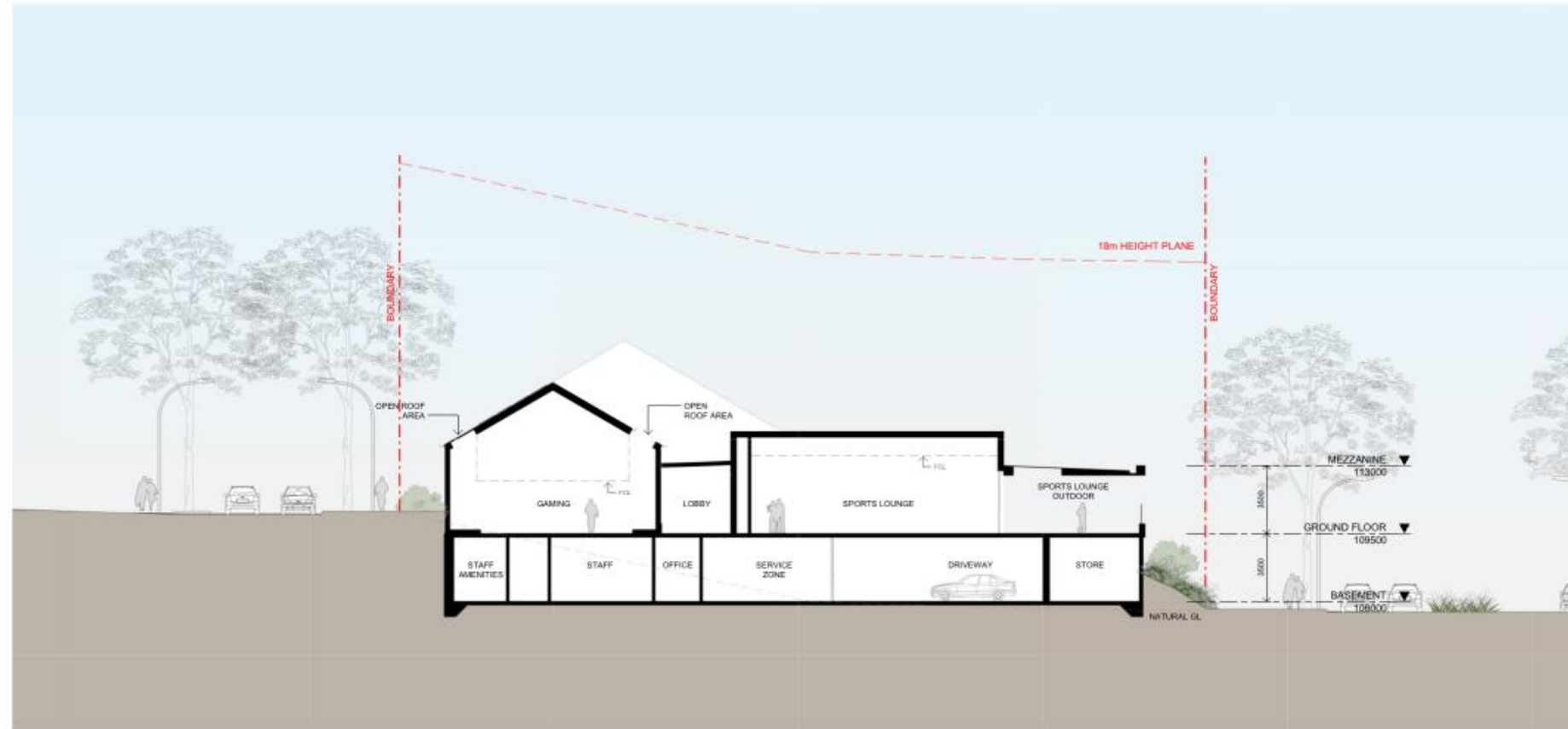


Client
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OXLEY RIDGE TAVERN
 2 Brunson Rd
 Cobbity NSW 2570
 Drawing Name
SECTION A

Date
08.06.2023
 Scale
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 Sheet Size
@ A1
 Drawn
ML
 Chk.
JT
 Job No.
6647
 Drawing No.
DA-1501
 Revision
/ 16

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 Noted Architect: Adam Hodder-1186 | Jake Pradel-7984

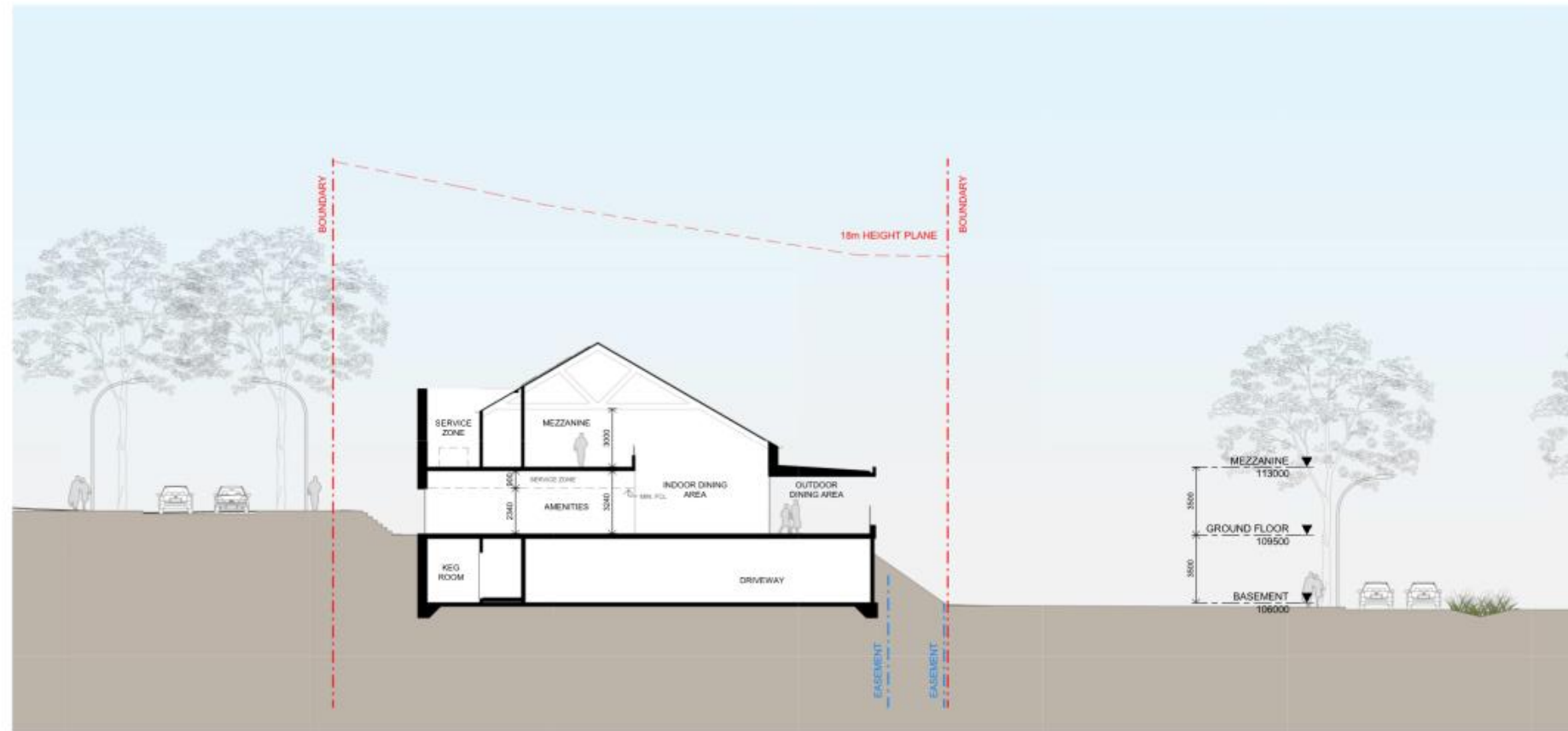
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8	03.11.2023	DA CLIENT REVIEW	MS	JT
9	20.01.2023	FOR COORDINATION	MS	JT
10	24.01.2023	FOR DA COORDINATION	MS	JT
11	31.01.2023	CLIENT REVIEW	MS	JT
12	07.02.2023	CLIENT REVIEW	MS	JT
13	07.02.2023	DA REVIEW	MS	JT
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15	16.02.2023	DA ISSUE	MS	JT
16	08.06.2023	DA RFI ISSUE	MS	JT



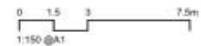
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OXLEY RIDGE TAVERN
 2 Brunson Rd
 Cobbity NSW 2570
 Drawing Name
SECTION B

Date
08.06.2023
 Scale
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 Drawing No.
DA-1502
 Sheet Size
@ A1
 Job No.
6647
 Revision
/ 16





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Rev	Date	Revision	By	CHK
7	26.10.2022	ISSUED FOR	ML	JT
8	03.11.2022	DA CLIENT REVIEW	NS	JT
9	20.01.2023	FOR COORDINATION	NS	JT
10	24.01.2023	FOR DA COORDINATION	NS	JT
11	23.02.2023	CLIENT REVIEW	NS	JT
12	01.02.2023	CLIENT REVIEW	NS	JT
13	07.02.2023	DCA REVIEW	NS	JT
14	08.02.2023	DA REVIEW	NS	JT
15	15.02.2023	DA ISSUE	NS	JT
16	08.06.2023	DA RFI ISSUE	NS	JT



Client
FDC

Project
 OXLEY RIDGE TAVERN
 2 Brunson Rd
 Cobbity NSW 2570

Drawing Name
 SECTION C

Date
 08.06.2023

Scale
 1 : 150

Sheet Size
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Drawn
 ML

CHK
 JT

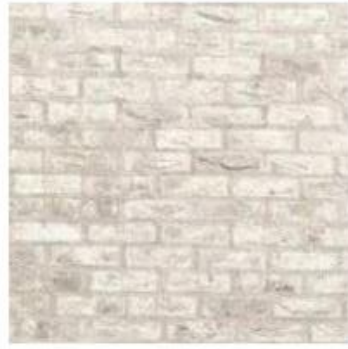
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Drawing No.
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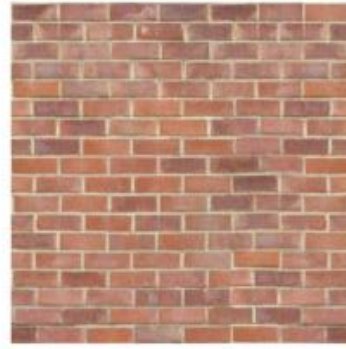
Revision
 / 16

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W01 - WHITE MASONRY



W02 - RED MASONRY



W03 - TIMBER CLADDING



W04 - TIMBER CLADDING (BLACK)



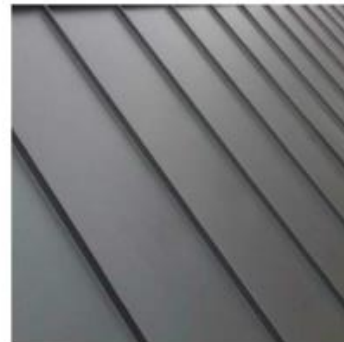
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W06 - WHITE RENDERED MASONRY



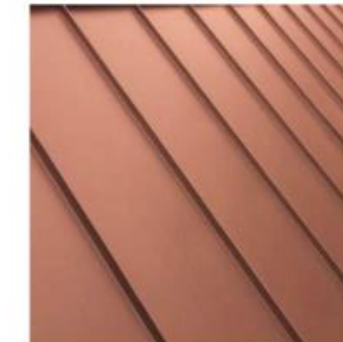
W07 - RED RENDERED MASONRY



M01 - METAL ROOF - DARK



M02 - METAL ROOF - LIGHT



M03 - METAL ROOF - RED



G01 - CLEAR GLASS

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Rev	Date	Revision	By	CHK.
2	24.10.2023	DRAFT DA	ML	JT
3	03.11.2023	DA CLIENT REVIEW	NS	JT
4	20.01.2024	FOR COORDINATION	NS	JT
5	24.01.2024	FOR DA COORDINATION	NS	JT
6	31.01.2024	CLIENT REVIEW	NS	JT
7	01.02.2024	CLIENT REVIEW	NS	JT
8	07.02.2024	DA REVIEW	NS	JT
9	08.02.2024	DA REVIEW	NS	JT
10	16.02.2024	DA ISSUE	NS	JT
11	08.06.2023	DA RFI ISSUE	NS	JT



Client
OXLEY RIDGE TAVERN
2 Brunson Rd
Cobbity NSW 2570

Drawing Name
MATERIAL SCHEDULE

Date
08.06.2023

Scale
@ A1

Sheet No.
6647

Revision
11

Drawing No.
DA-2001

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1 ELEVATION
QA-1403 ILLUMINATED SIGN - EAST AND WEST ELEVATION

7 PLAN
QA-0111 PYLON SIGN - PLAN



2 ELEVATION
QA-1404 VIP LOUNGE ILLUMINATED SIGN



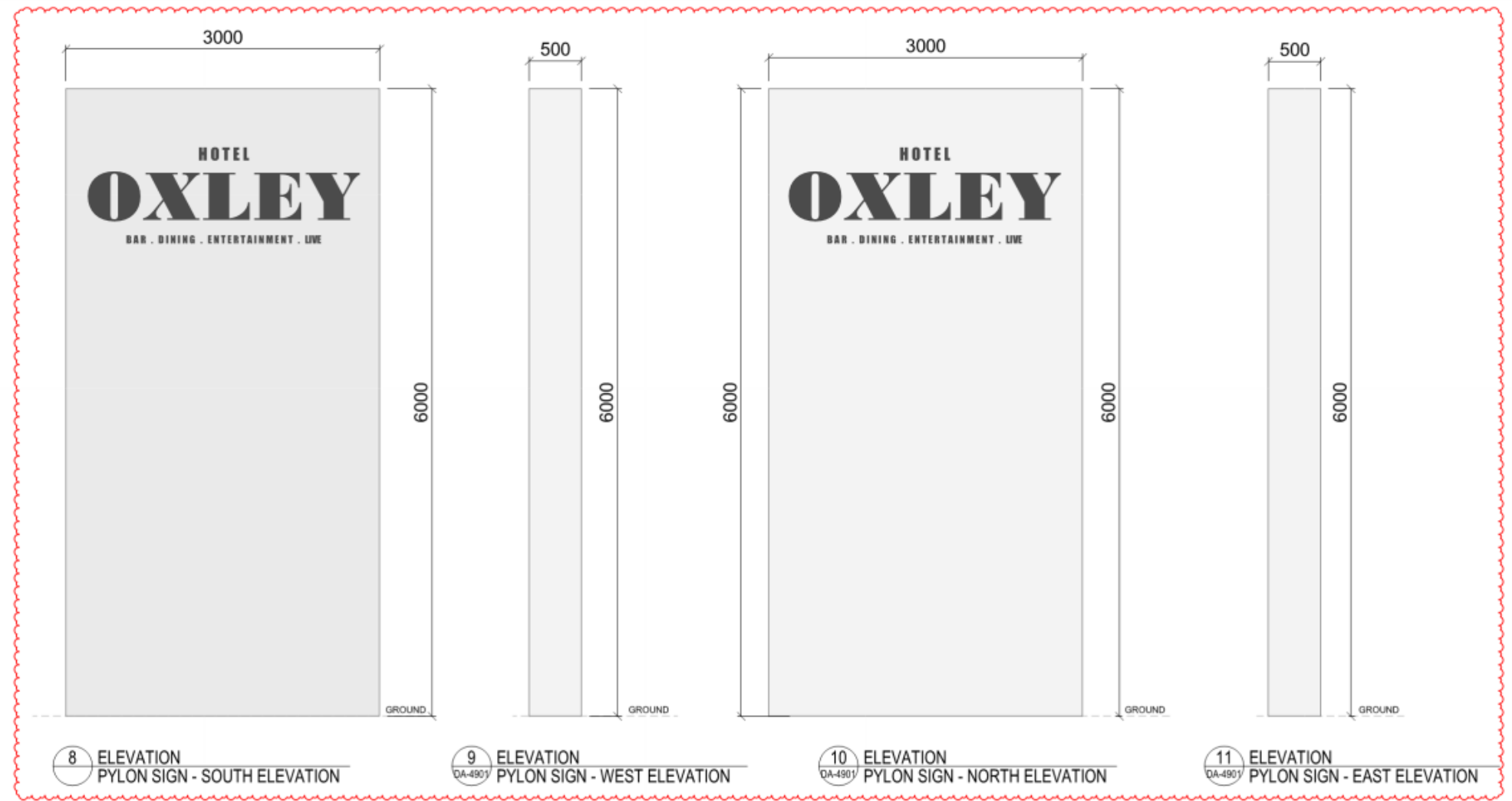
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QA-1405 SPORTS LOUNGE ILLUMINATED SIGN



4 ELEVATION
QA-1406 ENTRY ILLUMINATED SIGN



5 ELEVATION
QA-1407 QSR LINK ILLUMINATED SIGN



8 ELEVATION
QA-4901 PYLON SIGN - SOUTH ELEVATION

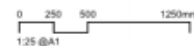
9 ELEVATION
QA-4901 PYLON SIGN - WEST ELEVATION

10 ELEVATION
QA-4901 PYLON SIGN - NORTH ELEVATION

11 ELEVATION
QA-4901 PYLON SIGN - EAST ELEVATION

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Rev	Date	Revision	By	CHK
1	08.11.2022	DA CLIENT REVIEW	HS	JT
2	20.01.2023	FOR COORDINATION	HS	JT
3	24.01.2023	FOR DA COORDINATION	HS	JT
4	31.01.2023	CLIENT REVIEW	HS	JT
5	01.02.2023	CLIENT REVIEW	HS	JT
6	07.02.2023	DA REVIEW	HS	JT
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9	08.06.2023	DA RFI ISSUE	HS	JT



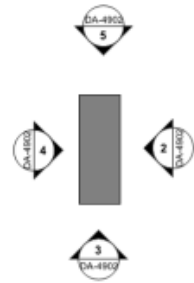
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OXLEY RIDGE TAVERN
2 Brunson Rd
Cobbity NSW 2570

Drawing Name
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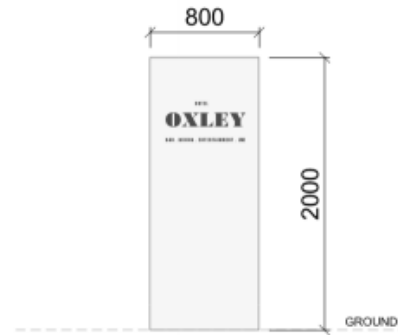
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Drawn	CHK	Job No.
KB	JT	6647
Drawing No.	Revision	
DA-4901	/ 9	

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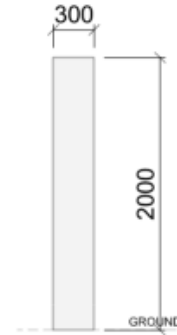




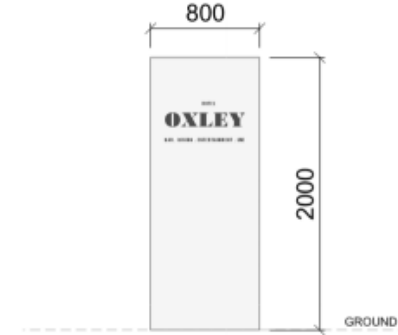
11 PLAN
 SOUTHERN PLINTH - PLAN
 SIGN TO BE ILLUMINATED



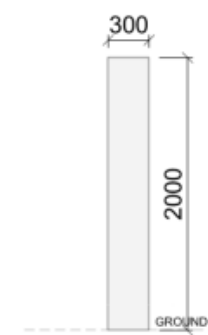
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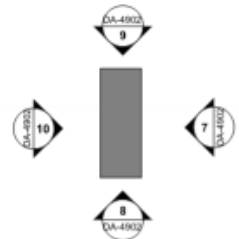
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 SOUTHERN PLINTH - NORTH ELEVATION



4 ELEVATION
 SOUTHERN PLINTH - WEST ELEVATION



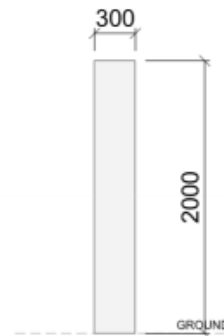
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 SOUTHERN PLINTH - SOUTH ELEVATION



6 PLAN
 NORTHERN PLINTH - PLAN
 SIGN TO BE ILLUMINATED



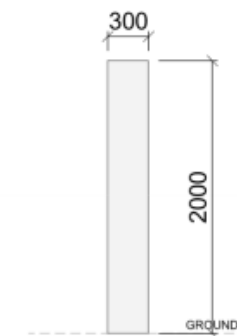
7 ELEVATION
 NORTHERN PLINTH - EAST ELEVATION



8 ELEVATION
 NORTHERN PLINTH - NORTH ELEVATION



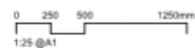
10 ELEVATION
 NORTHERN PLINTH - WEST ELEVATION



9 ELEVATION
 NORTHERN PLINTH - SOUTH ELEVATION

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 Notated Architects: Adam Haddow-7188 | John Pradel-7084



Rev	Date	Revision	By	CHK
1	31.01.2023	CLIENT REVIEW	MS	JT
2	04.02.2023	CLIENT REVIEW	MS	JT
3	07.02.2023	DA REVIEW	MS	JT
4	08.02.2023	DA REVIEW	MS	JT
5	15.02.2023	DA REVIEW	MS	JT
6	08.06.2023	DA NOT ISSUE	MS	JT



Client
 Project
 OXLEY RIDGE TAVERN
 2 Brunson Rd
 Cobbity NSW 2570
 Drawing Name
 SIGNAGE

Date
 08.06.2023
 Scale
 1 : 25
 Sheet Size
 @ A1
 Drawn
 MS
 Author
 MS
 Drawing No.
 DA-4902

Job No.
 6647
 Revision
 / 6
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1 ELEVATION
DA-1402 SPORTS BAR SIGN SOUTH



55 ELEVATION
DA-1404 VIP LOUNGE SIGN WEST



2 ELEVATION
DA-1402 TAVERN SIGN SOUTH



3 ELEVATION
DA-1404 SPORTS LOUNGE SIGN WEST UPPER



4 ELEVATION
DA-1404 SPORTS LOUNGE SIGN WEST LOWER

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Nominated Architects: Adam Haddock-7198 | John Pradel-7984



Rev	Date	Revision	By	CHK
1	08.02.2023	DA REVIEW	HS	JT
2	15.02.2023	DA ISSUE	HS	JT
3	08.06.2023	DA RFI ISSUE	HS	JT



Client
FDC

Project
OXLEY RIDGE TAVERN
2 Brunson Rd
Cobbity NSW 2570

Drawing Name
SIGNAGE

Date	Scale	Sheet Size
08.06.2023	1 : 25	@ A1
Drawn	CHK	Job No.
Author	Checker	6647
Drawing No.	Revision	
DA-4903	/ 3	

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1 Carpark canopy tree planting



2 Through site link feature trees



3 Seating edge to TSE entry



4 Road 16 screening vegetation



5 Brunson road planting

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Issue	Revision	Description	Drawn	Check	Date
E	Updated for Council Comments				
D	Architectural Coordination				
C	DA Submission				
B	DA Submission				
A	Preliminary				

Legend	
	Site Boundary
	Proposed Trees Refer Plant Schedule
	Shrubs Refer Plant Schedule
	Grasses & Groundcovers Refer Plant Schedule
	P1-Permeable Unit Paving Refer Detail
	P2-Unit Paving Refer Detail
	Softfall
	Mulch

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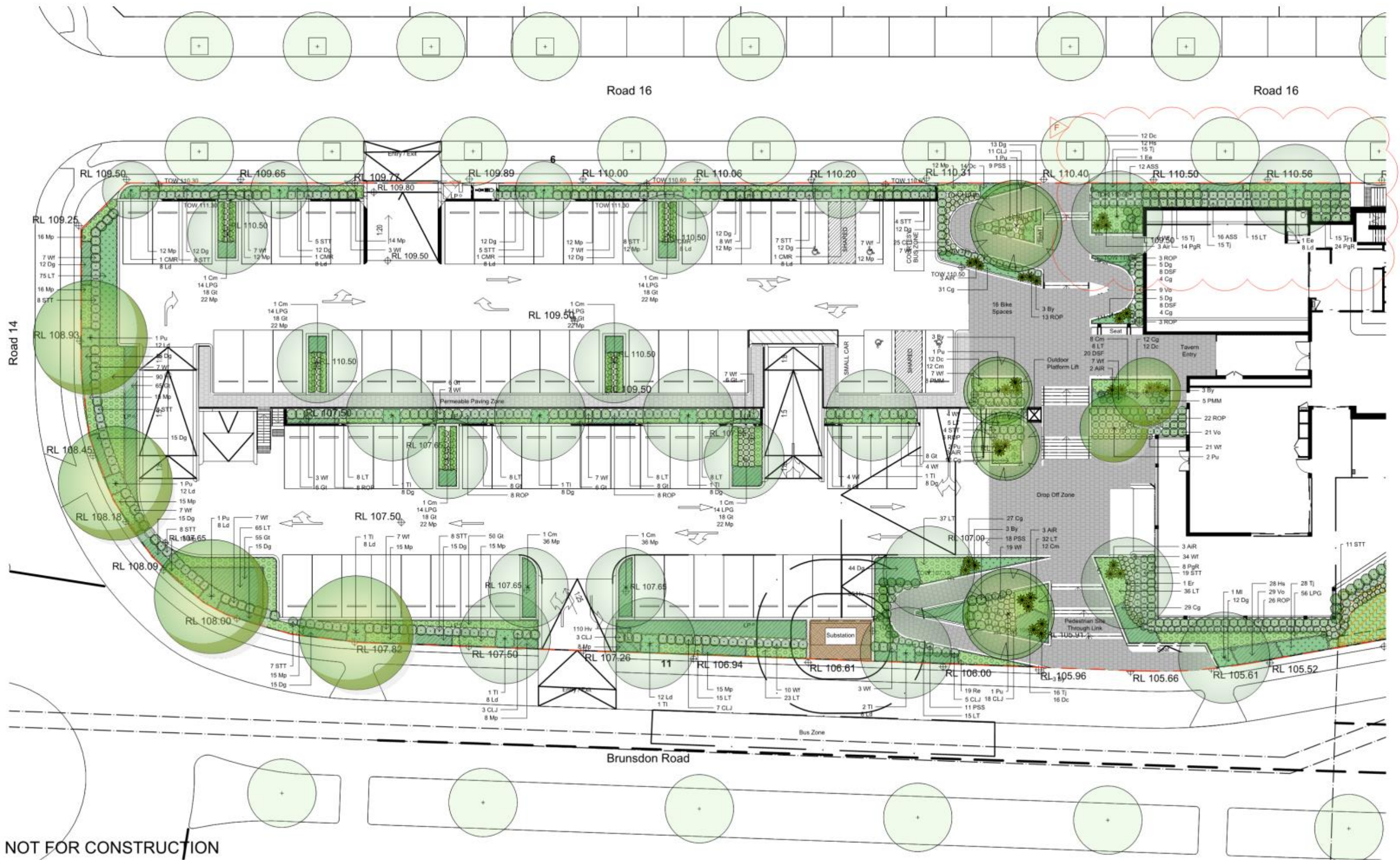
Client:
FDC

Project:
**Oxley Ridge Tavern
2 Brunson Road,
Cobbitty NSW 2570**

Drawing Name:
Landscape Masterplan

PRELIMINARY

Scale: 1:250 @ A1
Job Number: SS22-4965
Drawing Number: T002
Issue: F



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Issue	Revision Description	Drawn	Check	Date
F	Updated for Council Comments	JD	NM	26.07.2023
E	Updated for Council Comments	JD	NM	02.06.2023
D	Architectural Coordination	JD	NM	20.02.2023
C	DA Submission	CS	NM	08.02.2023
B	DA Submission	SJ	NM	07.11.2022
A	Preliminary	RG	NM	25.10.2022

Legend	Grasses & Groundcovers	Softfall
Site Boundary	Refer Plant Schedule	
Proposed Trees	P1-Permeable Unit Paving	Mulch
Refer Plant Schedule	Refer Detail	
Shrubs	P2-Unit Paving	
Refer Plant Schedule	Refer Detail	

SITE IMAGE Client **FDC**

Project **Oxley Ridge Tavern**
2 Brunsdon Road,
Cobbitty NSW 2570

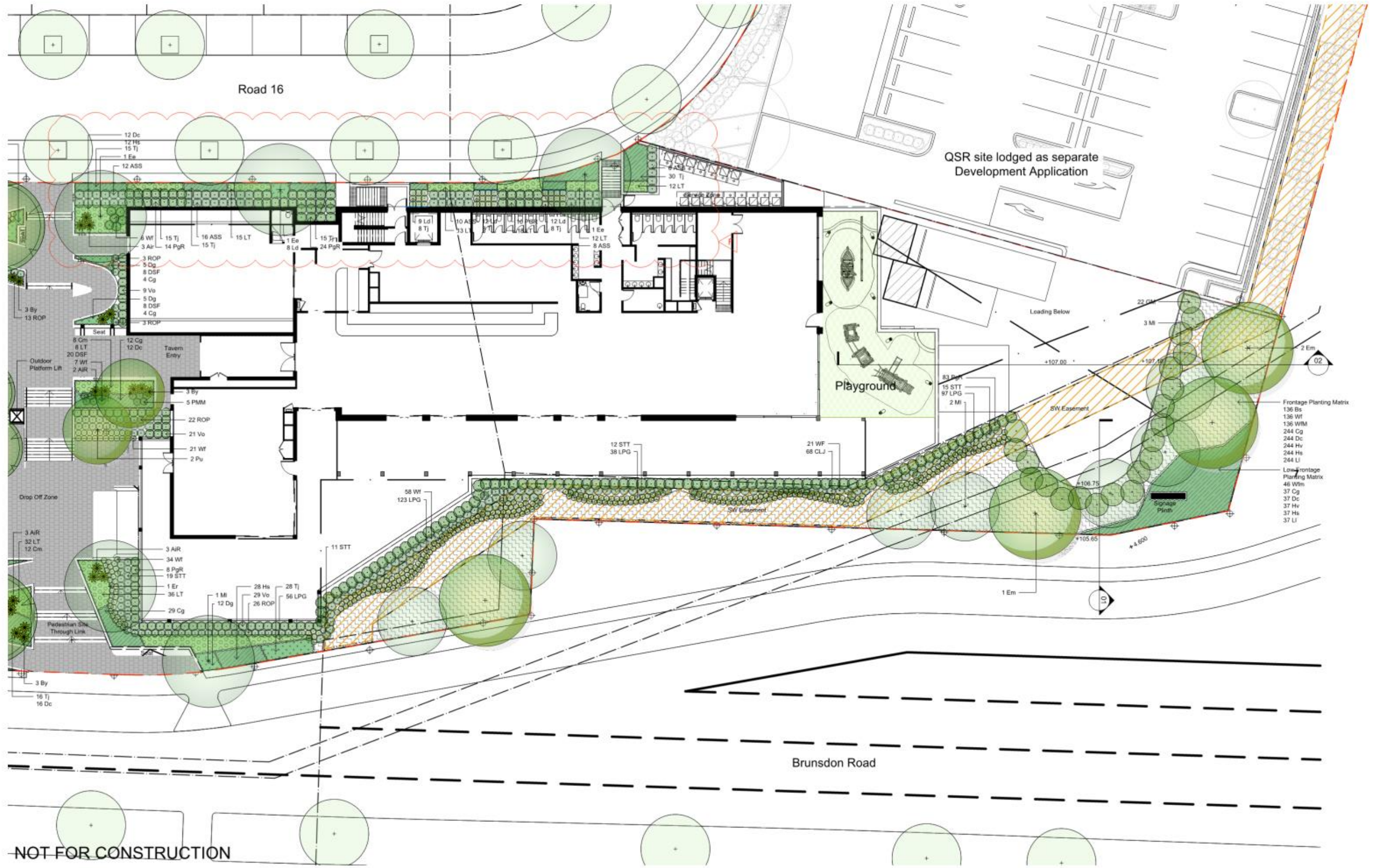
Drawing Name **Landscape Plan**

Scale **1:150 @ A1**

Job Number **SS22-4965**

Drawing Number **T101**

Issue **F**



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F	Updated for Council Comments	JD	NM	26.07.2023
E	Updated for Council Comments	JD	NM	02.06.2023
D	Architectural Coordination	JD	NM	20.02.2023
C	DA Submission	CS	NM	08.02.2023
B	DA Submission	SJ	NM	07.11.2022
A	Preliminary	RD	NM	25.10.2022
Issue	Revision Description	Drawn	Check	Date

- Legend**
- Site Boundary
- Proposed Trees
- Shrubs
- Grasses & Groundcovers
- P1-Permeable Unit Paving
- P2-Unit Paving
- Softfall
- Mulch

SITE IMAGE Client **FDC**

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Project **Oxley Ridge Tavern**
2 Brunston Road,
Cobbitty NSW 2570

Drawing Name **Landscape Plan**

PRELIMINARY

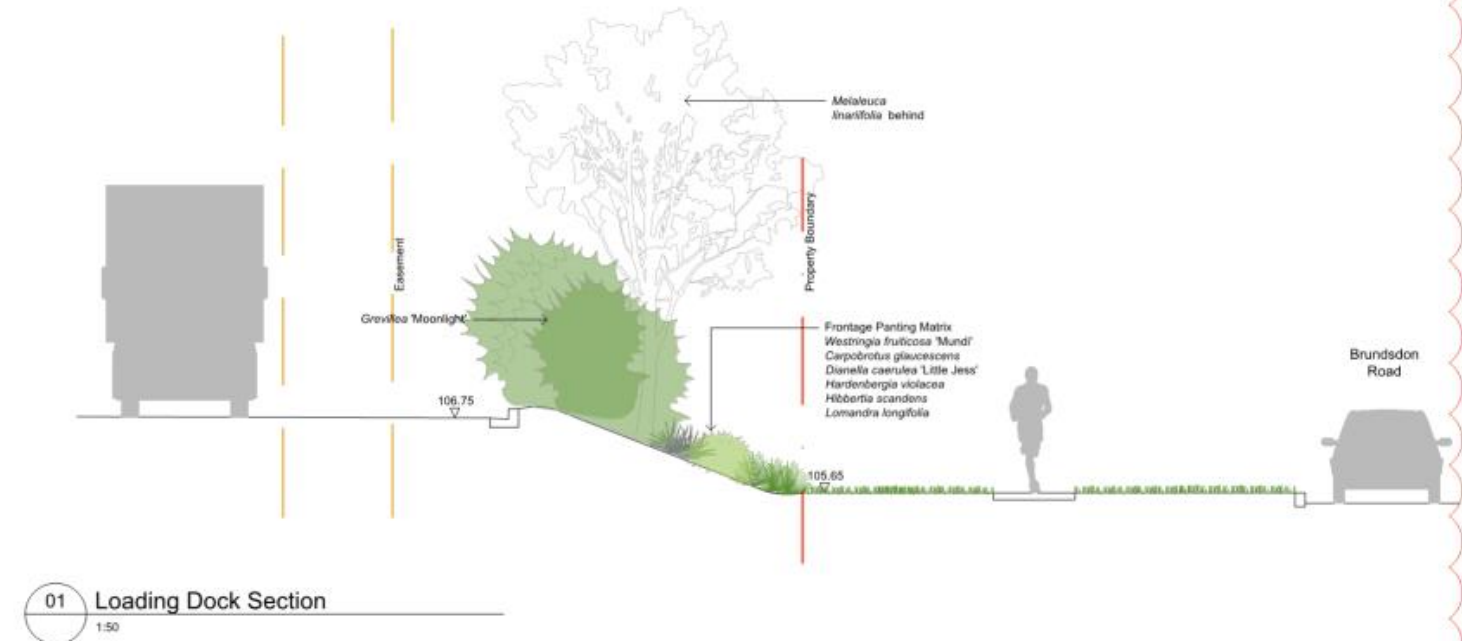
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Job Number **SS22-4965**

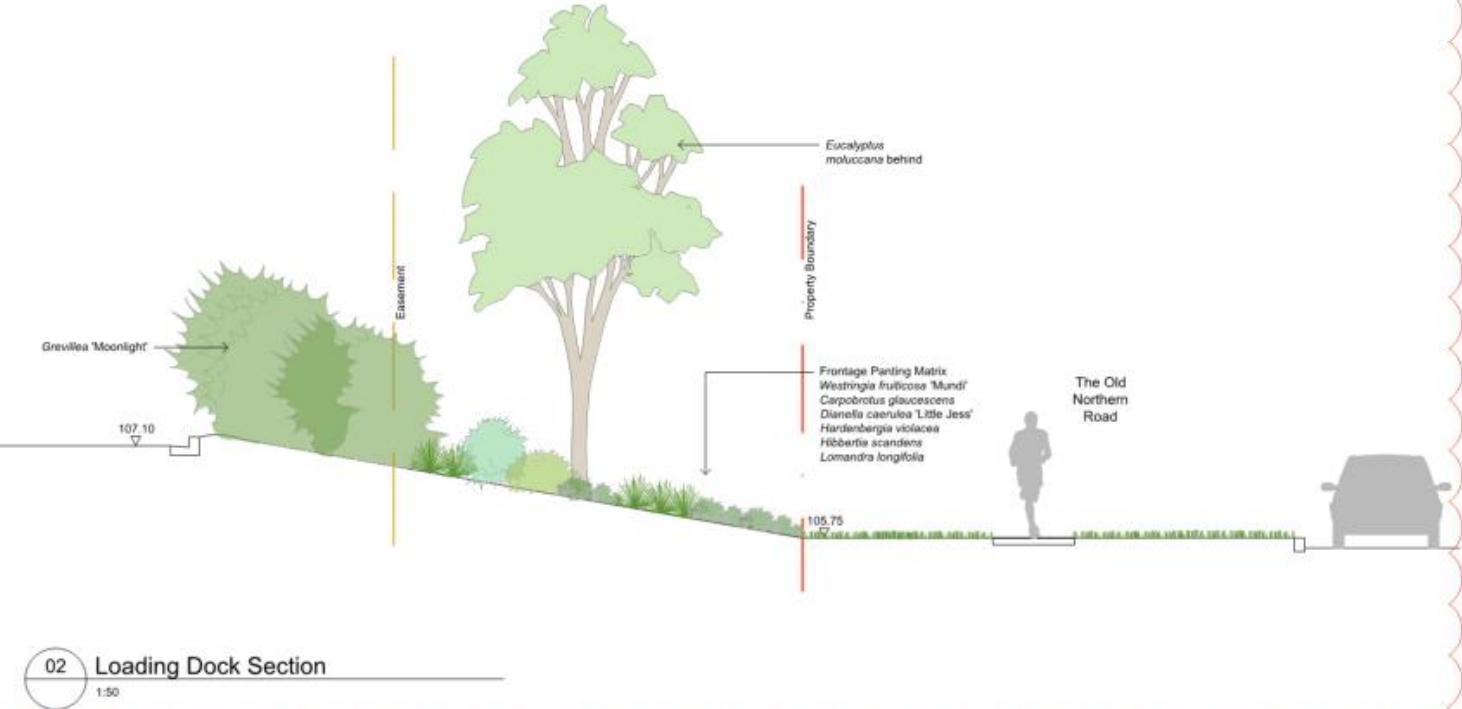
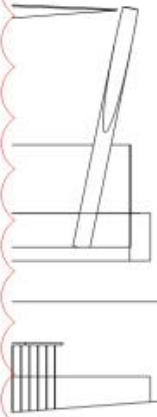
Drawing Number **T102**

Issue **F**

A



01 Loading Dock Section
1:50



02 Loading Dock Section
1:50

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Issue	Revision Description	Drawn	Check	Date
A	Updated for Council Comments	JD	NM	02.06.2023

A1

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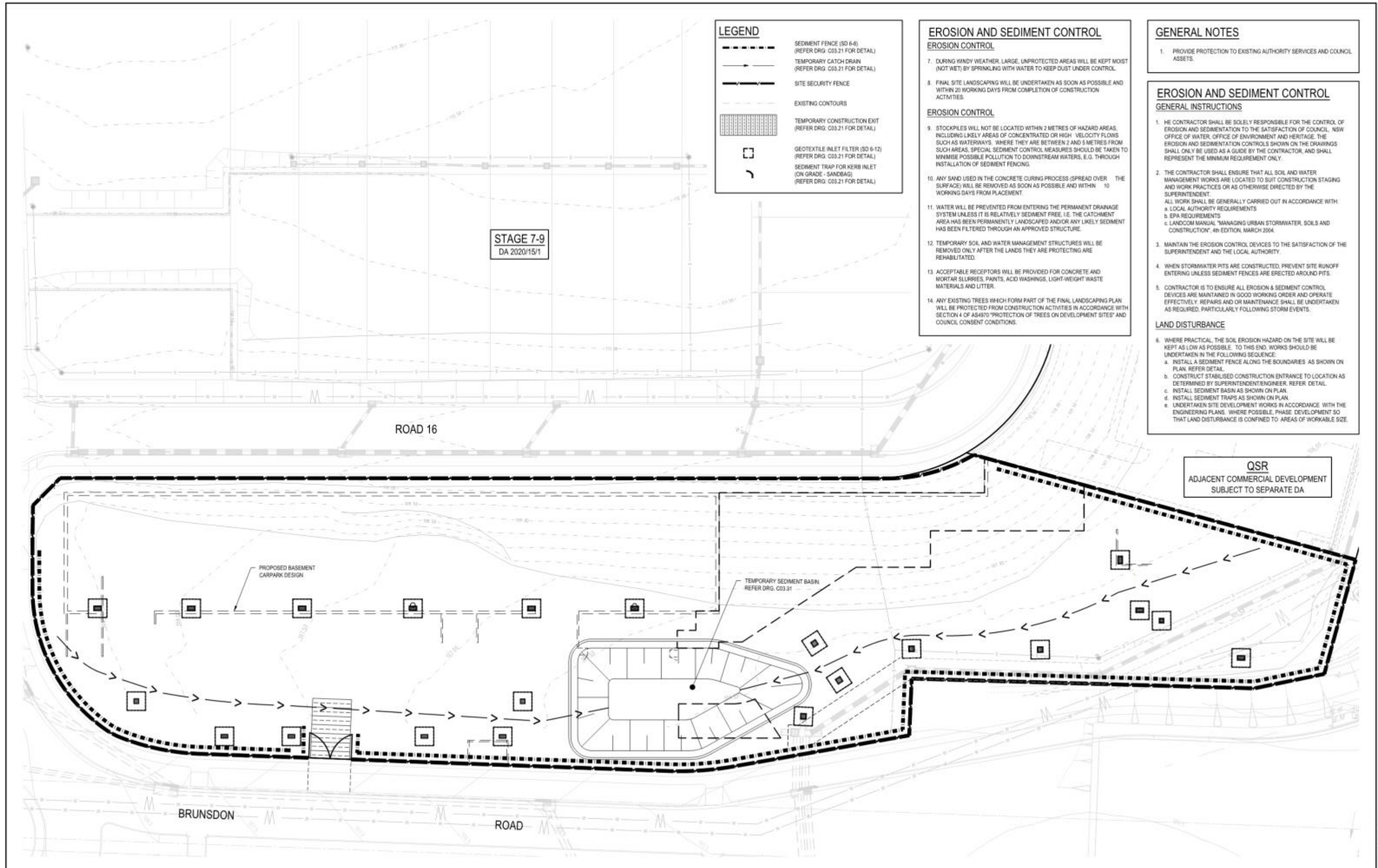
Client
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Project
Oxley Ridge Tavern
2 Brunsdon Road,
Cobbitty NSW 2570

Drawing Name
Landscape Sections

PRELIMINARY

Scale: As Shown
Job Number: SS22-4965
Drawing Number: T501
Issue: A



REV	DATE	DESCRIPTION	DRN	DES	VERIF	APPO
6	26/09/2023	ISSUED FOR DEVELOPMENT APPLICATION	AS	ER	AD	AD
5	8/08/2023	ISSUED FOR DEVELOPMENT APPLICATION	DF	ER	AD	AD
4	19/05/2023	ISSUED FOR DEVELOPMENT APPLICATION	AR	ER	AD	AD
3	21/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	GJL	ER	AD	AD
2	7/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	GJL	ER	AD	AD
1	6/12/2022	ISSUED FOR CLIENT REVIEW	GJL	ER	-	AD

Client

Scale

SCALE 1:500 @A1

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Project
LOT 203 OXLEY RIDGE - DA2
OXLEY RIDGE TAVERN
CIVIL ENGINEERING WORKS

Title
EROSION AND SEDIMENTATION CONTROL PLAN

Scale
1:250

Date
6/12/2022

Size
A1

Datum
MGAS4

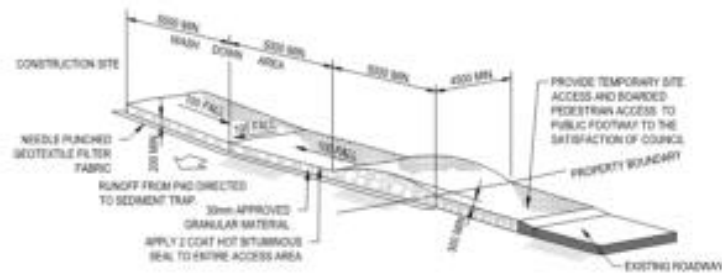
Status

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Project Number/Drawing Number
210029-DA2-DA-C03.01

Revision
6

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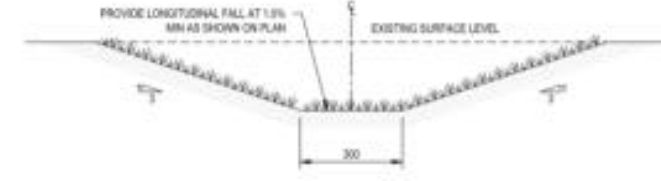


STABILISED SITE ACCESS AND TRUCK WASH DOWN AREA

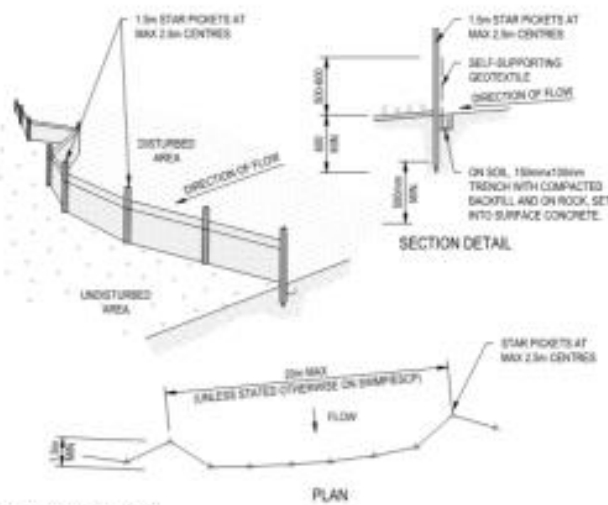


- CONSTRUCTION NOTES**
1. PLACE STOCKPILES ACROSS TRUCKS (PREFERABLY 5m FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS)
 2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS
 3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2m IN HEIGHT, WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWAMP TO REDUCE THE C-FACTOR TO LESS THAN 0.2
 4. CONSTRUCT EARTH BANKS (STANDARD DRAWING 5-5) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES (STANDARD DRAWING 6-6, 1 TO 2m DOWNSLOPE)

STOCKPILES (SD 4-1)

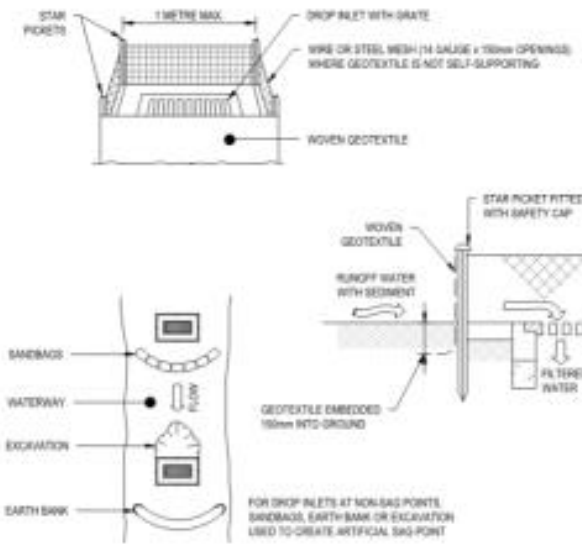


CATCH DRAIN
SCALE 1:20



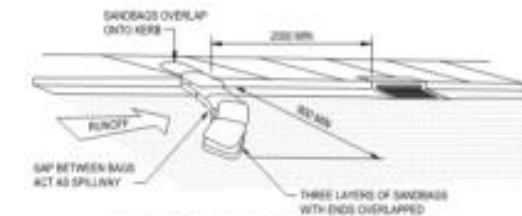
- CONSTRUCTION NOTES**
1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURN AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 30 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
 2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
 3. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND AT 2.5 METRE INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE POTTED WITH SAFETY CAPS.
 4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE PICKETS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
 5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
 6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

SEDIMENT FENCE (SD 6-8)



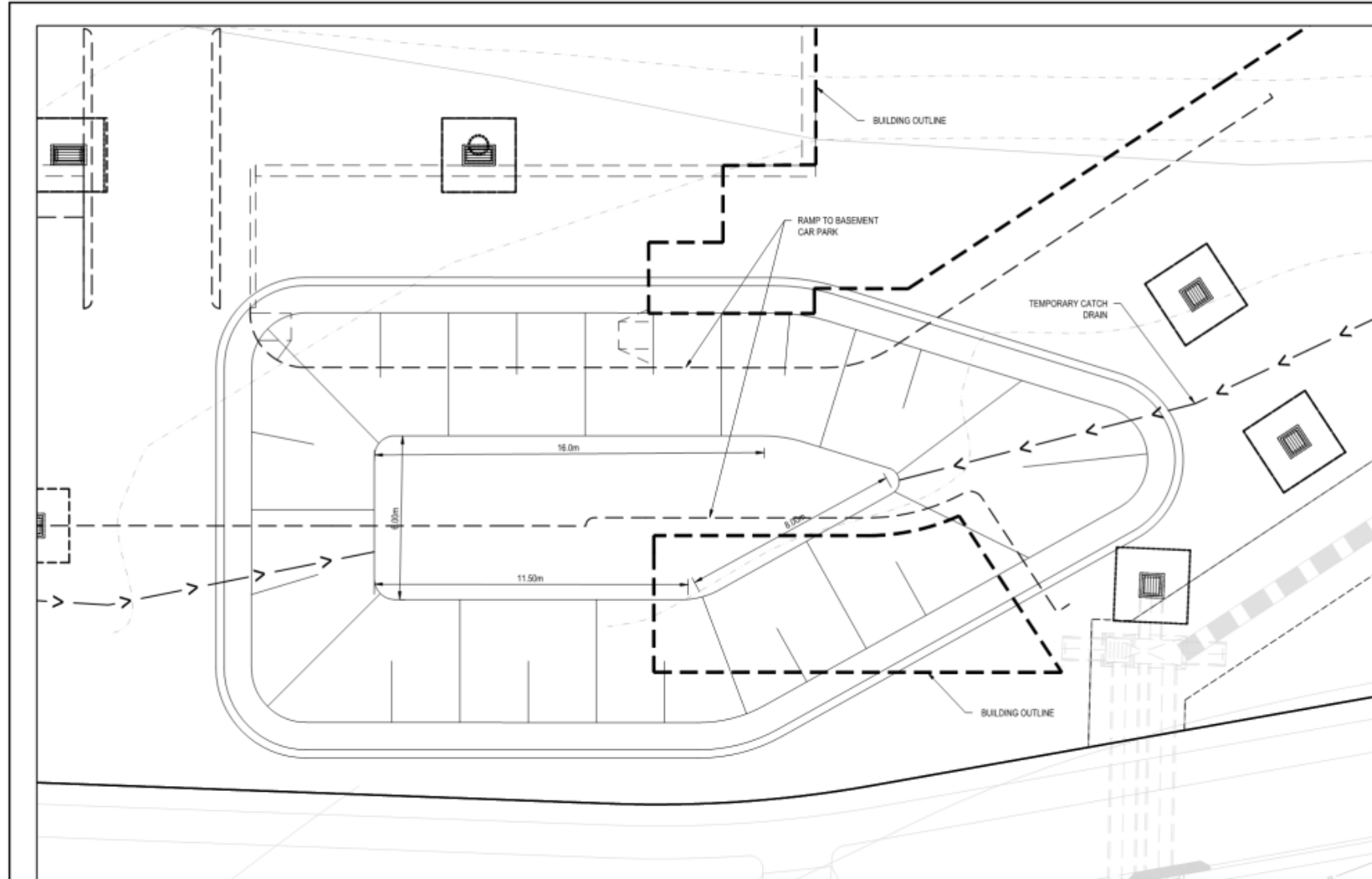
- CONSTRUCTION NOTES**
1. FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES
 2. FOLLOW STANDARD DRAWING 6-7 AND STANDARD DRAWING 6-8 FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOPHABRIC. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
 3. IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
 4. DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.

GEOTEXTILE INLET FILTER (SD 6-12)

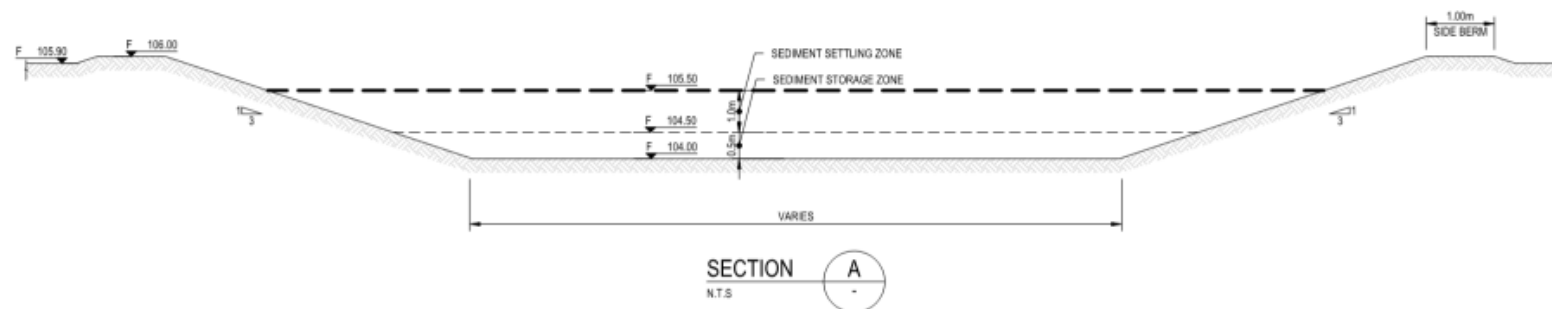


SEDIMENT TRAP FOR KERB INLET
(ON GRADE - SANDBAG)
NOT TO SCALE

		Scale	North		Project: LOT 203 OXLEY RIDGE - DA2 OXLEY RIDGE TAVERN CIVIL ENGINEERING WORKS Title: EROSION AND SEDIMENTATION CONTROL DETAILS	Scale: N.T.S. Date: 6/12/2022 Size: A1 Datum: MGAM4	Status: FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION Project Number/Drawing Number: 210029-DA2-DA-C03.21 Revision: 2
2 17/04/2022 ISSUED FOR DEVELOPMENT APPLICATION 1 01/12/2022 ISSUED FOR CLIENT REVIEW	SUT BR HO AD SUT BR HO AD	Client:	Scale:	North:	Enspire Solutions Pty Ltd Level 4, 153 Walker Street, North Sydney NSW 2060 ABN: 71 624 801 690 Phone: 02 9622 6130	CAD File: P:\210029-Lot203OxleyRidge-DA2-Civil-Engineering-Works\Drawings\03-EROSION AND SEDIMENTATION CONTROL DETAILS.dwg	DATE PLOTTED: 26 June 2023 11:28 AM EST - 100% (1:1)



SEDIMENT BASIN PLAN
SCALE 1:100



1. Erosion Hazard and Sediment Basins

Site Name: Oxley Ridge
 Site Location: Cobbitty, NSW
 Precinct/Stage: The Tavern
 Other Details:

Site area	Sub-catchment or Name of Structure						Notes
	A						
Total catchment area (ha)	0.682						
Disturbed catchment area (ha)	0.682						

Soil analysis (enter sediment type if known, or laboratory particle size data)

Sediment Type (C, F or D) if known:	D						From Appendix C (if known)
% sand (fraction 0.02 to 2.00 mm)	33						Enter the percentage of each soil fraction. E.g. enter 10 for 10%
% silt (fraction 0.002 to 0.02 mm)	33						
% clay (fraction finer than 0.002 mm)	33						
Dispersion percentage	10.0						E.g. enter 10 for dispersion of 10%
% of whole soil dispersible	4.95						See Section 6.3.3(e). Auto-calculated
Soil Texture Group	D						Automatic calculation from above

Rainfall data

Design rainfall depth (no. of days)	5						See Section 6.3.4 and, particularly, Table 6.3 on pages 6-24 and 6-25.
Design rainfall depth (percentile)	75						
x-day, y-percentile rainfall event (mm)	20.2						
Rainfall R-factor (if known)							Only need to enter one or the other here
IFD: 2-year, 6-hour storm (if known)	9.5						

RUSLE Factors

Rainfall erosivity (R-factor)	2020						Auto-filled from above
Soil erodibility (K-factor)	0.075						RUSLE LS factor calculated for a high hill/interill ratio.
Slope length (m)	190						
Slope gradient (%)	2.5						
Length/gradient (LS-factor)	0.77						
Erosion control practice (P-factor)	1.3	1.3	1.3	1.3	1.3	1.3	
Ground cover (C-factor)	1	1	1	1	1	1	

Sediment Basin Design Criteria (for Type D/F basins only. Leave blank for Type C basins)

Storage (soil) zone design (no. of months)	2	2	2	2	2	2	Minimum is generally 2 months
Cv (Volumetric runoff coefficient)	0.5						See Table F2, page F-4 in Appendix F

Calculations and Type D/F Sediment Basin Volumes

Soil loss (t/ha/yr)	151						See Table 4.2, page 4-13
Soil Loss Class	2						
Soil loss (m ³ /ha/yr)	116						Conversion to cubic metres
Sediment basin storage (soil) volume (m ³)	13						See Sections 6.3.4(i) for calculations
Sediment basin settling (water) volume (m ³)	69						See Sections 6.3.4(j) for calculations
Sediment basin total volume (m ³)	82						

NB for sizing of Type C (coarse) sediment basins, see Worksheet 3 (if required).

REV	DATE	DESCRIPTION	DRN	DES	VERIF	APPO
4	8/06/2023	ISSUED FOR DEVELOPMENT APPLICATION	DF	EB	AD	AD
3	16/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	G.II	EB	AD	AD
2	7/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	G.II	EB	AD	AD
1	6/12/2022	ISSUED FOR CLIENT REVIEW	G.II	EB	-	AD



Scale: 0 10 20 30 40 50m
SCALE 1:500 @A1

North

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 Level 4, 153 Walker Street, North Sydney NSW 2060
 ABN: 71 624 801 690
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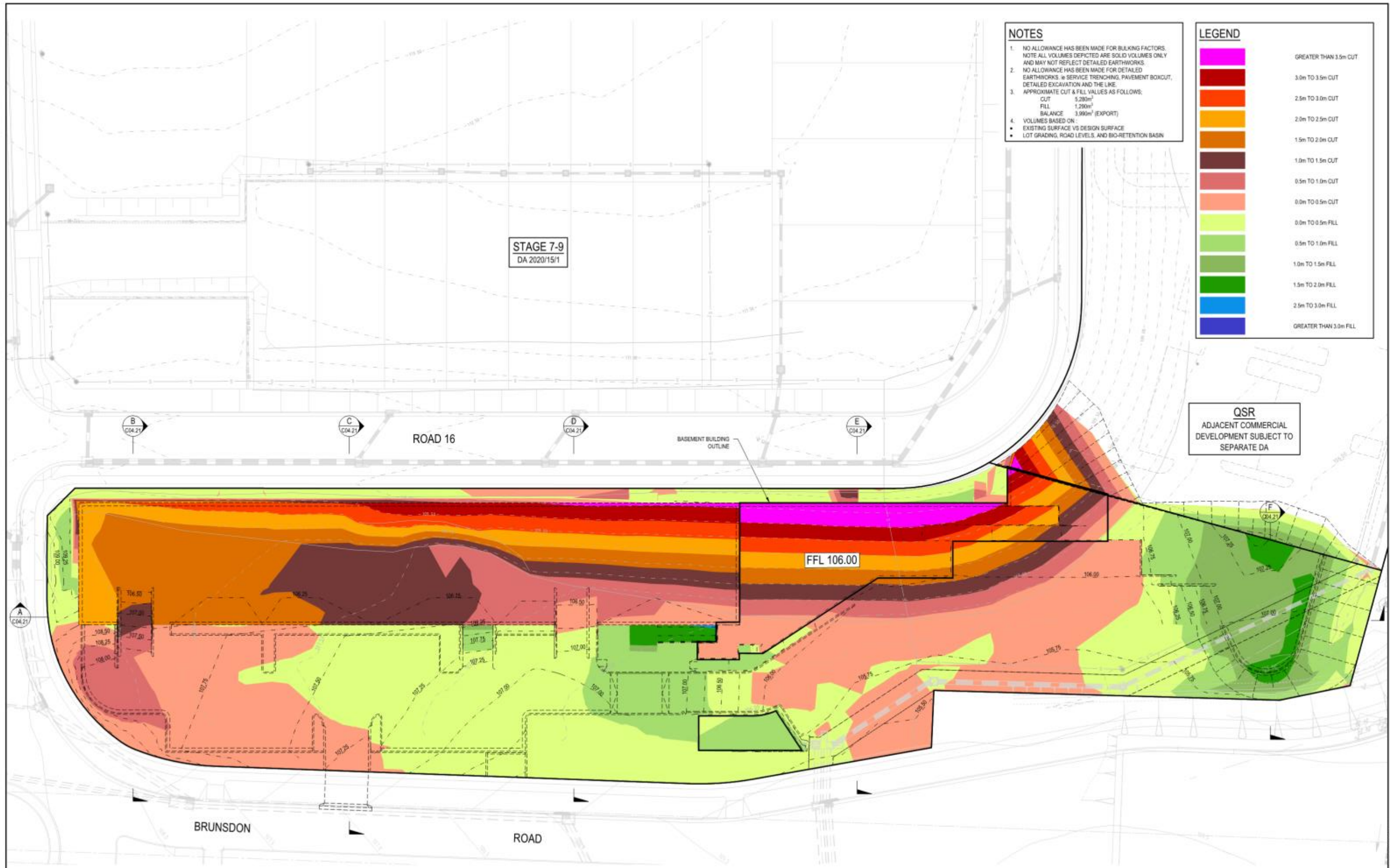
Project: LOT 203 OXLEY RIDGE - DA2
 OXLEY RIDGE TAVERN
 CIVIL ENGINEERING WORKS

Title: TEMPORARY SEDIMENT BASIN PLAN AND DETAILS

Scale: AS SHOWN
 Date: 6/12/2022
 Size: A1
 Datum: MGAS4

Status: **FOR APPROVAL**
 NOT TO BE USED FOR CONSTRUCTION

Project Number/Drawing Number: 210029-DA2-DA-C03.31
 Revision: 4



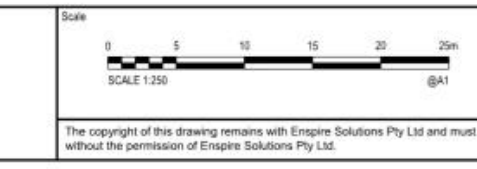
NOTES

- NO ALLOWANCE HAS BEEN MADE FOR BULKING FACTORS. NOTE ALL VOLUMES DEPICTED ARE SOLID VOLUMES ONLY AND MAY NOT REFLECT DETAILED EARTHWORKS.
- NO ALLOWANCE HAS BEEN MADE FOR DETAILED EARTHWORKS & SERVICE TRENCHING, PAVEMENT BOXCUT, DETAILED EXCAVATION AND THE LIKE.
- APPROXIMATE CUT & FILL VALUES AS FOLLOWS:
CUT 5,290m³
FILL 1,250m³
BALANCE 3,990m³ (EXPORT)
- VOLUMES BASED ON:
• EXISTING SURFACE VS DESIGN SURFACE
• LOT GRADING, ROAD LEVELS, AND BIO-RETENTION BASIN



QSR
ADJACENT COMMERCIAL
DEVELOPMENT SUBJECT TO
SEPARATE DA

REV	DATE	DESCRIPTION	DRN	DES	VERIF	APPO
5	26/06/2023	ISSUED FOR DEVELOPMENT APPLICATION	AS	ER	AD	AD
4	21/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	AR	ER	AD	AD
3	16/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	GJJ	EB	AD	AD
2	7/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	GJJ	EB	AD	AD
1	6/12/2022	ISSUED FOR CLIENT REVIEW	GJJ	EB	-	AD

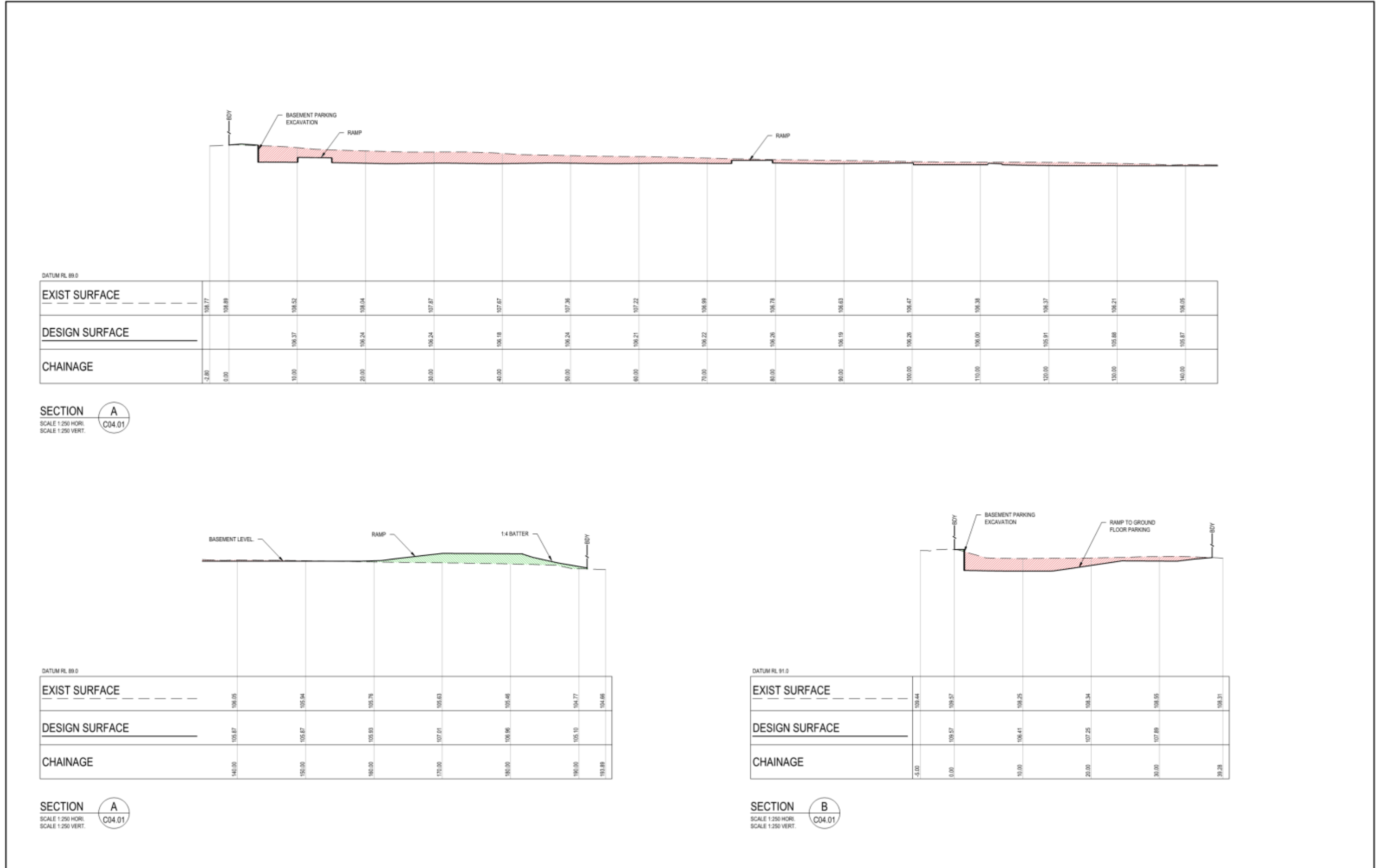


enspire
Enspire Solutions Pty Ltd
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ABN: 71 624 801 690
Phone: 02 9822 6135

Project: LOT 203 OXLEY RIDGE - DA2
OXLEY RIDGE TAVERN
CIVIL ENGINEERING WORKS
Title: EARTHWORKS CUT AND FILL PLAN
Scale: 1:250
Date: 6/12/2022
Size: A1
Datum: MGA94

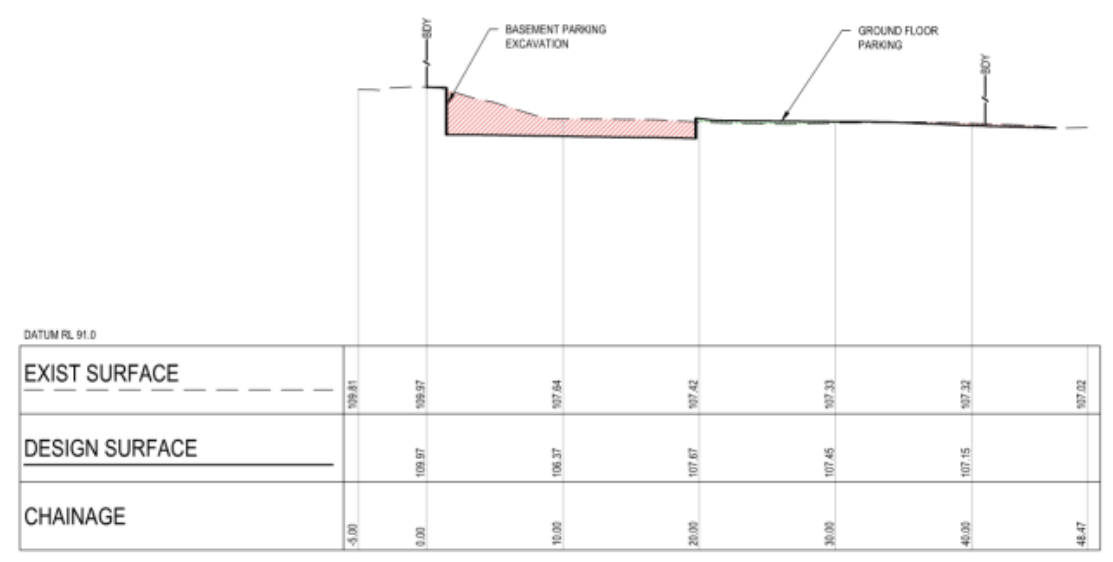
Status: **FOR APPROVAL**
NOT TO BE USED FOR CONSTRUCTION
Project Number/Drawing Number: 210029-DA2-DA-C04.01
Revision: 5

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DATE PLOTTED: 26 Jun 2023 11:30 AM BY: JADEL SMITH

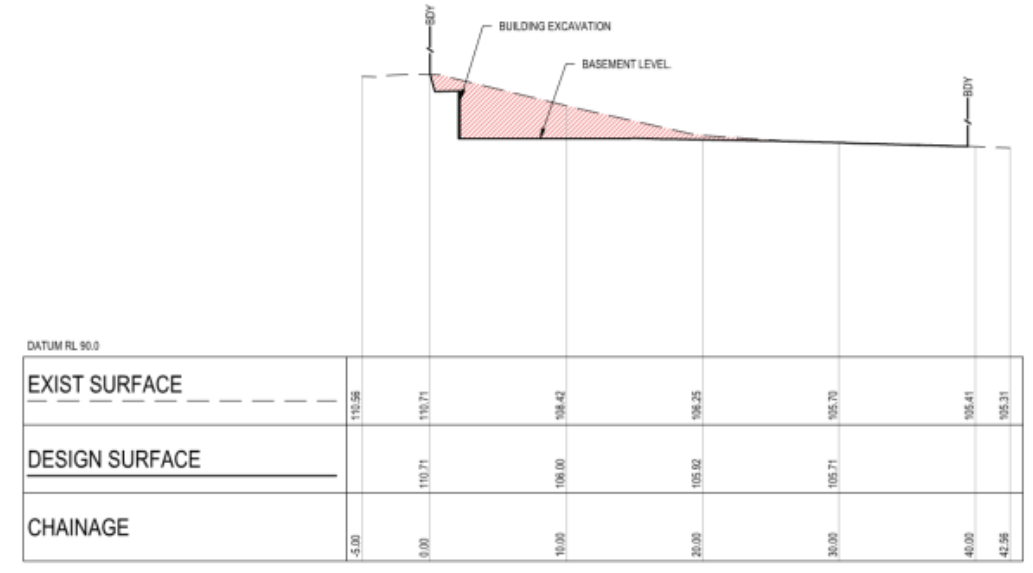


				Project: LOT 203 OXLEY RIDGE - DA2 OXLEY RIDGE TAVERN CIVIL ENGINEERING WORKS Title: EARTHWORKS CUT AND FILL SECTIONS SHEET 01	Scale: AS SHOWN Date: 6/12/2022 Size: A1 Datum: MGAS4	Status: FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION Project Number/Drawing Number: 210029-DA2-C04.21 Revision: 2
Client:	The copyright of this drawing remains with Enspire Solutions Pty Ltd and must not be copied wholly or in part without the permission of Enspire Solutions Pty Ltd.		Enspire Solutions Pty Ltd Level 4, 153 Walker Street, North Sydney NSW 2060 ABN: 71 624 801 690 Phone: 02 9922 6135	CAD File: P:\210029 Lot203OxleyRidge\DA2-Civil\01-Oxley Ridge Tavern\Drawings\B-DACC\210029-DA2-C04-21-C04-22 BULK EARTHWORKS CUT AND FILL SECTIONS.dwg		

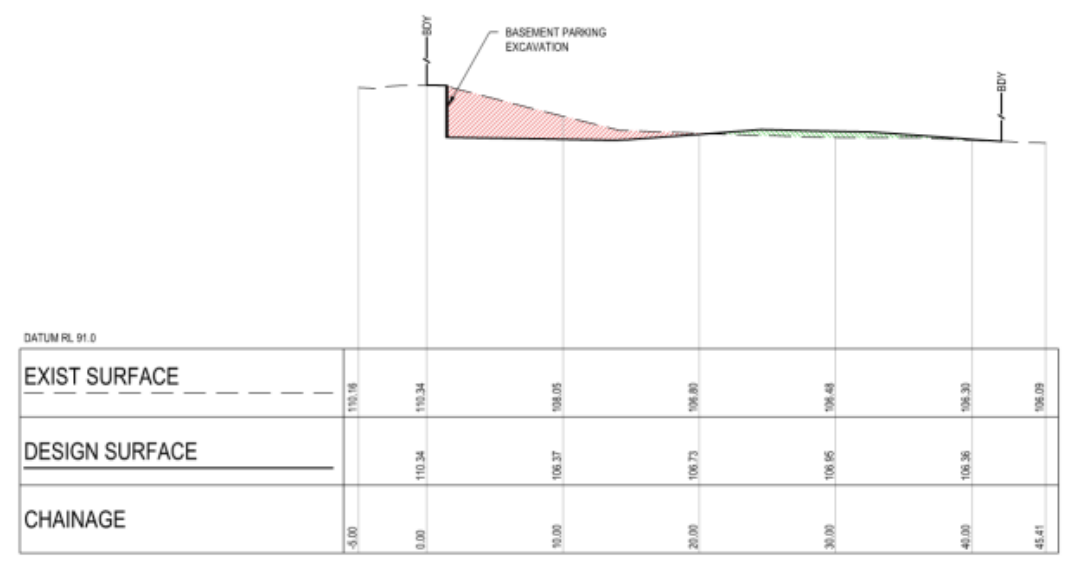
DATE PLOTTED: 7 February 2023 10:27 AM BY: ENDRÉTT BOGHPF



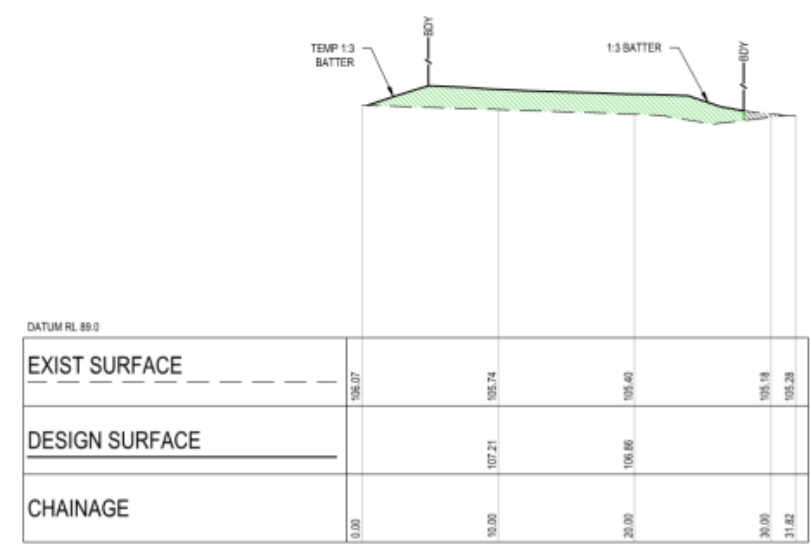
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SCALE 1:250 HORI.
SCALE 1:250 VERT.



SECTION E
SCALE 1:250 HORI.
SCALE 1:250 VERT.

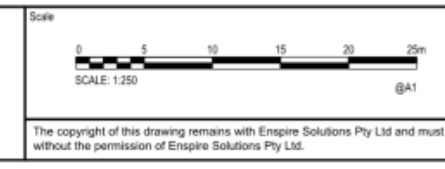


SECTION D
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SCALE 1:250 VERT.



SECTION F
SCALE 1:250 HORI.
SCALE 1:250 VERT.

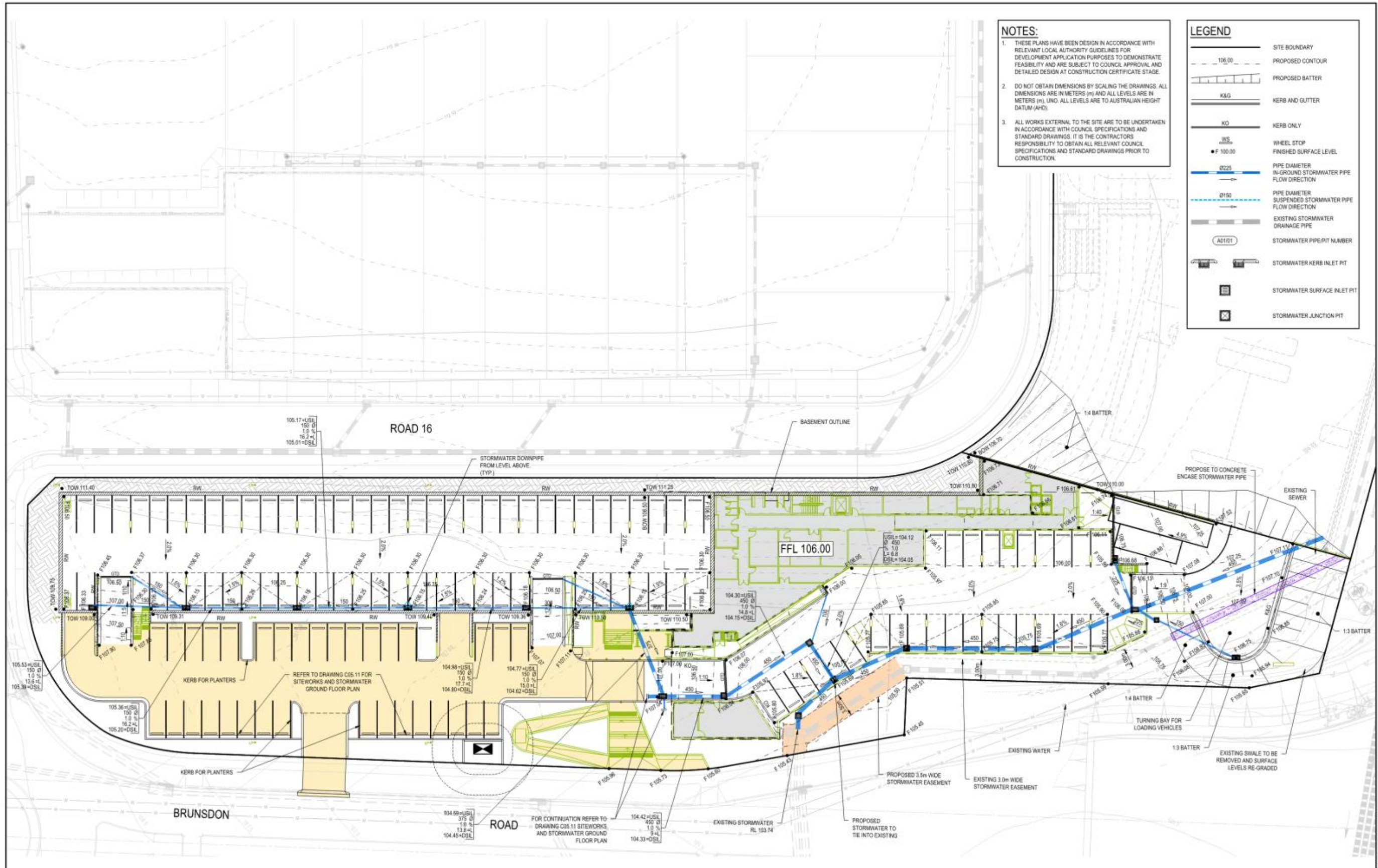
REV	DATE	DESCRIPTION	DRN	DES	VERIF	APPO
2	7/22/2023	ISSUED FOR DEVELOPMENT APPLICATION	GJJ	EB	AD	AD
1	6/12/2022	ISSUED FOR CLIENT REVIEW	GJJ	EB	-	AD



Project	LOT 203 OXLEY RIDGE - DA2 OXLEY RIDGE TAVERN CIVIL ENGINEERING WORKS
Title	EARTHWORKS CUT AND FILL SECTIONS
SHEET 02	

Scale	AS SHOWN	Status	FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION
Date	6/12/2022	Project Number/Drawing Number	210029-DA2-C04.22
Size	A1	Revision	2
Datum	MG84		

CAD File: P:\210029 Lot203OxleyRidge\Drawings\6-DACC\210029-DA2-C04.22 BULK EARTHWORKS CUT AND FILL SECTIONS.dwg



NOTES:

1. THESE PLANS HAVE BEEN DESIGN IN ACCORDANCE WITH RELEVANT LOCAL AUTHORITY GUIDELINES FOR DEVELOPMENT APPLICATION PURPOSES TO DEMONSTRATE FEASIBILITY AND ARE SUBJECT TO COUNCIL APPROVAL AND DETAILED DESIGN AT CONSTRUCTION CERTIFICATE STAGE.
2. DO NOT OBTAIN DIMENSIONS BY SCALING THE DRAWINGS. ALL DIMENSIONS ARE IN METERS (m) AND ALL LEVELS ARE IN METERS (m). UNO. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD).
3. ALL WORKS EXTERNAL TO THE SITE ARE TO BE UNDERTAKEN IN ACCORDANCE WITH COUNCIL SPECIFICATIONS AND STANDARD DRAWINGS. IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN ALL RELEVANT COUNCIL SPECIFICATIONS AND STANDARD DRAWINGS PRIOR TO CONSTRUCTION.

LEGEND

	SITE BOUNDARY
	PROPOSED CONTOUR
	PROPOSED BATTER
	KERB AND GUTTER
	KERB ONLY
	WHEEL STOP
	FINISHED SURFACE LEVEL
	PIPE DIAMETER IN-GROUND STORMWATER PIPE FLOW DIRECTION
	PIPE DIAMETER SUSPENDED STORMWATER PIPE FLOW DIRECTION
	EXISTING STORMWATER DRAINAGE PIPE
	STORMWATER PIPE/PIT NUMBER
	STORMWATER KERB INLET PIT
	STORMWATER SURFACE INLET PIT
	STORMWATER JUNCTION PIT

REV	DATE	DESCRIPTION	DRN	DES	VERIF	APPO	Client
8	24/07/2023	ISSUED FOR DEVELOPMENT APPLICATION	EB	EB	AD	AD	Client
7	26/06/2023	ISSUED FOR DEVELOPMENT APPLICATION	AS	EB	AD	AD	
6	8/06/2023	ISSUED FOR DEVELOPMENT APPLICATION	DF	EB	AD	AD	
5	19/05/2023	ISSUED FOR DEVELOPMENT APPLICATION	AR	EB	AD	AD	
4	21/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	AR	EB	AD	AD	
3	16/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	AR	EB	AD	AD	
2	7/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	GJL	EB	AD	AD	
1	6/12/2022	ISSUED FOR CLIENT REVIEW	GJL	EB	-	AD	



Scale: 0 5 10 15 20 25m
SCALE 1:250 @A1

North

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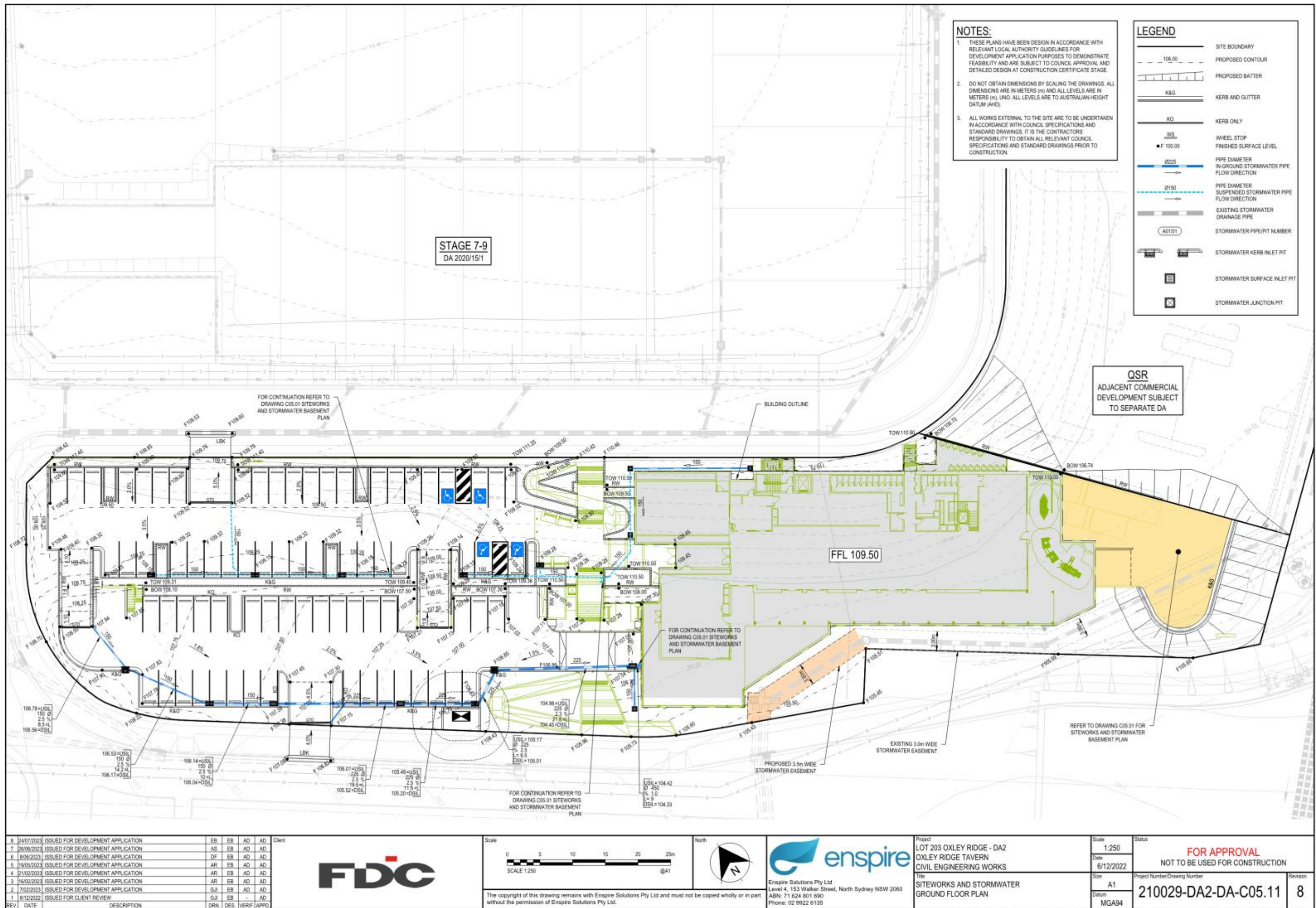
Project: LOT 203 OXLEY RIDGE - DA2
OXLEY RIDGE TAVERN
CIVIL ENGINEERING WORKS

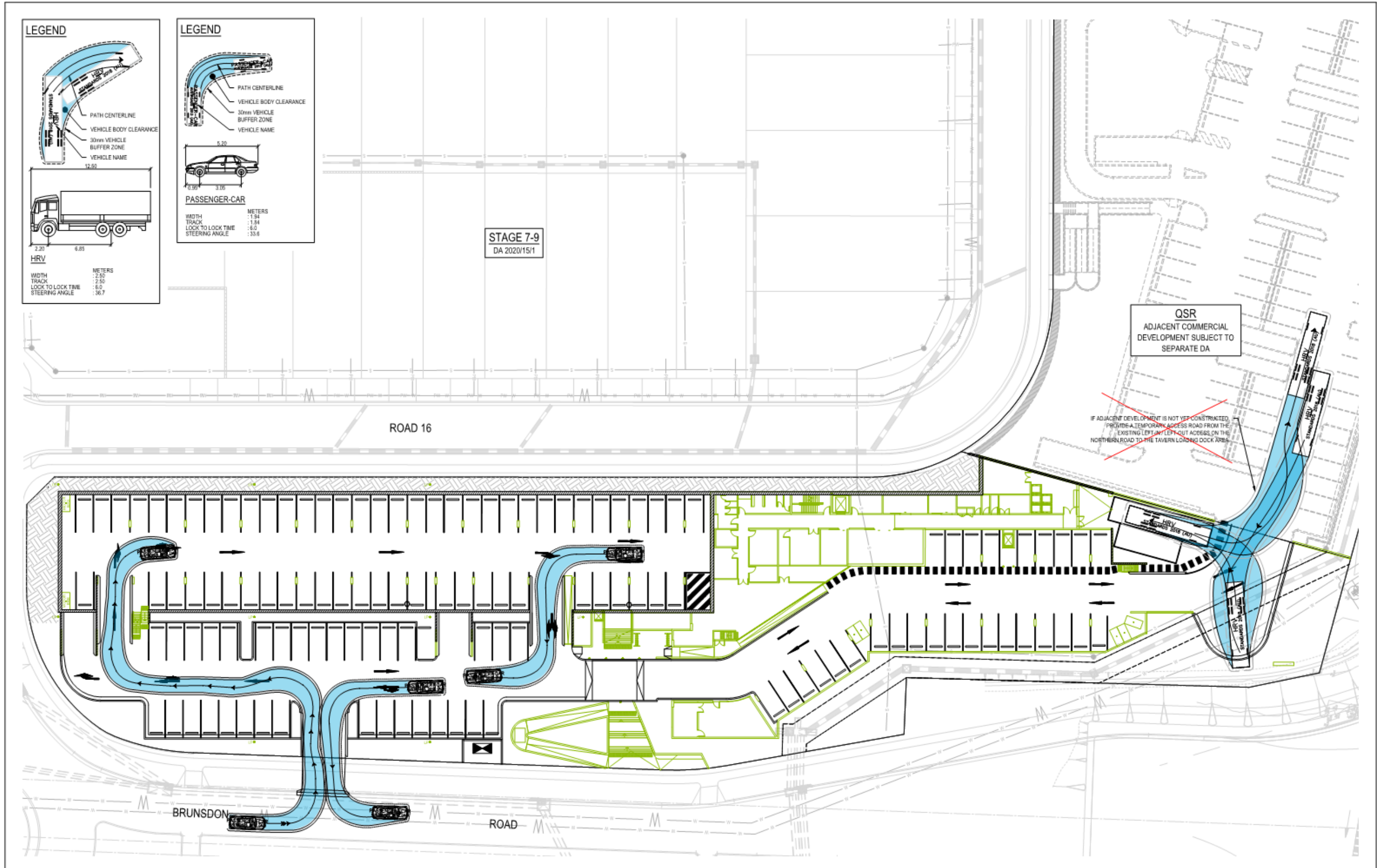
Title: SITEWORKS AND STORMWATER
BASEMENT PLAN

Scale: 1:250
Date: 6/12/2022
Size: A1
Datum: MGAS4

Status: **FOR APPROVAL**
NOT TO BE USED FOR CONSTRUCTION

Project Number/Drawing Number: 210029-DA2-DA-C05.01
Revision: 8



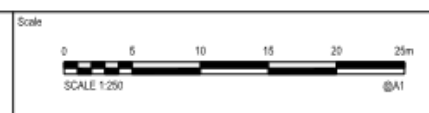


STAGE 7-9
DA 2020/15/1

QSR
ADJACENT COMMERCIAL
DEVELOPMENT SUBJECT TO
SEPARATE DA

IF ADJACENT DEVELOPMENT IS NOT YET CONSTRUCTED,
PROVIDE A TEMPORARY ACCESS ROAD FROM THE
EXISTING LEFT IN LEFT OUT ACCESS ON THE
NORTHERN ROAD TO THE TAVERN LOADING DOCK AREA.

REV	DATE	DESCRIPTION	DRN	DES	VERIF	APPD
6	28/05/2023	ISSUED FOR DEVELOPMENT APPLICATION	AS	EB	AD	AD
5	8/06/2023	ISSUED FOR DEVELOPMENT APPLICATION	DF	EB	AD	AD
4	21/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	AR	EB	AD	AD
3	18/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	AR	EB	AD	AD
2	7/02/2023	ISSUED FOR DEVELOPMENT APPLICATION	GJI	EB	AD	AD
1	6/12/2022	ISSUED FOR CLIENT REVIEW	GJI	EB	-	AD



Project
LOT 203 OXLEY RIDGE - DA2
OXLEY RIDGE TAVERN
CIVIL ENGINEERING WORKS

Title
TURNING PATH PLAN
BASEMENT

Scale 1:250	Status FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION
Date 6/12/2022	Project Number/Drawing Number 210029-DA2-DA-C22.01
Size A1	Revision 6
Author MGA94	

CAD File: P:\210029 Lot203OxleyRidge\Civil\01-Oxley Ridge Tavern\Drawings\DA2\210029-DA2-C22.02 TURNING PATH PLAN.dwg

CLPP02

CLPP02

SUBJECT: DA/2023/417/1 - CONSTRUCTION OF A TWO STOREY DWELLING, AN ATTACHED SECONDARY DWELLING AND ASSOCIATED SITE WORKS - 13 BRUSH CHERRY STREET, LEPPINGTON

FROM: Manager Statutory Planning

EDMS #: 23/533807

DA Number:	2023/417/1.
Development:	Construction of a two storey dwelling, an attached secondary dwelling and associated site works.
Estimated Cost of Development:	\$575,300.
Site Address(es):	13 Brush Cherry Street, Leppington.
Applicant:	Mr Ahmad Hussain.
Owner(s):	Mr Ahmad Hussain.
Number of Submissions:	None.
Development Standard Contravention(s):	Minimum lot size for secondary dwellings.
Classification:	Local development.
Recommendation:	Approve with conditions.
Panel Referral Criteria:	Development standard contravention \geq 10%.
Report Prepared By:	Jessica Backo, Town Planner.

PURPOSE OF REPORT

The purpose of this report is to seek the Camden Local Planning Panel’s (the Panel’s) determination of a development application (DA) for the construction of a two storey dwelling, an attached secondary dwelling and associated site works at 13 Brush Cherry Street, Leppington.

The Panel is to exercise Council’s consent authority functions for this DA as, pursuant to the Minister for Planning’s Section 9.1 Direction, it proposes to contravene the minimum lot size for secondary dwellings development standard that applies to the site by more than 10%.

SUMMARY OF RECOMMENDATION

That the Panel determine DA/2023/417/1 for the construction of a two storey dwelling, an attached secondary dwelling and associated site works pursuant to Section 4.16 of *the Environmental Planning and Assessment Act 1979* by granting consent subject to the conditions attached to this report.

EXECUTIVE SUMMARY

Council is in receipt of a DA for the construction of a two storey dwelling, an attached secondary dwelling and associated site works at 13 Brush Cherry Street, Leppington.

The DA has been assessed against the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2021*, relevant environmental planning instruments, development control plans and policies.

The DA was publicly exhibited for a period of 14 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 9 to 22 August 2023 and no submissions were received.

The applicant proposes a contravention to the minimum lot size for secondary dwellings development standard that applies to the site. The development standard requires a minimum lot size of 450m², while the site has an area of 403m². The contravention is assessed in detail in this report and is supported by Council staff.

Based on the assessment, it is recommended that the DA be approved subject to the conditions attached to this report.

KEY PLANNING CONTROL VARIATIONS

Control	Proposed	Variation
450m ² minimum lot size.	403m ² lot size.	47m ² (10.4%).

AERIAL PHOTO



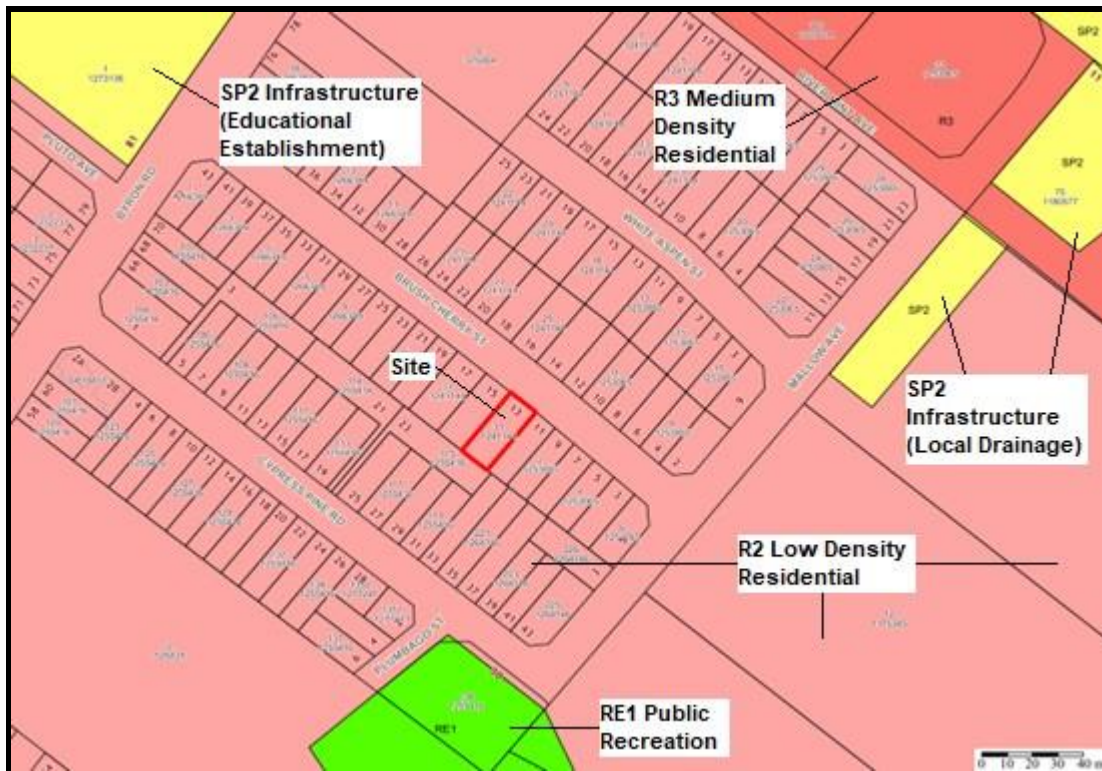
THE SITE

The site is commonly known as 13 Brush Cherry Street, Leppington and is legally described as lot 31, DP 1241144.

The site is rectangular in shape and has a frontage of 13m to Brush Cherry Street, a maximum depth of 31m and an area of 403m². The site slopes downwards by 2.65m from its south western corner (at the rear) to its north eastern corner (at the Brush Cherry Street frontage). The site is vacant and is located in the Leppington Precinct of the South West Growth Area.

The surrounding area is characterised by newly developed and developing low density residential subdivision and dwellings. To the north of the site lies Ingleburn Road and the Leppington North Precinct of the South West Growth Area. To the east lies Camden Valley Way and the East Leppington Precinct of the South West Growth Area. To the south and east lie other developing residential areas of the Leppington Precinct.

ZONING PLAN



HISTORY

The relevant development history of the site is summarised in the following table:

Date	Development
28 February 2018.	Approval of DA/2016/1335/1 for a residential subdivision that created the lot.

THE PROPOSAL

DA/2023/417/1 seeks approval for the construction of a two storey dwelling, an attached secondary dwelling and associated site works. Specifically the development involves:

1. A five bedroom principal dwelling with a double garage.
2. A one bedroom secondary dwelling also containing one bathroom/laundry, one kitchen and one living/dining area.

ASSESSMENT

Environmental Planning and Assessment Act 1979 - Section 4.15(1)

In determining a DA, the consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the DA:

(a)(i) the provisions of any environmental planning instrument

The environmental planning instruments that apply to the development are:

- State Environmental Planning Policy (Precincts - Western Parkland City) 2021.
- State Environmental Planning Policy (Housing) 2021.
- State Environmental Planning Policy (Resilience and Hazards) 2021.
- State Environmental Planning Policy (Biodiversity and Conservation) 2021.
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004.

State Environmental Planning Policy (Precincts - Western Parkland City) 2021 (Western Parkland City SEPP)

The Western Parkland City SEPP aims to co-ordinate the release of land for residential, employment and other urban development in the North West Growth Centre, the South West Growth Centre, the Wilton Growth Area and the Greater Macarthur Growth Area.

Site Zoning

The site is zoned R2 Low Density Residential pursuant to Appendix 5, Section 2.2 of the Western Parkland City SEPP.

Development Characterisation

The development is characterised as a 'dwelling house' and a 'secondary dwelling' pursuant to Appendix 5 of the Western Parkland City SEPP.

Permissibility

The development is permitted with consent in the R2 Low Density Residential zone pursuant to the land use table in Appendix 5 of the Western Parkland City SEPP.

Planning Controls

An assessment table in which the development is considered against the Western Parkland City SEPP’s planning controls is provided as an attachment to this report.

Proposed Contravention

The applicant proposes a contravention to the minimum lot size for secondary dwellings development standard that applies to the site. The development standard requires a minimum lot size of 450m². However, the site has an area of only 403m².

Contravention Assessment

Pursuant to Appendix 5, Section 4.6(3), Appendix 5 of the Western Parkland City SEPP, the applicant has submitted a written request that seeks to justify the contravention of the development standard. In summary, the applicant’s written request provides the following justification for the contravention:

- The secondary dwelling will be located at the rear of the site, behind the principal dwelling’s garage and will not visually dominate the streetscape as it will be completely screened from view from the public domain. The proposed plans provide a seamless integration of the secondary dwelling with the form and architectural design of the principal dwelling.
- The secondary dwelling will not be perceived as a separate dwelling from the streetscape or adjoining properties as shown in the artist’s impression below. The final development will present as a two storey dwelling when viewed from the public domain and will not result in a development that is out of character of the surrounding streetscape.



- The secondary dwelling will provide low-impact additional housing on the site for the needs of residents to age with the support of family members and to meet socioeconomic requirements into the future.
- The development complies with the objectives of the R2 Low Density Residential zone in that it will provide for the housing needs of the community within a low-density residential environment.
- The development largely complies with the applicable provisions of the Western Parkland City SEPP and the Camden Growth Centres Precincts Development Control Plan, including in relation to maximum building height, site coverage, landscaping, private open space, building setbacks, solar access, off-street car parking and visual and acoustic privacy.

A copy of the applicant's written request is provided as an attachment to this report.

Pursuant to Appendix 2, Section 4.6(4) of the Western Parkland City SEPP, Council staff are satisfied that:

- The applicant's written request has adequately addressed the matters required to be demonstrated by Appendix 5, Section 4.6(3) of the Western Parkland City SEPP.
- The development will be in the public interest because it is consistent with the objectives for development within the zone in which the development is proposed to be carried out.

The development standard contravention is supported for the following reasons:

- The development is consistent with the objectives for development within the R2 zone in which the development is proposed to be carried out:
 1. *To provide for the housing needs of the community within a low density residential environment.*

The development will contribute to providing for the housing needs of the community within a low density residential area.

2. *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

This development does not propose any land use that provides facilities or services to residents. The proposed contravention will have no impacts on the provision of facilities or services given that the secondary dwelling will be collocated with a principal dwelling on a residential lot.

3. *To allow people to carry out a reasonable range of activities from their homes where such activities are not likely to adversely affect the living environment of neighbours.*

The development is for principal and secondary dwellings and not for any other activities.

4. *To support the well-being of the community by enabling educational, recreational, community, religious and other activities where compatible with the amenity of a low density residential environment.*

The development is for principal and secondary dwellings. However, the secondary dwelling will have no impacts on the provision of facilities or activities given that it will be collocated with a principal dwelling on a residential lot.

5. *To provide a diverse range of housing types to meet community housing needs within a low density residential environment.*

The proposal involves the construction of a two storey dwelling with an attached secondary dwelling. In accordance with the Western Parkland City SEPP and other relevant environmental planning instruments, a 'dwelling house' and 'secondary dwelling' are different housing types on the same lot of land. The development contributes to a variety of housing types within the area and is compatible with the existing and future surrounding residential character, which largely consists of different types of residential accommodation.

- The secondary dwelling will contribute to providing additional housing in the area whilst demonstrating general compliance with the relevant environmental planning instruments, development control plans and policies.
- The development is consistent with the existing streetscape on Brush Cherry Street, with surrounding sites consisting of a similar built form. The development is also consistent with the existing streetscape in regard to its bulk and scale.

State Environmental Planning Policy (Housing) 2021 (Housing SEPP)

Section 52 of the Housing SEPP prescribes that development consent must not be granted for a secondary dwelling development unless:

- *the total floor area of the principal dwelling and the secondary dwelling is no more than the maximum floor area permitted for a dwelling house on the land under another environmental planning instrument, and*
- *the total floor area of the secondary dwelling is:*
 - (i) *no more than 60m², or*
 - (ii) *if a greater floor area is permitted for a secondary dwelling on the land under another environmental planning instrument - the greater floor area.*

There is no maximum floor space ratio prescribed for a dwelling house on the land under another environmental planning instrument. Furthermore, the proposed secondary dwelling has an internal floor area of 46.63sqm that is less than 60sqm.

Section 53 of the Housing SEPP contains non-discretionary standards that if complied with, prevent the consent authority from requiring more onerous standards for the matters, namely:

- (a) *for a detached secondary dwelling - a minimum site area of 450m²,*
- (b) *the number of parking spaces provided on the site is the same as the number of parking spaces provided on the site immediately before the development is carried out.*

The subject site has an area of 403sqm and is therefore less than the non-discretionary standard of 450sqm. The variation to the minimum lot size development standard prescribed under the Western Parkland City SEPP has been addressed above and the site is considered to be of a sufficient size to support the proposed secondary dwelling.

A double garage is proposed for the use of the principal dwelling and no car parking is proposed for the secondary dwelling. The level of car parking proposed complies with the relevant planning policies.

State Environmental Planning Policy (Resilience and Hazards) 2021 (Resilience and Hazards SEPP)

This Resilience and Hazards SEPP provides a State-wide planning approach to the remediation of contaminated land.

Section 4.6 of the Resilience and Hazards SEPP requires the consent authority to consider if the site is contaminated. If the site is contaminated, the consent authority must be satisfied that it is suitable in its contaminated state for the development. If the site requires remediation, the consent authority must be satisfied that it will be remediated before the land is used for the development. Furthermore, the consent authority must consider a preliminary contamination investigation in certain circumstances.

Contamination and remediation of the site were previously addressed under the parent subdivision development application (DA/2016/1335/1) that created the lot. Council staff are satisfied that the site is suitable for the development.

State Environmental Planning Policy (Biodiversity and Conservation) 2021 (Biodiversity and Conservation SEPP)

The development is considered satisfactory in terms of the matters for consideration in Chapter 6 of the Biodiversity and Conservation SEPP. There will be no unreasonable adverse impacts upon the Hawkesbury-Nepean Catchment as a result of the development.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

The applicant has submitted a compliant BASIX Certificate in support of the DA. The development will be able to comply with the certificate's requirements and a standard condition is recommended to require compliance.

(a)(ii) the provisions of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)

Draft Environment State Environmental Planning Policy (Draft Environment SEPP)

The development is consistent with the Draft Environment SEPP in that there will be no unreasonable adverse impacts upon the Hawkesbury-Nepean Catchment as a result of it.

Draft Remediation of Land State Environmental Planning Policy (Draft Remediation of Land SEPP)

The development is consistent with the Draft Remediation of Land SEPP in that it is consistent with the Resilience and Hazards SEPP.

(a)(iii) the provisions of any development control plan

Camden Growth Centre Precincts Development Control Plan (Growth DCP)

Planning Controls

An assessment table in which the development is considered against the Growth DCP is provided as an attachment to this report.

(a)(iia) the provisions of any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No relevant planning agreement or draft planning agreement exists or has been proposed as part of this DA.

(a)(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph)

The *Environmental Planning and Assessment Regulation 2021* prescribes several matters that are addressed in the conditions attached to this report.

(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

As demonstrated by the assessment, the development is unlikely to have any unreasonable adverse impacts on either the natural or built environments, or the social and economic conditions in the locality.

(c) the suitability of the site for the development

As demonstrated by the assessment, the site is considered to be suitable for the development.

(d) any submissions made in accordance with this Act or the regulations

The DA was publicly exhibited for a period of 14 days in accordance with the Camden Community Participation Plan 2021. The exhibition period was from 9 August to 22 August 2023 and no submissions were received.

(e) the public interest

The public interest is served through the detailed assessment of this DA under the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2021*, environmental planning instruments, development control plans and policies. Based on the assessment, the development is consistent with the public interest.

EXTERNAL REFERRALS

No external referrals were required for the assessment of this DA.

FINANCIAL IMPLICATIONS

This matter has no direct financial implications for Council.

CONCLUSION

The DA has been assessed in accordance with Section 4.15(1) of the *Environmental Planning and Assessment Act 1979* and all relevant instruments, plans and policies. The DA is recommended for approval subject to the conditions attached to this report.

RECOMMENDED

That the Panel:

- i. support the applicant's written request lodged pursuant to Appendix 5, Section 4.6(3) of State Environmental Planning Policy (Precincts - Western Parkland City) 2021 to the contravention of the minimum lot size for secondary dwellings development standard in Appendix 5, Section 4.1AC of State Environmental Planning Policy (Precincts - Western Parkland City) 2021, and
- ii. approve DA/2023/417/1 for the construction of a two storey dwelling, an attached secondary dwelling and associated site works at 13 Brush Cherry Street, Leppington subject to the conditions attached to this report for the following reasons:
 1. The Panel has considered the written request to contravene State Environmental Planning Policy (Precincts - Western Parkland City) 2021 in relation to the minimum lot size for secondary dwellings development standard. The Panel considers that the written request from the applicant adequately demonstrates that compliance with the development standard in Appendix 5, Section 4.1AC of State Environmental Planning Policy (Precincts - Western Parkland City) 2021 is unreasonable and unnecessary in the circumstances of the case, and that there are sufficient environmental planning grounds to justify contravening the development standard. The Panel is also satisfied that the development will be in the public interest because it is consistent objectives of the development standard in Appendix 5, Section 4.1AC of State Environmental Planning Policy (Precincts - Western Parkland City) 2021 and the objectives for development within the R2 Low Density Residential zone.
 2. The development is consistent with the objectives and controls of the applicable environmental planning instruments, being State Environmental Planning Policy (Precincts - Western Parkland City) 2021, State Environmental Planning Policy (Housing) 2021, State Environmental Planning Policy (Resilience and Hazards) 2021, State Environmental Planning Policy (Biodiversity and Conservation) 2021 and

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004.

- 3. The development is consistent with the objectives of the Camden Growth Centre Precincts Development Control Plan.**
- 4. The development is considered to be of an appropriate scale and form for the site and the character of the locality.**
- 5. Subject to the recommended conditions, the development is unlikely to have any unreasonable adverse impacts on the natural or built environments.**
- 6. For the above reasons, the development is a suitable use of the site and its approval is in the public interest.**

ATTACHMENTS

1. Recommended Conditions
2. Western Parkland City SEPP Assessment Table
3. Growth DCP Assessment Table
4. Clause 4.6 written request
5. Architectural plans

RECOMMENDED CONDITIONS**1.0 - General Conditions of Consent**

The following conditions of consent are general conditions applying to the development.

- (1) **Approved Plans and Documents** - Development shall be carried out in accordance with the following plans and documents, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
Job: 23022, Revision: B, Dwg No: DA01B	Site Plan & Location Plan	Cactus Design & Drafting	10/05/2023
Job: 23022, Revision: B, Dwg No: DA02B	Ground Floor Plan	Cactus Design & Drafting	10/05/2023
Job: 23022, Revision: B, Dwg No: DA03B	First Floor Plan	Cactus Design & Drafting	10/05/2023
Job: 23022, Revision: B, Dwg No: DA04B	Roof Plan	Cactus Design & Drafting	10/05/2023
Job: 23022, Revision: B, Dwg No: DA05B	Elevations NE & NW	Cactus Design & Drafting	10/05/2023
Job: 23022, Revision: B, Dwg No: DA06B	Elevations SE & SW	Cactus Design & Drafting	10/05/2023
Job: 23022, Revision: B, Dwg No: DA07B	Sections AA & BB	Cactus Design & Drafting	10/05/2023
Job No: 11755, Drawing No: S1	Stormwater Plan	Meares Consulting	03/07/2023
Job No: 23022, Drawing No: LS01A	Landscape Plan	Cactus Design & Drafting	10/05/2023
N/A	Colour Schedule	N/A	07/07/2023

Document Title	Prepared by	Date
BASIX Certificate No. 1407714M	Thermpreform	19/07/2023
Waste Management Plan	Applicant	19/07/2023

- (2) **BASIX Certificate** - The applicant shall undertake the development strictly in accordance with the commitments listed in the approved BASIX certificates for the development to which this development consent applies.
- (3) **National Construction Code - Building Code of Australia (BCA)** - All building work shall be carried out in accordance with the BCA as in force on the relevant date. In this condition the relevant date has the same meaning as in section 19 of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*.
- (4) **Home Building Act** - Pursuant to Section 4.17(11) of the *EP&A Act 1979*, residential building work within the meaning of the *Home Building Act 1989* shall not be carried out unless the principal certifier for the development to which the work relates has given Council written notice of the following:
- a) for work that requires a principal contractor to be appointed:
 - i. the name and licence number of the principal contractor, and
 - ii. the name of the insurer of the work under Part 6 of the *Home Building Act 1989*,
 - b) for work to be carried out by an owner-builder:
 - i. the name of the owner-builder, and
 - ii. if the owner-builder is required to hold an owner-builder permit under the *Home Building Act 1989*, the number of the owner-builder permit.
- If the above information is no longer correct, further work must not be carried out unless the principal certifier has given Council written notice of the updated information.
- (5) **Home Building Act - Insurance** - Building work that involves residential building work within the meaning of the *Home Building Act 1989* shall not commence until such time as a contract of insurance is in force in accordance with Part 6 of that Act.
- This requirement does not apply:
- a) to the extent to which an exemption is in force under the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*, or
 - b) to the erection of a temporary structure, other than a temporary structure to which subsection (3) of Section 69 of the *Environmental Planning and Assessment Regulation 2021* applies.
- (6) **Shoring and Adequacy of Adjoining Property** - If the approved development involves excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, including a structure or work in a road rail corridor, the person having the benefit of the development consent must, at the person's own expense:
- a) protect and support the building, structure or work on adjoining land from possible damage from the excavation, and

- b) if necessary, underpin the building, structure or work on adjoining land to prevent damage from the excavation.

This condition does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land gives written consent to the condition not applying.

A copy of the written consent must be provided to the principal certifier prior to the excavation commencing.

- (7) **Infrastructure in Road and Footpath Areas** - Infrastructure must not be removed and/or reconstructed without prior written approval from Council. Any costs incurred due to the relocation, restoration or reconstruction of pram ramps, footpath, light poles, kerb inlet pits, service provider pits, street trees or other infrastructure in the street footpath area for the proposed development shall be borne by the applicant, and not Council.

Note. The issue of this development consent does not imply concurrence or approval of any required public infrastructure work associated with the development.

2.0 - Prior to Issue of a Construction Certificate

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Structural Engineer's Details** - The piers/slabs/footings/structural elements shall be designed and certified by a suitably qualified structural engineer and shall take into consideration the recommendations of any geotechnical report applicable to the site. A statement to that effect shall be provided to the accredited certifier.
- (2) **Driveway Gradients and Design** - The design of all driveways shall comply with AS 2890.1-2004 'Off street car parking' and:
 - a) the driveway shall comply with Council's Access Driveway Specifications; <https://www.camden.nsw.gov.au/assets/pdfs/Development/Preparing-a-DA/Development-Guidelines-and-policies/Access-Driveways-Specifications-and-Drawings.pdf>
 - b) the driveway shall be at least 1m from any street tree, stormwater pit or service infrastructure;
 - c) the level for the driveway across the footpath area shall achieve a gradient of 4%; and
 - d) a Driveway Crossing Approval (PRA) must be obtained prior to the issue of a Construction Certificate.

Details demonstrating compliance shall be provided to the accredited certifier prior to issue of a Construction Certificate.

- (3) **Soil, Erosion, Sediment and Water Management** - An erosion and sediment control plan shall be prepared in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book'). Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.

- (4) **Works in Road Reserves** - Where any works are proposed in a public road reservation, a Road Opening Permit shall be obtained from Council in accordance with Section 138 of the *Roads Act 1993*.
- (5) **Salinity (Dwellings and Outbuildings)** - The approved development shall comply with the requirements of the salinity management plan "Salinity Management Plan Proposed Residential Subdivision Development Lot 79 DP8979, 35 Ingleburn Rd Leppington" Ref: JC16254Br1 dated January 2017 and prepared by Geo Enviro Consultancy Pty Ltd.

Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.

- (6) **Long Service Levy** - In accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986*, the applicant shall pay a long service levy at the prescribed rate to either the Long Service Payments Corporation or Council for any building work that cost \$25,000 or more.

3.0 - Prior to Commencement of Works

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Public Liability Insurance** - The owner or contractor shall take out a Public Liability Insurance Policy with a minimum cover of \$20 million in relation to the occupation of, and works within, public property (i.e. kerbs, gutters, footpaths, walkways, reserves, etc) for the full duration of the proposed works. Evidence of this Policy shall be provided to Council and the certifier.
- (2) **Notice of Principal Certifier** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*. The notice shall include:
- a) a description of the work to be carried out;
 - b) the address of the land on which the work is to be carried out;
 - c) the registered number and date of issue of the relevant development consent;
 - d) the name and address of the principal certifier, and of the person by whom the principal certifier was appointed;
 - e) the certifier's registration number, and a statement signed by the certifier consenting to being appointed as principal certifier; and
 - f) a telephone number on which the principal certifier may be contacted for business purposes.
- (3) **Notice of Commencement of Work** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*. The notice shall include:
- a) the name and address of the person by whom the notice is being given;

- b) a description of the work to be carried out;
 - c) the address of the land on which the work is to be carried out;
 - d) the registered number and date of issue of the relevant development consent and construction certificate;
 - e) a statement signed by or on behalf of the principal certifier (only where no principal certifier is required) to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and;
 - f) the date on which the work is intended to commence.
- (4) **Construction Certificate Required** - In accordance with the requirements of the *EP&A Act 1979*, building or subdivision works approved by this consent shall not commence until the following has been satisfied:
- a) a Construction Certificate has been issued by a certifier;
 - b) a principal certifier has been appointed by the person having benefit of the development consent;
 - c) if Council is not the principal certifier, Council is notified of the appointed principal certifier at least two (2) days before building work commences;
 - d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and
 - e) the principal certifier is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
- (5) **Sign of Principal Certifier and Contact Details** - A sign shall be erected in a prominent position on the site stating the following:
- a) that unauthorised entry to the work site is prohibited,
 - b) the name of the principal contractor, if any, for the building work and a telephone number on which the principal contractor may be contacted outside working hours, and
 - c) the name, address and telephone number of the principal certifier for the work.
- The sign must be maintained while the work is being carried out and removed when the work has been completed.
- (6) **Site is to be Secured** - The site shall be secured and fenced.
- (7) **Sydney Water Approval** – The approved construction certificate plans must also be approved by Sydney Water to determine if sewer, water or stormwater mains or easements will be affected by any part of the development. Go to www.sydneywater.com/tapin to apply.

A copy of the approval receipt from Sydney Water must be submitted to the principal certifier.

- (8) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book') and any Sediment and Erosion plans approved with this development consent.
- (9) **Protection of Existing Street Trees** - No existing nature strip, street tree, tree guard, protective bollard, garden bed surrounds or root barrier installation shall be disturbed, relocated, removed or damaged during earthworks, demolition, excavation (including any driveway installation), construction, maintenance and/or establishment works applicable to this consent, without Council agreement and/or consent.

The protection methods for existing nature strip, street tree, tree guard, protective bollard, garden bed surrounds or root barrier installation during all works approved by this development consent shall be installed in accordance with AS 4970-2009 Protection of Trees on Development Sites.

4.0 - During Works

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Work Hours** - All work (including delivery of materials) shall be:
- restricted to between the hours of 7am to 5pm Monday to Saturday (inclusive), and
 - not carried out on Sundays or public holidays,
- unless approved in writing by Council.
- (2) **Excavations and Backfilling** - All excavations and backfilling associated with the approved development must be executed safely and protected to prevent them from being dangerous to life or property, and in accordance with the design of a suitably qualified structural engineer.

If an excavation extends below the level of the base of the footings of a building, structure or work on adjoining land, including a structure or work in a road rail corridor, the person causing the excavation must:

- a) protect and support the building, structure or work on adjoining land from possible damage from the excavation,
- b) if necessary, underpin the building, structure or work on adjoining land to prevent damage from the excavation, and
- c) give at least 7 days notice of the intention to excavate to the owner of the adjoining land before excavating.

The above requirements do not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land gives written consent to the requirements not applying.

The principal contractor, owner builder or any person who needs to excavate and undertake building work, shall contact 'Dial Before You Dig' prior to works commencing, and allow a reasonable period of time for the utilities to provide locations of their underground assets.

- (3) **Stormwater – Collection and Discharge Requirements** - The roof of the subject building(s) shall be provided with guttering and down pipes and all drainage lines, including stormwater drainage lines from other areas and overflows from rainwater tanks, must be conveyed to the street.

Connection to the drainage easement or kerb shall only occur at the designated connection point for the allotment. New connections that require the rectification of an easement pipe or kerb shall only occur with the prior approval of Camden Council.

All roofwater shall be connected to the approved roofwater disposal system immediately after the roofing material has been fixed to the framing members. The principal certifier shall not permit construction works beyond the frame inspection stage until this work has been carried out.

- (4) **Site Management** - The following practices are to be implemented during construction:
- a) stockpiles of topsoil, sand, aggregate, spoil or other material shall be kept clear of any drainage path, easement, natural watercourse, kerb or road surface and shall have measures in place to prevent the movement of such material off site;
 - b) builder's operations such as brick cutting, washing tools, concreting and bricklaying shall be confined to the building allotment. All pollutants from these activities shall be contained on site and disposed of in an appropriate manner;
 - c) waste shall not be burnt or buried on site or any other properties, nor shall wind-blown rubbish be allowed to leave the site. All waste shall be disposed of at a licenced waste disposal facility;
 - d) a waste storage area shall be located on the site;
 - e) all building materials, plant, equipment and waste control containers shall be placed on the building site. Building materials, plant and equipment (including water closets), shall not to be placed on public property (footpaths, roadways, public reserves, etc);
 - f) toilet facilities shall be provided at, or in the vicinity of, the work site at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet shall:
 - i) be a standard flushing toilet connected to a public sewer; or
 - ii) have an on-site effluent disposal system approved under the *Local Government Act 1993*; or
 - iii) be a temporary chemical closet approved under the *Local Government Act 1993*.

- (5) **Works by Owner** - Where a portion of the building works do not form part of a building contract with the principal contractor (builder) and are required to be completed by the

owner, such works shall be scheduled by the owner so that all works coincide with the completion of the main building being erected by the principal contractor.

- (6) **Finished Floor Level** - A survey report prepared by a registered land surveyor confirming that the finished floor level complies with the approved plans or floor levels specified by the development consent, shall be provided to principal certifier prior to the development proceeding beyond floor level stage.
- (7) **Survey Report** - The building shall be set out by a registered land surveyor. A peg out survey detailing the siting of the building in accordance with the approved plans shall be provided to the principal certifier prior to the pouring of concrete.
- (8) **Vehicles Leaving the Site** - The construction supervisor must ensure that:
- all vehicles transporting material from the site cover such material so as to minimise sediment transfer;
 - the wheels of vehicles leaving the site:
 - do not track soil and other waste material onto any public road adjoining the site; and
 - fully traverse the site's stabilised access point.
- (9) **Removal of Waste Materials** - Where there is a need to remove any identified materials from the site that contain fill/rubbish/asbestos, the waste material shall be assessed and classified in accordance with the NSW EPA Waste Classification Guidelines 2014 (refer to: www.epa.nsw.gov.au/wasteregulation/classify-guidelines.htm). Once assessed, the materials shall be disposed of to a licensed waste facility suitable for that particular classification of waste. Copies of tipping dockets shall be retained and supplied to Council upon request.
- (10) **Soil, Erosion, Sediment and Water Management - Implementation** - All requirements of the erosion and sediment control plan and/or soil and water management plan shall be maintained at all times during the works and any measures required by the plan shall not be removed until the site has been stabilised.
- (11) **Disposal of Stormwater** - Water seeping into any site excavations is not to be pumped into the stormwater system unless it complies with relevant EPA and ANZECC standards for water quality discharge.
- (12) **Offensive Noise, Dust, Odour and Vibration** - All work shall not give rise to offensive noise, dust, odour or vibration as defined in the *Protection of the Environment Operations Act 1997* when measured at the property boundary.
- (13) **Fill Material (Dwellings)** - Prior to the importation and/or placement of any fill material on the subject site, a validation report and sampling location plan for such material must be provided to and approved by the principal certifier.

The validation report and associated sampling location plan must:

- a) be prepared by a person with experience in the geotechnical aspects of earthworks; and
- b) be prepared in accordance with;

For Virgin Excavated Natural Material (VENM):

- i) the Department of Land and Water Conservation publication "Site Investigation for Urban Salinity;" and
- ii) the Department of Environment and Conservation - Contaminated Sites Guidelines "Guidelines for the NSW Site Auditor Scheme (Second Edition) - Soil Investigation Levels for Urban Development Sites in NSW."

For Excavated Natural Material (ENM):

- i) compliance with the Excavated Natural Material Order 2014 and the Resource Recovery Orders and Exemptions issued under Part 9 of the Protection of the Environment Operations (Waste) Regulation 2014;
 - c) confirm that the fill material has had salinity characteristics identified in the report, specifically the aggressiveness of salts to concrete and steel (refer Department of Land and Water Conservation publication "Site investigation for Urban Salinity") and is compatible with any salinity management plans approved for the site.
- (14) **Protection for Existing Trees** - The protection of existing trees (on-site and street trees) must be carried out as specified by AS 4970 Protection of Trees on Development Sites.

5.0 - Prior to Issue of an Occupation Certificate

An Occupation Certificate shall be obtained prior to any use or occupation of the development. The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Survey Certificate** - A registered surveyor shall prepare a Survey Certificate to certify that the location of the building in relation to the allotment boundaries complies with the approved plans or as specified by this consent. The Survey Certificate shall be provided to the satisfaction of the principal certifier.
- (2) **Driveway Crossing Construction** - A footpath crossing (where required) and a driveway crossing shall be constructed in accordance with this development consent and the driveway crossing approval prior to use or occupation of the development.
- (3) **Reinstate Verge** - The applicant shall construct and/or reconstruct the unpaved verge area with grass species and installations approved by Council.
- (4) **Waste Management Plan** - The principal certifier shall ensure that all works have been completed in accordance with the approved waste management plan referred to in this development consent.
- (5) **House Numbering** - The dwellings on the site (primary and secondary) must be readily identifiable from the street by displaying their Council allocated house numbers. The allocated house numbers will be in accordance with the current Geographical Names Board of NSW Address Policy. E-mail Council at sis.mailbox@camden.nsw.gov.au to obtain the allocated house numbers. Any alternative numbering of the dwellings is not permitted.

State Environmental Planning Policy (Precincts - Western Parkland City) 2021 (Western Parkland City SEPP) Assessment Table

Section	Assessment	Compliance?
<p>Appendix 5, Land Use Table</p> <p>The land use table for each zone sets out what development is permitted without consent, permitted with consent and prohibited.</p> <p>The consent authority must have regard to the objectives for development in a zone when determining a development application in respect of land within a zone.</p> <p>The zone objectives for this site are:</p> <ol style="list-style-type: none"> 1. To provide for the housing needs of the community within a low density residential environment. 2. To enable other land uses that provide facilities or services to meet the day to day needs of residents. 3. To allow people to carry out a reasonable range of activities from their homes where such activities are not likely to adversely affect the living environment of neighbours. 4. To support the well-being of the community by enabling educational, recreational, community, religious and other activities where compatible with the amenity of a low density residential environment. 5. To provide a diverse range of housing types to meet community housing needs within a low density residential environment. 	<p>The site is zoned R2 Low Density Residential. The development is characterised as a 'dwelling house' and a 'secondary dwelling' which are permitted with consent in the R2 Low Density Residential zone.</p> <p>The development is consistent with the relevant zone objectives in that it will:</p> <ol style="list-style-type: none"> 1. Contribute to meeting the housing needs of the community by providing additional housing supply. 2. Contribute towards creating a diverse range of housing types to meet community housing needs in a low density residential environment. 	Yes.
<p>Appendix 5, 4.1AB Minimum lot sizes for residential development in Zone R2 low Density Residential and Zone R3 Medium Density Residential</p> <p>The minimum lot size for a dwelling house in the R2 Low Density Residential zone is 300m².</p>	The site has an area of 403m ² .	Yes.
<p>Appendix 5, 4.1AC Minimum lot sizes for secondary dwellings in Zone R2 Low Density Residential and Zone R3 Medium Density Residential</p> <p>The minimum lot size for a secondary dwelling in the R2 Low Density Residential zone is 450m².</p>	The site has an area of 403m ² and therefore the development contravenes the development standard. The contravention is assessed in the main body of the assessment report.	No. Variation supported.
<p>Appendix 5, 4.3 Height of buildings</p>	The development will have a maximum building height of 8m measured from the	Yes.

CLPP02

Attachment 2

State Environmental Planning Policy (Precincts - Western Parkland City) 2021 (Western Parkland City SEPP) Assessment Table

Section	Assessment	Compliance?
Maximum buildings heights must not exceed the maximum building height shown on the Height of Buildings Map. The maximum building height for this site is 9m.	existing ground level to the proposed parapet level.	
<p>Appendix 5, 4.6 Exceptions to development standards</p> <p>Development consent may be granted for development that contravenes a development standard imposed by the SEPP or any other environmental planning instrument.</p> <p>The consent authority must consider a written request from the applicant that seeks to justify the contravention.</p>	The development standard contravention is assessed in the assessment report.	Yes.
<p>Appendix 5, 6.1 Public utility infrastructure</p> <p>The consent authority must not grant development consent to development on land to which this Precinct Plan applies unless it is satisfied that any public utility infrastructure that is essential for the proposed development is available or that adequate arrangements have been made to make that infrastructure available when required.</p>	The site has been provided with the required public utility infrastructure via the previous subdivision of the land into final residential lots.	Yes.

CLPP02

Attachment 2

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

Control	Assessment	Compliance?
<p>4.1.1 Site Analysis</p> <p>Site analysis plan is to be provided.</p>	<p>An appropriate site plan has been provided and is consistent with the Growth DCP.</p>	<p>Yes.</p>
<p>4.1.2 Cut and Fill</p> <p>DAs are to illustrate where it is necessary to cut and/or fill land and provide justification for the proposed changes to the land levels.</p> <p>The maximum amount of cut shall not exceed 1m. The maximum amount of fill shall not exceed 1m.</p> <p>Fill within 2.0m of a property boundary shall be fully contained by the use of deepened (drop) edge beam construction with no fill permitted outside of this building footprint.</p> <p>The use of a deepened edge beam shall not exceed 1m above natural ground level.</p> <p>Where excavation or filling is required alongside a driveway, it shall be retained by a retaining wall.</p> <p>All retaining walls proposed are to be identified in the DA and shall be a minimum 0.3m from property boundaries.</p> <p>The maximum height of voids within individual allotments is 3m.</p>	<p>Site plan indicates works to generally follow the natural gradient of the land.</p> <p>The maximum amount of cut and fill will not exceed 1.0m.</p> <p>Drop edge beam proposed at the south eastern boundary to contain fill within 2m of the property boundary.</p> <p>Drop edge beam does not exceed 1m.</p> <p>No excavation or filling is proposed along the driveway.</p> <p>All proposed retaining walls are a minimum 0.3m from property boundaries.</p> <p>No voids are proposed.</p>	<p>Yes.</p>
<p>4.1.3 Sustainable Building Design</p> <p>The majority of plant species are to be selected from the preferred species listed at Appendix C and indigenous species are preferred.</p> <p>The provisions of BASIX will apply with regards to water requirements and usage.</p> <p>The design of dwellings is to maximise cross flow ventilation.</p> <p>The orientation of dwellings, location of living rooms and the positioning and size of windows and other openings is to take advantage of solar orientation to maximise natural light penetration to indoor areas and to minimise the need for mechanical heating and cooling.</p> <p>Outdoor clothes lines and drying areas are required for all dwellings and can be incorporated into communal areas for</p>	<p>The proposed landscaping is generally consistent with Appendix C of the Growth DCP.</p> <p>The development complies with the requirements included in the BASIX Certificate.</p> <p>The design of the dwelling incorporates open living spaces to allow for cross flow ventilation.</p> <p>Location of living rooms and window placement are located appropriately to enable maximization of capturing natural light.</p> <p>Outdoor clothes lines are indicated appropriately within the rear setback area of the dwelling.</p> <p>The proposed roofing and paving materials and colours are considered appropriate for the dwelling as the proposed dwelling meets thermal loads noted in the BASIX Certificate.</p>	<p>Yes.</p>

CLPP02

Attachment 3

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

CLPP02

Attachment 3

Control	Assessment	Compliance?
<p>multi-dwelling development and residential flat building developments.</p> <p>Roof and paving materials and colours are to minimise the retention of heat from the sun.</p>		
<p>4.1.4 Salinity, Sodicity and Aggressivity</p> <p>All development must comply with the Salinity Management Plan developed at the subdivision phase or at Appendix B. The actions/works from the Salinity Management Plan must be certified upon completion of the development.</p> <p>Salinity shall be considered during the siting, design and construction of dwellings including: drainage, vegetation type and location, foundation selection and cut and fill activities, to ensure the protection of the dwelling from salinity damage and to minimise the impacts that the development may have on the salinity process.</p>	<p>The development will comply with the requirements of the salinity management plan as approved under the previous subdivision DA.</p>	Yes.
<p>4.2.2 Streetscape and Architectural Design</p> <p>The primary street facade of a dwelling should address the street and must incorporate at least two of the following design features:</p> <ul style="list-style-type: none"> • entry feature or porch; • awnings or other features over windows; • balcony treatment to any first floor element; • recessing or projecting architectural elements; • open verandah; • bay windows or similar features; or • verandahs, pergolas or similar features above garage doors. • Corner lot development should emphasise the corner. The secondary street facade for a dwelling on a corner lot should address the street and must incorporate at least two of the above design features. Landscaping in the front setback on the main street frontage should also continue around into the secondary setback. <p>Eaves are to provide sun shading and protect windows and doors and provide aesthetic interest. Eaves should have a minimum 450mm overhang (measured to the fascia board).</p>	<p>The primary street façade addresses the street by incorporating:</p> <ul style="list-style-type: none"> • an entry feature/porch; and • balcony treatment to a first floor element (master bedroom). <p>Eaves ranging in width from 415mm to 550mm will be provided across the dwelling. This is mostly compliant with the Growth DCP and will provide an acceptable level of sun shading.</p> <p>The roof form has a low pitch. However, due to the proposed parapet, when viewed from the street much of the roof will appear like a monopitch skillion roof. The remaining roof form will be hidden behind the parapet or be at the rear of the dwelling and so not publicly visible. This is consistent with the underlying intent of the Growth DCP.</p> <p>The front façade features a living room and bedrooms facing the street.</p> <p>The proposed garage complements the colours and finishes of the main dwelling.</p>	No. Variation supported.

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

Control	Assessment	Compliance?
<p>The pitch of hipped and gable roof forms on the main dwelling house should be between 22.5 degrees and 35 degrees. Skillion roofs, roofs hidden from view by parapet walls, roofs on detached garages, studios and ancillary buildings on the lot are excluded from this control.</p> <p>Front facades are to feature at least one habitable room with a window onto the street.</p> <p>Carports and garages are to be constructed of materials that complement the colour and finishes of the main dwelling.</p>		
<p>4.2.3 Front Setbacks</p> <p>Dwellings are to be consistent with the front setback controls and principles in the relevant Tables 4-2 to 4-6, Figure 4-4: Minimum front setback distances and Figure 4-5.</p>	<p>The development has been assessed against table 4-4, figures 4-4 and 4-5 and is compliant:</p> <ul style="list-style-type: none"> • Front setback = 4.5m. • Articulation zone setback = 3.81m. • Garage line to primary road = 5.588m. • Garage line to building line = 1.067m. 	Yes.
<p>4.2.4 Side and Rear Setbacks</p> <p>All development is to be consistent with the side and rear setback controls in the relevant Tables 4.2 to 4.6 and principles in Figure 4-7 Dwelling and open space siting principles for different lot orientations.</p> <p>Pergolas, swimming pools and other landscape features/structures are permitted to encroach into the rear setback.</p> <p>For dwellings with a minimum 900mm side setback, projections permitted into side and rear setback areas include eaves (up to 450 millimetres wide), fascias, sun hoods, gutters, down pipes, flues, light fittings, electricity or gas meters, rainwater tanks and hot water units.</p> <p>No overhanging eaves, gutters or services (including rainwater tanks, hot water units or the like) of the dwelling on the benefited lot will be permitted within the easement.</p>	<p>The development has been assessed against and is compliant with the Growth DCP:</p> <ul style="list-style-type: none"> • Southeastern side setback = 0.915m. • Northwestern side setback = 0.965m. • Rear setback = 4m (ground floor) and 9.411m (upper floor). <p>No landscape features/structures are proposed to encroach the rear setback.</p> <p>Eaves, air conditioning unit, gutters and downpipes are incorporated into the side setbacks of the dwelling.</p> <p>There are no easements on the site, hence no issues are presented.</p>	Yes.
<p>4.2.5 Dwelling Height, Massing and Siting</p> <p>All development is to comply with the maximum site coverage as indicated in the relevant Tables 4-2 to 4-6.</p>	<ul style="list-style-type: none"> • Ground floor site coverage = $233.23 \div 403 \times 100 = 57.87\%$. • Upper floor site coverage = $137.814 \div 403 \times 100 = 34.2\%$. 	Yes.

CLPP02

Attachment 3

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

CLPP02

Attachment 3

Control	Assessment	Compliance?
<p>Site coverage is the proportion of the lot covered by a dwelling house and all ancillary development (eg carport, garage, shed) but excluding unenclosed balconies, verandahs, porches, alfresco areas etc.</p> <p>The ground floor level shall be no more than 1m above finished ground level.</p>	<p>Ground floor level is <1m above finished ground level.</p>	
<p>4.2.6 Landscaped Area</p> <p>The minimum soft landscaped area within any residential lot is to comply with the controls and principles in the relevant Tables 4-2 to 4-6. Figure 4-10 illustrates areas of a lot that can contribute towards the provision of soft landscaped area and principal private open space.</p> <p>Plans submitted with the development application must indicate the extent of landscaped area and nominate the location of any trees to be retained or planted.</p> <p>Surface water drainage shall be provided as necessary to prevent the accumulation of water.</p> <p>Use of low flow watering devices is encouraged to avoid over watering. Low water demand drought resistant vegetation is to be used for the majority of landscaping, including native salt tolerant trees.</p>	<p>Soft landscaped area = $121.435 + 403 \times 100 = 30.13\%$.</p> <p>The site plan provided indicates the extent of all landscaped areas.</p> <p>The development will drain surface water to the street.</p> <p>The proposed landscaping is generally consistent with Appendix C of the Growth DCP.</p>	Yes.
<p>4.2.7 Private Open Space</p> <p>Each dwelling is to be provided with an area of Principal Private Open Space (PPOS) consistent with the requirements of the relevant Tables 4-2 to 4-6.</p> <p>The location of PPOS is to be determined having regard to dwelling design, allotment orientation, adjoining dwellings, landscape features, topography.</p> <p>The PPOS is required to be conveniently accessible from the main living area of a dwelling or alfresco room and have a maximum gradient of 1:10. Where part or all of the PPOS is permitted as a semi-private patio, balcony or rooftop area, it must be directly accessible from a living area.</p>	<p>Separate PPOS provided for each dwelling that meets the dimensions outlined in table 4-4.</p> <p>The location of PPOS is appropriately located within the rear setback of the lot.</p> <p>PPOS is conveniently accessible from the family and dining room of the primary dwelling. The maximum gradient of PPOS is <1:10.</p>	Yes.
<p>4.2.8 Garages, Storage, Site Access and Parking</p>	<p>2 car parking spaces provided in the double garage.</p>	Yes.

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

Control	Assessment	Compliance?
<p>3 bedroom or more dwellings will provide at least 2 car spaces.</p> <p>At least one car parking space must be located behind the building façade line where the car parking space is accessed from the street on the front property boundary.</p> <p>Driveways are to have the smallest configuration possible (particularly within the road verge) to serve the required parking facilities and vehicle turning movements and shall comply with AS2890.</p> <p>The location of driveways is to be determined with regard to dwelling design and orientation, street gully pits and trees and is to maximise the availability of on-street parking.</p> <p>Single garage doors should be a maximum of 3m wide and double garage doors should be a maximum of 6m wide.</p> <p>Minimum internal dimensions for a single garage are 3m wide by 5.5m deep and for a double garage 5.6m wide by 5.5m deep.</p> <p>Garage doors are to be visually recessive through use of materials, colours, and overhangs such as second storey balconies.</p>	<p>Provided in the double garage located behind the building line and accessed from the front property boundary at the driveway.</p> <p>Compliant and further considered against Council's Standard Residential Driveway Design Guidelines.</p> <p>The driveway is appropriately located and is clear of any street infrastructure.</p> <p>Double garage door width = 4.813m.</p> <p>Double garage dimensions = 5.73m x 5.5m.</p> <p>The garage door is visually recessive and respective to the primary dwelling.</p>	
<p>4.2.9 Visual and Acoustic Privacy</p> <p>Direct overlooking of main habitable areas and the private open spaces of adjoining dwellings should be minimised through building layout, window and balcony location and design, and the use of screening, including landscaping</p> <p>Living area windows on upper floors with a direct sightline within 9 metres to the PPOS of an existing adjacent dwelling are to:</p> <ul style="list-style-type: none"> • be obscured by fencing, screens or landscaping, or • be offset from the edge of one window of the other by a distance sufficient to limit views into the adjacent window; or • have a sill height of 1.7m above floor level; or • have fixed obscure glazing in any part of the window below 1.7 metres above floor level. 	<p>The first floor contains bedrooms, bathrooms, a sitting room, balcony and a staircase. The first floor balcony faces the primary street. There is no overlooking of any main living areas or PPOS of adjoining properties presented.</p> <p>The sitting room on the upper floor does not include any windows. No further privacy or overlooking concerns are raised as mentioned above.</p> <p>The dwelling will attenuate noise where possible through separating communal areas from private living spaces.</p>	Yes.

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Attachment 3

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

CLPP02

Attachment 3

Control	Assessment	Compliance?
<p>The design of dwellings must minimize the opportunity for sound transmission through the building structure, with particular attention given to protecting bedrooms and living areas.</p> <p>The internal layout of residential buildings, window openings, the location of outdoor living areas (i.e. courtyards and balconies), and building plant should be designed to minimise noise impact and transmission.</p>		
<p>Table 4-4 Site coverage</p> <p>Maximum 60% at ground floor.</p> <p>Lot >375sqm, upper level no more than 35% of lot area</p>	<p>Ground floor site coverage = $233.23 \div 403 \times 100 = 57.87\%$</p> <p>Upper floor site coverage = $137.814 \div 403 \times 100 = 34.2\%$</p>	Yes.
<p>Table 4-4 Soft landscaped area</p> <p>Minimum 25% of the allotment area.</p>	<p>Soft landscaped area = $121.435 \div 403 \times 100 = 30.13\%$</p>	Yes.
<p>Table 4-4 Principal Private Open Space (PPOS)</p> <p>Minimum 20sqm with minimum dimensions of 4.0m.</p> <p>50% of the area required for PPOS (of both proposed development and adjoining properties) should receive at least 3 hours of sunlight between 9am and 3pm on June 21.</p>	<p>PPOS = over 20sqm with 4m dimensions.</p> <p>Sufficient solar access is provided to the PPOS associated with the development and adjoining properties.</p>	Yes.
<p>Table 4-4 Garages and car parking</p> <p>Lots $\geq 12.5m$ and $\leq 15m$:</p> <p>Front or rear accessed single, tandem or double garages permitted.</p> <p>3 bedrooms or more to provide at least 2 car spaces.</p>	<p>Front accessed double garage proposed.</p> <p>2 car spaces provided in the double garage.</p>	Yes.
<p>4.3.3 Secondary dwellings, studio dwellings and dual occupancies</p> <p>Secondary dwellings are to comply with the controls in Section 4.2, except where the controls in this clause differ, in which case the controls in this clause take precedence.</p> <p>Secondary dwellings are to comply with the key controls in Table 4-8.</p> <p>The maximum site coverage control for upper floors in the relevant Tables 4.2-4.6 may be exceeded by the combined upper floor coverage of the secondary dwelling and principal dwelling, providing that:</p>	<p>The proposed secondary dwelling complies with the controls within Section 4-2.</p> <p>The proposed secondary dwelling complies with Table 4-8.</p> <p>The proposed development meets the site coverage controls within Table 4-4.</p> <p>The secondary dwelling will complement the colours and finishes of the primary dwelling.</p> <p>No windows or private open spaces overlook the private open space of adjacent dwellings.</p>	Yes.

Camden Growth Centre Precincts Development Control Plan (Growth DCP) Assessment Table

Control	Assessment	Compliance?
<ul style="list-style-type: none"> • The privacy of the principal dwelling and dwellings on adjoining land is not compromised; and • Solar access to the principal private open space of neighbouring lots is not significantly reduced. <p>The finishes, materials and colours of the secondary dwelling are to complement the principal dwelling in its construction features.</p> <p>For secondary dwellings, windows and private open spaces must not overlook the private open space of any adjacent dwellings. Windows that potentially overlook adjacent lots must either have obscured glazing, be screened or have a minimum sill height of 1.5m above floor level.</p>		

CLPP02

Attachment 3

CLPP02

Attachment 4



CLAUSE 4.6 VARIATION STATEMENT

CONSTRUCTION OF TWO STOREY DWELLING HOUSE WITH
ATTACHED SECONDARY DWELLING

13 BRUSH CHERRY STREET
LEPPINGTON NSW 2179
LOT 31 DP 1241144

1 INTRODUCTION

This Clause 4.6 Variation Statement has been prepared by In House Town Planning. It is submitted to Camden Council in support of a Development Application (DA) for the construction of a two storey dwelling house and an attached secondary dwelling on the site located at 13 Brush Cherry Street, Leppington. The proposed development seeks a variation to minimum prescribed lot size for a secondary dwelling under the State Environmental Planning Policy (Western Parkland City) 2021 (Western Parkland SEPP).

Clauses 4.6 of the Western Parkland SEPP enables Camden Council to grant consent for development even though the development contravenes the minimum lot size requirement. The Clause aims to provide an appropriate degree of flexibility in applying certain development standards to achieve better outcomes for and from development.

Clauses 4.6(3) requires the consent authority to consider a written request from the applicant that seeks to justify the contravention of the development standard. Clause 4.6(4)(a) states that development consent must not be granted for development that contravenes a development standard unless the consent authority is satisfied:

- That the applicant's written request has adequately demonstrated that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case;
- That the applicant's written request has adequately demonstrated that there are sufficient environmental planning grounds to justify contravening the development standard; and
- That the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.

The consent authority's satisfaction in respect of those matters must be informed by the objectives of Clause 4.6, which are to provide an appropriate degree of flexibility in the application of the relevant controls and to achieve better outcomes for and from the development in question by allowing flexibility in particular circumstances.

The Land and Environment Court has established a set of factors to guide assessment of whether a variation to development standards should be approved. The original approach was set out in the judgment of Justice Lloyd in *Winten Property Group Ltd v North Sydney Council* [2001] 130 LGERA 79 at 89 in relation to variations lodged under State Environmental Planning Policy 1 – Development Standards (SEPP 1). This approach was later rephrased by Chief Justice Preston, in the decision of *Wehbe v Pittwater Council* [2007] NSWLEC 827 (Wehbe). While these cases referred to the former SEPP 1, the analysis remains relevant to the application of Clause 4.6(3)(a).

In accordance with the Western Parkland SEPP requirements, this Clause 4.6 Variation Statement identifies the following:

- The development standard to be varied.
- The variation sought.
- Establishes that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case.
- Demonstrates there are sufficient environmental planning grounds to justify the contravention.
- Demonstrates that the proposed variation is in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.
- Provides an assessment of the matters the Secretary is required to consider before providing concurrence.

This Clause 4.6 Variation Statement relates to the development standard for minimum lot size under Appendix 5 Clause 4.1AC of the Western Parkland SEPP and should be read in conjunction with the Statement of

Environmental Effects (SEE) prepared by In House Town Planning. This document demonstrates that compliance with the minimum lot size provision is unreasonable and unnecessary in the circumstances of the case and that there are sufficient environmental planning grounds to justify contravention of the standard.

This Clause 4.6 Variation Statement sufficiently demonstrates that:

- There are sufficient environmental grounds to justify the contravention. The proposed secondary dwelling does not generate any unacceptable environmental impacts in respect of overshadowing or wind and will not significantly impact on view lines and vistas from the public domain.
- There are site specific environmental grounds which justify the proposed development, due mainly to the smaller lot sizes within the locality.
- Notwithstanding the proposed variation, the final development remains consistent with the objectives of the development standard and the R2 – Low Density Residential zone.
- The proposed secondary dwelling has been designed to integrate seamlessly with the principal dwelling and will not be highly perceivable from the public domain.
- The proposed development is in the public interest as the secondary dwelling will enable the orderly and efficient use of the land, in accordance with the objectives of the Environmental Planning and Assessment Act 1979 (EP&A Act).

2 PROPOSED VARIATION

2.1 DEVELOPMENT STANDARD TO BE VARIED

This Clause 4.6 Variation Statement seeks to justify contravention of the development standard set out in Appendix 5 Clause 4.1AC of the Western Parkland SEPP:

4.1AC Minimum lot sizes for secondary dwellings in Zone R2 Low Density Residential and Zone R3 Medium Density Residential

1. *This section applies to land in the following zones—
 - a) Zone R2 Low Density Residential,
 - b) Zone R3 Medium Density Residential.*
2. *The minimum lot size for a secondary dwelling on land in Zone R2 Low Density Residential is 450m².*
3. *The minimum lot size for a secondary dwelling on land in Zone R3 Medium Density Residential is the minimum lot size for the principal dwelling in conjunction with which the secondary dwelling is established, determined in accordance with section 4.1AB.*

2.2 NATURE OF VARIATION SOUGHT

The subject site is located in the R2 – Low Density Residential zone and as such, a minimum lot size of 450m² is required to facilitate a secondary dwelling. The subject site has an area of 402.99², therefore representing a departure from the development standard. The proposed design achieves full compliance with all other objectives and provisions of the Western Parkland SEPP and the Camden Growth Centre Precincts Development Control Plan to ensure that any adverse impacts from the reduced lot size are alleviated and a high level of amenity is achieved on the site and for adjoining properties.

3 JUSTIFICATION FOR CONTRAVENTION OF THE STANDARD

Clause 4.6(3) of the Western Parkland SEPP provides that:

3. *Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:*
 - a) *that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and*
 - b) *that there are sufficient environmental planning grounds to justify contravening the development standard.*

Further, Clause 4.6(4)(a) of the Western Parkland SEPP provides that:

4. *Development consent must not be granted for development that contravenes a development standard unless:*
 - a) *the consent authority is satisfied that:*
 - i. *the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and*
 - ii. *the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and*
 - b) *the concurrence of the Secretary has been obtained.*

Assistance in the approach to justifying a contravention to a development standard is also to be taken from the applicable decisions of the NSW Land and Environment Court and the NSW Court of Appeal in:

- *Wehbe v Pittwater Council [2007] NSW LEC 827; and*
- *Four2Five Pty Ltd v Ashfield Council [2015] NSWLEC 1009.*

The relevant matters contained in Clause 4.6 of the Western Parkland SEPP with respect to the minimum lot size for secondary dwellings development standard, are each addressed below, including with regard to these decisions.

3.1 CLAUSE 4.6(3)(a): COMPLIANCE WITH THE DEVELOPMENT STANDARD IS UNREASONABLE AND UNECESSARY IN THE CIRCUMSTANCES OF THE CASE

In *Wehbe*, Preston CJ of the Land and Environment Court provided relevant assistance by identifying five traditional ways in which a variation to a development standard had been shown as unreasonable or unnecessary. The five methods outlined in *Wehbe* include:

1. *The objectives of the standard are achieved notwithstanding non-compliance with the standard.*
2. *The underlying objective or purpose of the standard is not relevant to the development and therefore compliance is unnecessary.*
3. *The underlying object or purpose would be defeated or thwarted if compliance was required and therefore compliance is unreasonable.*
4. *The development standard has been virtually abandoned or destroyed by the Council's own actions in granting consents departing from the standard and hence compliance with the standard is unnecessary and unreasonable.*
5. *The zoning of the particular land is unreasonable or inappropriate so that a development standard appropriate for that zoning is also unreasonable and unnecessary as it applies to the land and compliance with the standard would be unreasonable or unnecessary. That is, the particular parcel of land should not have been included in the particular zone.*

Of particular assistance in this matter, in establishing that compliance with a development standard is unreasonable or unnecessary, is the first method listed above. There are no specific objectives for secondary dwelling development under the Housing SEPP. Instead, it is demonstrated below that the proposal achieves the aims of the Camden Growth Centres Precinct Plan.

a) To make development controls that will ensure the creation of quality environments and good design outcomes,

The small nature of the secondary dwelling and location at the rear of the site ensures that it does not dominate the streetscape but rather integrates seamlessly with the form and architectural styling of the principal dwelling house. The final development achieves compliance with the building envelope provisions including site coverage, setback distances, maximum building height and landscaping, thereby achieving a suitable and balanced built form. The development will present to the streetscape as an architecturally designed, single dwelling house and will set a desirable precedence for future development in the locality. The secondary dwelling is single storey in form and will be completely screened from the public domain and adjoining properties by fencing and landscaping.

b) to protect and enhance environmentally sensitive natural areas and cultural heritage,

The subject site is unconstrained land, and the proposed works will not generate adverse impacts to the natural environment or cultural heritage in the locality.

c) to provide for recreational opportunities,

The proposed development supports the intended use of the site for low-impact residential development. The development will not preclude the use or future development of nearby recreational lands.

d) to provide for multifunctional and innovative development that encourages employment and economic growth,

The proposed development facilitates the orderly and economic development of the land, as intended in Council's zoning of the area for low-impact residential development that is close to a variety of goods and services.

e) to promote housing choice and affordability,

The proposed secondary dwelling provides additional housing on the site to service the needs of the residents and will allow them to age in place or support family members if needed. Two different living options are provided on the site that will appeal to a range of household types and socioeconomic requirements into the future.

f) to provide for sustainable development,

The proposed development has been designed in accordance with the BASIX provisions and will be constructed of durable materials.

g) to promote pedestrian and vehicle connectivity,

The proposed development including new driveway has been carefully located at the site frontage to maintain vehicle and pedestrian sightlines and safety throughout the streetscape.

h) to minimise the impact on existing and future communities of the full range of risks posed by natural hazards such as bushfires and flooding.

The subject site is unconstrained land, and the proposed development will not result in adverse environmental impacts or pose risks.

3.2 CLAUSE 4.6(3)(b): ENVIRONMENTAL PLANNING GROUNDS TO JUSTIFY CONTRAVENING THE DEVELOPMENT STANDARD

The following site-specific environmental grounds further justify the proposed variation to the minimum lot size for secondary dwellings standard:

- The proposed secondary dwelling integrates seamlessly with the design of the principal dwelling and will not be perceivable as a separate dwelling from the streetscape or adjoining properties. The final development will present as a single architecturally designed dwelling that achieves a compliant balance between the built form, landscaping and private open space.
- The final development including principal and secondary dwelling will not generate any unacceptable adverse environmental impacts in respect of overshadowing or wind impacts. This is clearly demonstrated by the Shadow Diagrams submitted with this application, with the development maintaining an appropriate level of solar access to adjoining living and private open space areas through the incorporation of suitable setback distances to the side and rear property boundaries. The single storey form of the secondary dwelling ensures that there are no overshadowing impacts.
- Notwithstanding the proposed variation, the final development continues to satisfy the aims of Appendix 5 the Western Parkland SEPP as demonstrated above.
- The proposed development achieves compliance across all applicable provisions of the Western Parkland SEPP and the DCP including maximum building height, site coverage, setback distances, landscaping, private open space, solar access, car parking, visual and acoustic privacy.
- The proposed variation will not result in a development that is out of character with that envisioned by Camden Council. The final development will have minimal impacts on the visual appearance of the site when viewed from the public domain.

3.3 CLAUSE 4.6(3)(a)(ii): IN THE PUBLIC INTEREST BECAUSE IT IS CONSISTENT WITH THE OBJECTIVES OF THE ZONE AND DEVELOPMENT STANDARD

The proposed development is in the public interest as it achieves the objectives of the R2 – Low Residential zone by providing a form of low impact residential development to meet the housing and amenity needs of the residents. The proposed development does not require the removal of significant trees or vegetation from the site and has been sensitively designed to respond to the natural topography of the land to minimise unnecessary excavation. The design of the development is in keeping with the residential characteristics of the locality and will set a desirable precedence for future development as a result of contemporary architecture combined with appropriate landscaping works.

4 OTHER MATTERS FOR CONSIDERATION

Under Clause 4.6(5) of the Western Parkland SEPP, in deciding whether to grant concurrence, the Director-General must consider the following matters:

5. *In deciding whether to grant concurrence, the Secretary must consider:*
 - a) *whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and*
 - b) *the public benefit of maintaining the development standard, and*
 - c) *any other matters required to be taken into consideration by the Secretary before granting concurrence.*

These matters are addressed in detail below.

4.1 **CLAUSE 4.6(5)(a): WHETHER CONTRAVENTION OF THE DEVELOPMENT STANDARD RAISES ANY MATTER OF SIGNIFICANCE FOR STATE OR REGIONAL ENVIRONMENTAL PLANNING**

The variation of the minimum lot size for secondary dwellings standard does not raise any matter of significance for State or Regional planning.

4.2 **CLAUSE 4.6(5)(b): THE PUBLIC BENEFIT OF MAINTAINING THE DEVELOPMENT STANDARD**

There is no public benefit in maintaining the development standard in terms of State and Regional planning objectives. As noted in the preceding sections, the final development reflects the form and scale of developments throughout the streetscape and the non-compliance is not perceivable from the public domain or adjoining properties. The development will not appear out of character and does not give rise to any significant adverse environmental impacts.

4.3 **CLAUSE 4.6(5)(c): ANY OTHER MATTERS REQUIRED TO BE TAKEN INTO CONSIDERATION BY THE DIRECTOR-GENERAL BEFORE GRANTING CONCURRENCE.**

There are no other relevant matters requiring consideration.

5 CONCLUSION

The assessment above sufficiently demonstrates that compliance with the minimum lot size development standard contained in Appendix 5 Clause 4.1AC of the Western Parkland SEPP is unreasonable and unnecessary in the circumstances of the case and that the justification is well founded. It is considered that the variation allows for the orderly and economic use of the land in an appropriate manner, in accordance with the Principles of Policy. The final development has been designed in harmony with the existing buildings on the site to ensure that the proposed works do not compete with the integrity of the streetscape.

This Clause 4.6 Variation Statement demonstrates that, notwithstanding the non-compliance with the minimum lot size for secondary dwellings standards, the final development:

- Is consistent with the aims of Appendix 5 of the Western Parkland SEPP.
- Will not adversely impact on the visual quality of the streetscape or the amenity of adjoining properties.
- Will promote the orderly and efficient use of land, in accordance with the objectives of the Act.

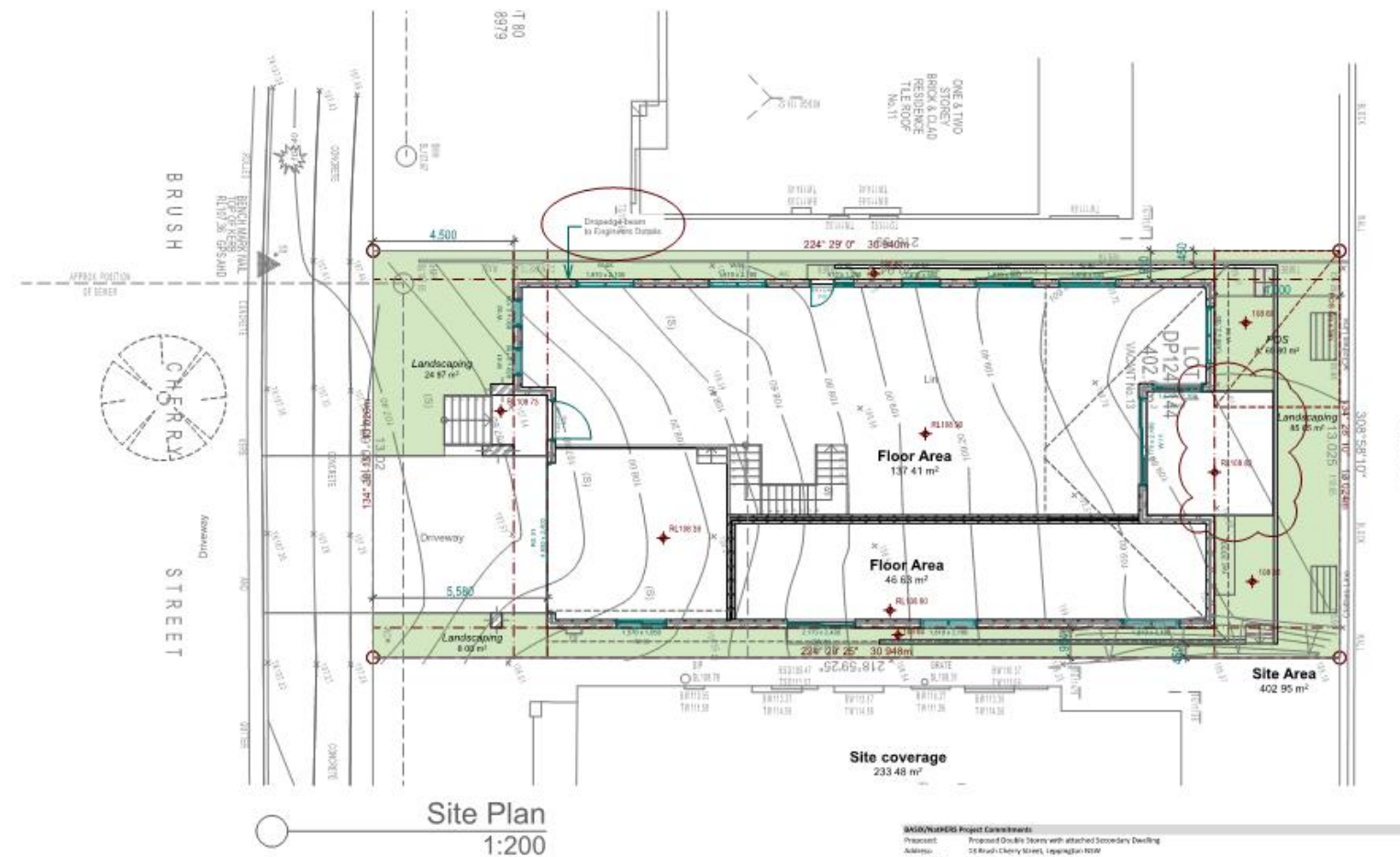
It is therefore demonstrated that the application may be approved with the variation as proposed in accordance with the flexibility allowed under Clause 4.6 of the Western Parkland SEPP.



Artists Impression

DRAWING SCHEDULE

DWG No:	DWG Name	Rev
DA01B	Site Plan & Location Plan	A
DA02B	Ground Floor Plan	A
DA03B	First Floor Plan	A
DA04B	Roof Plan	A
DA05B	Elevations NE & NW	A
DA06B	Elevations SE & SW	A
DA07B	Sections AA & BB	A
DA08A	Site Analysis Plan	A
DA09A	Basix Requirements	A
DA10A	Shadow Diagrams	A
DA11A	Notification Plans - Ground Floor	A
DA12A	Notification Plans - First Floor	A
DA13A	Notification Plans - Elevations NE & NW	A
DA14A	Notification Plans - Elevations SE & SW	A



Site Plan 1:200

SITE CALCULATIONS: COUNCIL

SITE AREA : 402.99m²

SITE COVERAGE: GROUND: 58% (233.48) MAX 60%
FIRST: (135.09) MAX 35%

PROPOSED DWELLING : 308.29m²
PROPOSED SECONDARY DWELLING : 46.6m²

LANDSCAPING : 118.6m² (MIN 25% 100.7m²)

MIN SETBACKS: FRONT 5.5m GARAGE 6m
SIDE 900mm GROUND
SIDE 900mm FIRST
REAR : 3m GROUND
8m FIRST

MAX HEIGHT : 8.5M

POS 60.80m2 (min 4x5)

TOTAL BUILD AREA: 402.16m²

BASE/NUMEROUS Project Characteristics:

Proposed: Proposed Dwelling with attached Secondary Dwelling
Address: 13 Brush Cherry Street, Leppington NSW
Lot No / DP: 31/241144
Appl: Refer to conditions for all details and confirmation of all items

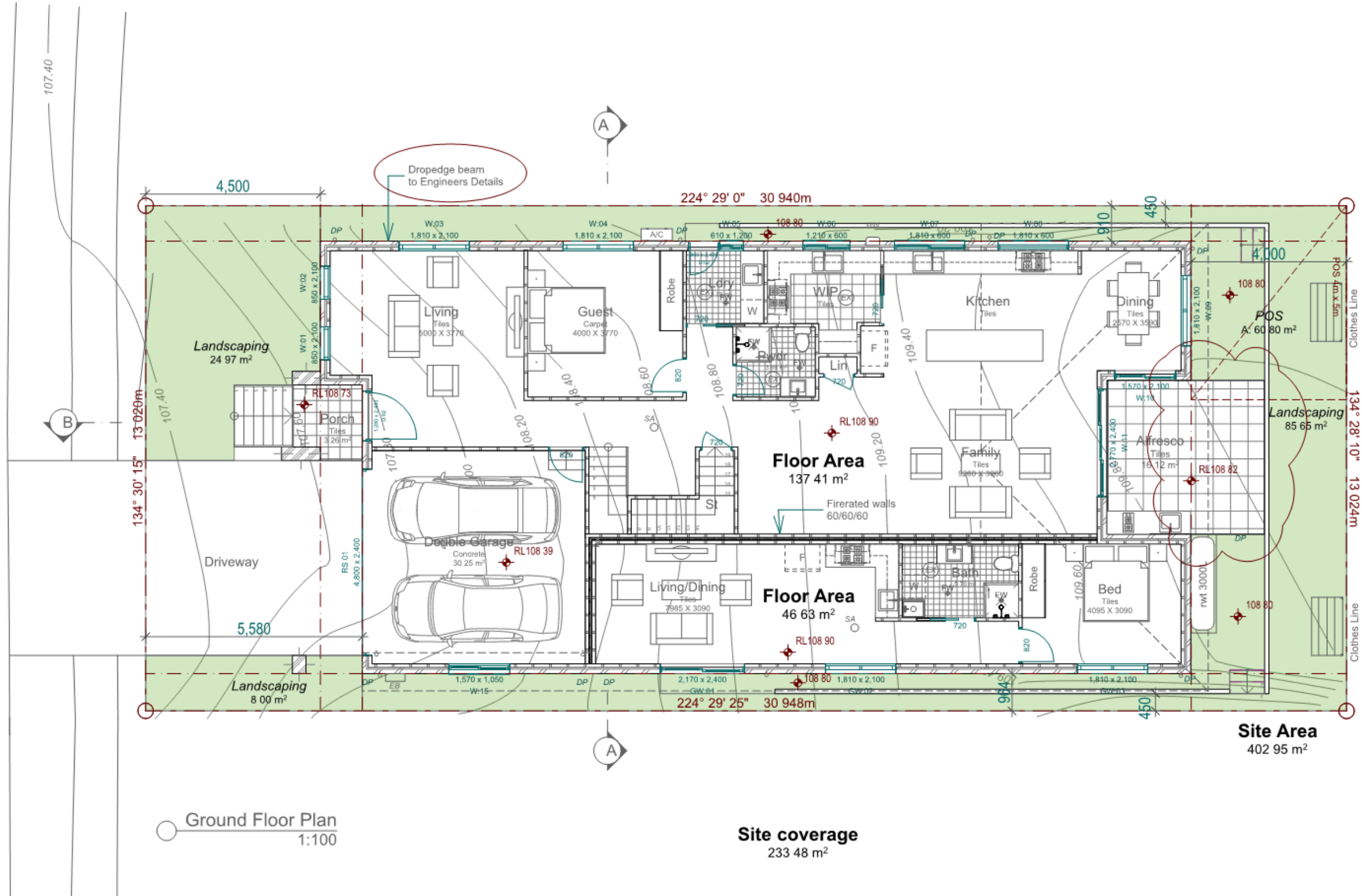
Water Work Details	Specification
Shower Head Rating	4 star (≥ 6 but < 7.5 L/min)
Toilet Rating	3 star
Kitchen Tap Rating	3 star
Bathroom Tap Rating	3 star
Atmospheric Water Details	Minimum 5,000 litre water tank to collect rainfall of at least 150 days of roof area
Technical Specification Details	
Roofing	Roofing
Walls	Walls
Windows	Windows
Doors	Doors
Roofs	Roofs
Floors	Floors
Stairs	Stairs
Other	Other

Lot 31 DP 1241144
13 Brush Cherry st, Leppington



Location Plan

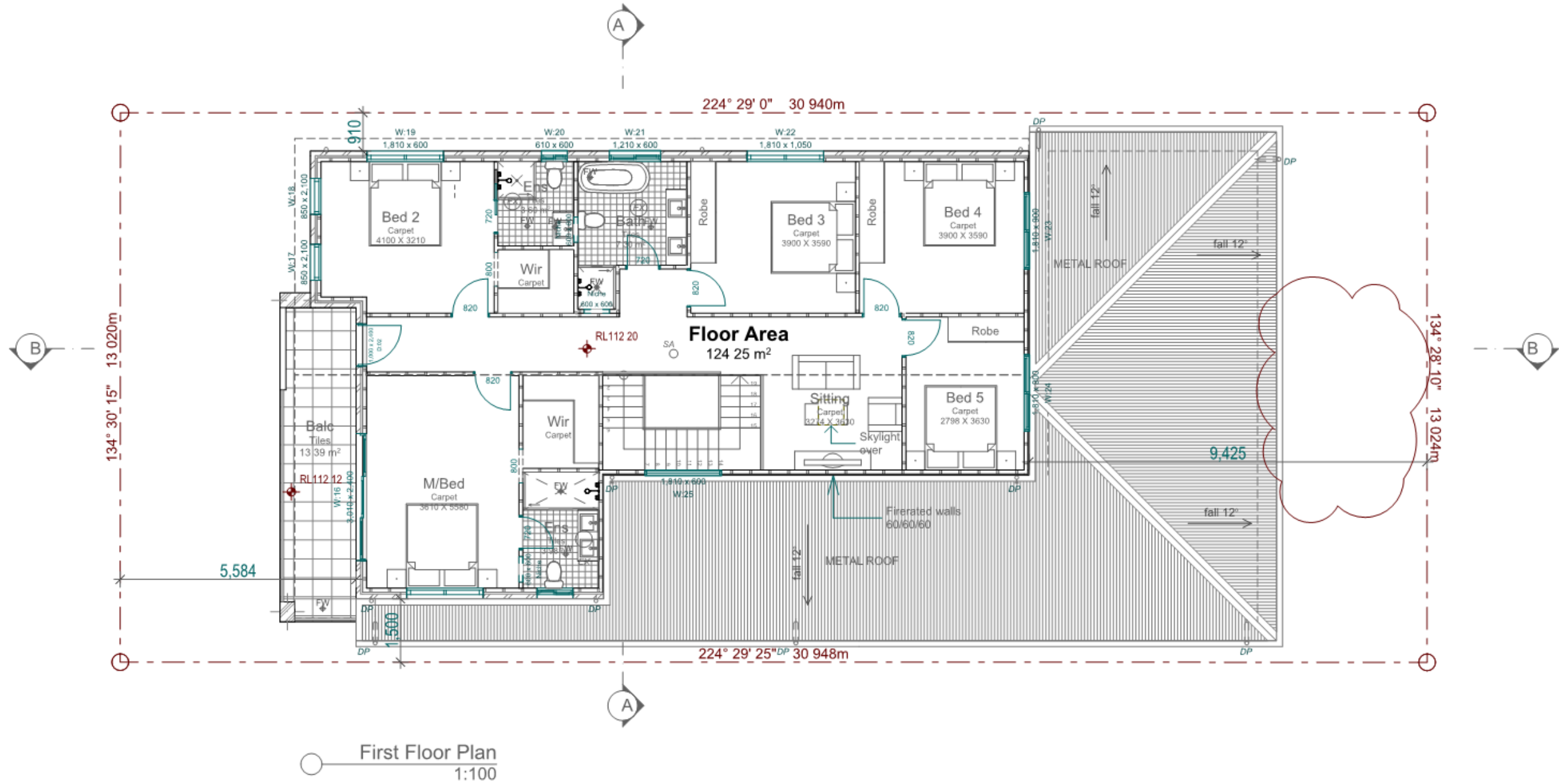
All levels and dimensions to be confirmed on site before commencing fabrication. This drawing is a copyright and must not be copied or used without authority from the designers.	North	Revision	Client	Project	Designer	Designed	Checked	Title	Dwg No.
		A. DEVELOPMENT APPLICATION ISSUE 17/07/23 B. AMENDMENTS AS PER COUNCIL LETTER 14/9/23 16/09/23	Ahmad Hussain	Proposed 2 Storey Dwelling with attached Secondary Dwelling at 13 Brush Cherry st, Leppington	CACTUS DESIGN & DRAFTING 16 Glenella Way, Minto, NSW 2566 M. 0412411977	C.D.G. ADG	10/05/2023		



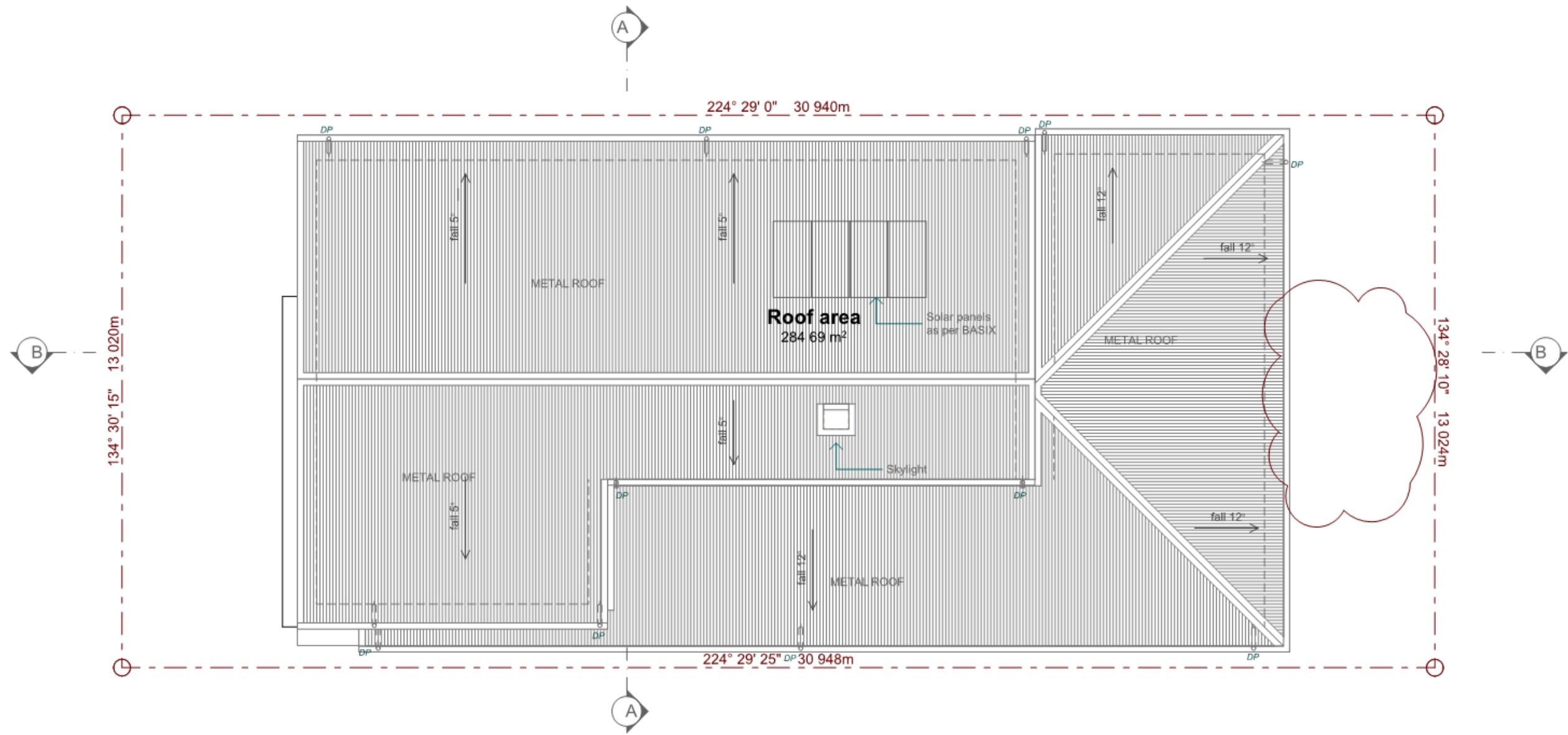
Ground Floor Plan
1:100

Site coverage
233.48 m²

All levels and dimensions to be confirmed on site before commencing fabrication. This drawing is a copyright and must not be copied or used without authority from the designers.		Revision A. DEVELOPMENT APPLICATION ISSUE 17/07/23 B. AMENDMENTS AS PER COUNCIL LETTER 14/9/23 16/09/23	Client Ahmad Hussain	Project Proposed 2 Storey Dwelling with attached Secondary Dwelling at 13 Brush Cherry st, Leppington	Designer CACTUS DESIGN & DRAFTING 16 Glenella Way, Minto, NSW 2566 M. 0412411977		Designer C.D.G. Designer ADG	CAD File 13 Brush Cherry St DA-GF.dwg Check AS SHOWN	Title Ground Floor Plan	Dwg No. DA02B
		Date 23/02/23	Date 10/05/2023	Status AS SHOWN						




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		Job No. 23022	Date 10/05/2023	Status AS SHOWN	Title First Floor Plan	Dwg No. DA03B				



Roof Plan
1:100

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		Date 23/02/22	Date 10/05/2023	Title Roof Plan	Dwg No. DA04B					



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		A. DEVELOPMENT APPLICATION ISSUE 17/07/23 B. AMENDMENTS AS PER COUNCIL LETTER 14/9/23 16/09/23	Ahmad Hussain	Proposed 2 Storey Dwelling with attached Secondary Dwelling at 13 Brush Cherry st, Leppington	CACTUS DESIGN & DRAFTING 16 Glenella Way, Minto, NSW 2566 M. 0412411977	C.D.G ADG 10/05/2023	13 Brush Cherry St DA-GF.rvt Check AS SHOWN		

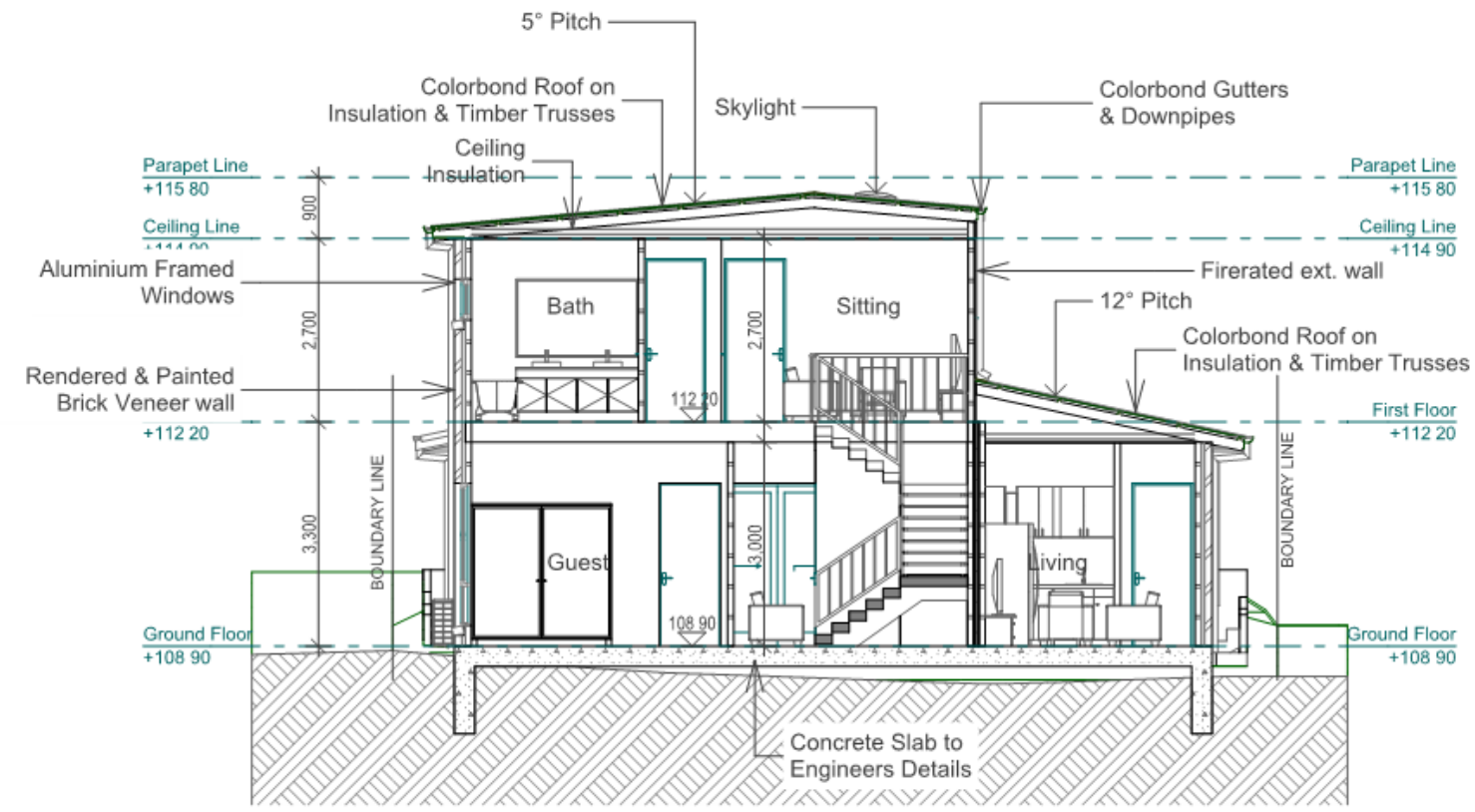


SE East Elevation
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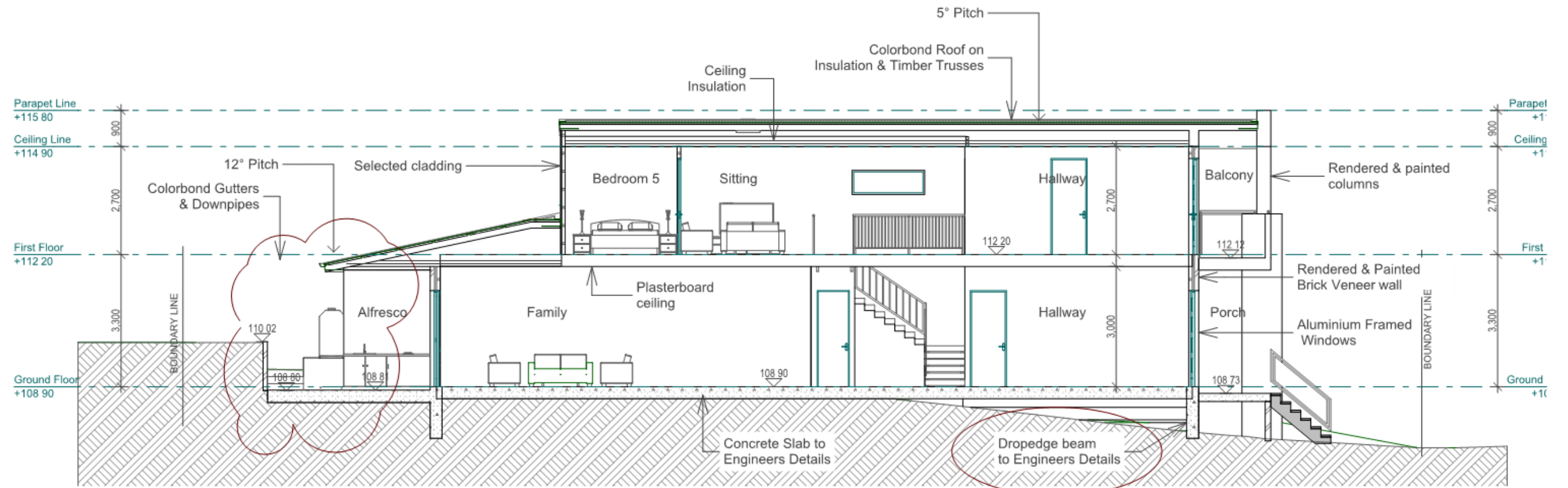


SW West Elevation
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All levels and dimensions to be confirmed on site before commencing fabrication. This drawing is a copyright and must not be copied or used without authority from the designers.		Revision	Client Ahmad Hussain	Project Proposed 2 Storey Dwelling with attached Secondary Dwelling at 13 Brush Cherry st, Leppington	Designer CACTUS DESIGN & DRAFTING 16 Glenella Way, Minto, NSW 2566 M. 0412411977		Designed C.D.G	Coord File 13 Brush Cherry St DA/GF.pln	Title Elevations SE & SW	Dwg No. DA06B
		A. DEVELOPMENT APPLICATION ISSUE 17/07/23 B. AMENDMENTS AS PER COUNCIL LETTER 14/9/23 16/09/23					Drawn ADG	Check		
						Job No. 23022	Date 10/05/2023	Scale AS SHOWN		

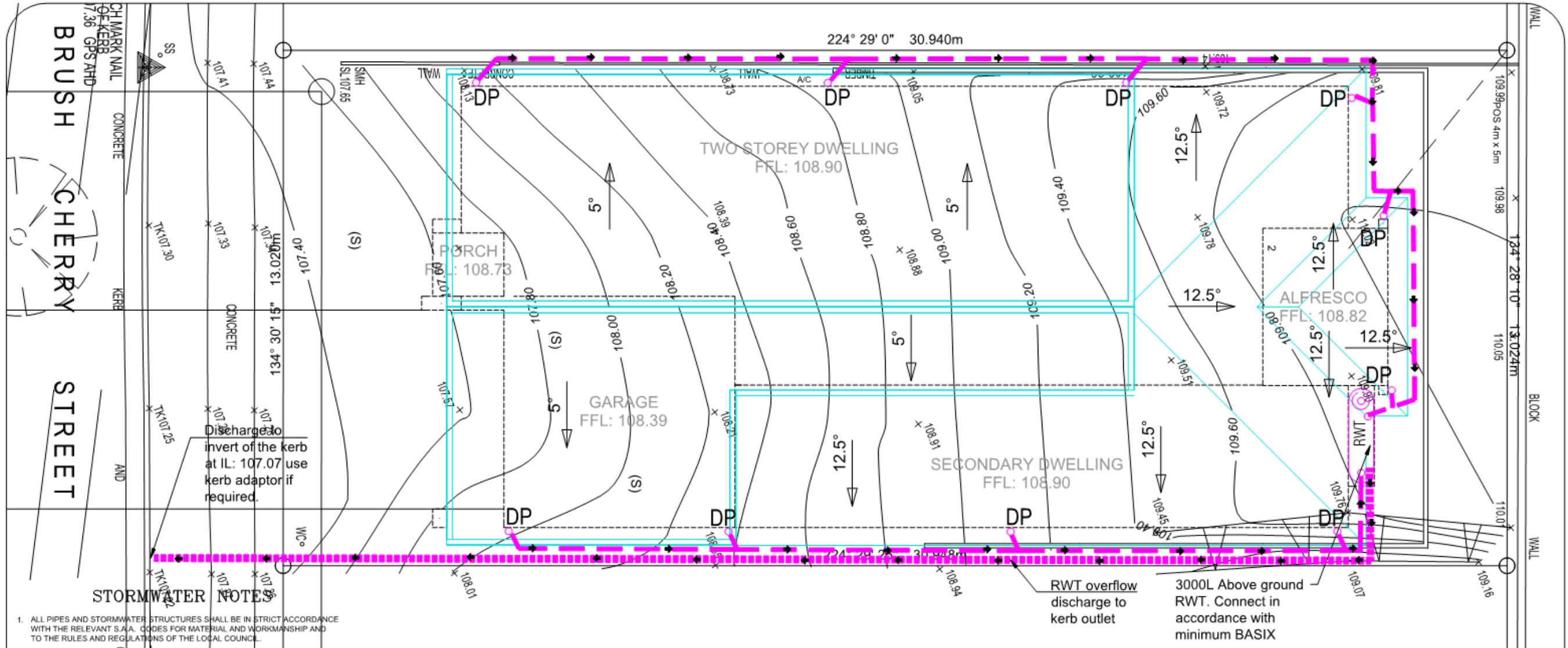


Section A-A
1:100



Section B-B
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		A. DEVELOPMENT APPLICATION ISSUE 17/07/23 B. AMENDMENTS AS PER COUNCIL LETTER 14/9/23 16/09/23	Ahmad Hussain	Proposed 2 Storey Dwelling with attached Secondary Dwelling at 13 Brush Cherry st, Leppington	CACTUS DESIGN & DRAFTING 16 Glenella Way, Minto, NSW 2566 M. 0412411977	C.D.G ADG 10/05/2023	13 Brush Cherry St DA-GF.rvt Check AS SHOWN		



- STORMWATER NOTES**
- ALL PIPES AND STORMWATER STRUCTURES SHALL BE IN STRICT ACCORDANCE WITH THE RELEVANT S.A.A. CODES FOR MATERIAL AND WORKMANSHIP AND TO THE RULES AND REGULATIONS OF THE LOCAL COUNCIL.
 - THE DRAWINGS ARE DIAGRAMMATICAL AND SET-OUTS SHALL BE CHECKED WITH THE ARCHITECTURAL DRAWINGS.
 - ALL LEVELS AND DIMENSIONS SHALL BE CHECKED ON SITE.
 - PIPE MATERIALS INDICATED MAY BE ALTERED PROVIDED THEY COMPLY WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITIES.
 - GUTTERS AND DOWNPIPES SHALL BE IN STRICT ACCORDANCE WITH AS.2179 AND AS.2180. GUTTERS SHALL HAVE A MINIMUM EFFECTIVE CROSS-SECTIONAL AREA OF 7,500mm² AND 100 x 75 DOWNPIPES.
 - STORMWATER PIPES UP TO AND INCLUDING 225 DIA. SHALL BE U.P.V.C. PIPES SEWER GRADE CONFORMING TO AS.1263 AND INSTALLED IN ACCORDANCE WITH AS.2032.
 - ALL EXISTING SERVICES TO BE LOCATED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY COSTS INCURRED FOR ADJUSTMENT AND/OR RELOCATION OF SERVICES ARE TO BE BORNE BY THE APPLICANT.
 - PROVIDE OVERLAND FLOW PATHS FROM ALL PITS.
 - PROVIDE FENCE/BARRIER WHERE OPEN DROP OFFS EXCEED 500MM OR THE SPECIFIED DEPTH NOTED ON COUNCIL GUIDELINES (WHICHEVER IS LOWER).
 - PERSONS UTILISING THIS PLAN FOR ANY PURPOSES SHALL VERIFY THE DATUM & RESPECTIVE LEVELS PRIOR TO COMMENCING ANY WORKS & CONTACT ENGINEER IF ANY DISCREPANCIES ARE NOTICED.
 - ALL WORKS TO BE CONSTRUCTED TO GOOD BUILDING PRACTICE & MATERIALS TO MEET ACCEPTED SPECIFICATIONS AND GUIDELINES.
 - DRIVEWAY LEVELS AND INLET GRATES/PITS LEVELS MAY BE ADJUSTED TO SUIT ACTUAL SITE STATE/CONDITIONS OF BOTH THE SITE AND THE PROPOSED WORKS. ENGINEER TO BE CONSULTED PRIOR TO CONSTRUCTION TO ENSURE INTENT OF WORK IS MAINTAINED.

EASEMENT:
Drainage easements must be clear of any structures.

SEWER:
Please refer to peg-out plans provided by an approved Sydney Water Coordinator. (Rain garden min. 1000mm away from edge of sewer main)

EXCAVATION:
No excavation in footpath without checking for depth and location of services.

DRIVEWAYS:
All driveways to council specifications and guidelines.

RETAINING WALLS:
All retaining walls are to be waterproofed and constructed with 100Ø Agg lines at the base and connected to the nearest pit. Refer to architectural plans for plan details.

STORMWATER PLAN

1:100

PJ Meares
Patrick J. Meares
BE, Grad Dip LGE MIEAust CPEng
EngExec NER APEC Engineer IntPE(Aus)

PLAN NOTES:

All engineering plans are to be referred to and read in conjunction with the architectural and relevant plans.

All works are to be in accordance with Camdon Council's Standard and Drawings, Design Guidelines and Work specifications.

All drainage pipes shown are to be wholly within the property boundary unless through the drainage easement. Refer to architectural plans for exact down pipe specifications and locations.

LEGEND

- DP 90Ø DOWNPIPE
- RWT RAINWATER TANK
- 53.50 NATURAL SPOT LEVEL
- LINE OF GROUND FLOOR
- ROOF LINE
- ROOFWATER LINE 90Ø FULLY SEALED SEWER GRADE
- 100Ø UPVC SEWER GRADE 1% FALL SURFACE LINE
- GRATED SURFACE INLET PITT
- (A) 1.5M WIDE EASEMENT TO DRAIN WATER

MEARES CONSULTING
suite 3.16, 5 Celebration Dr, Bella Vista
all mail: PO box 7063 Baulkham Hills 2153
Ph: 02 8883 2891
email: info@mearesconsulting.com.au
ABN 41 154 140 002

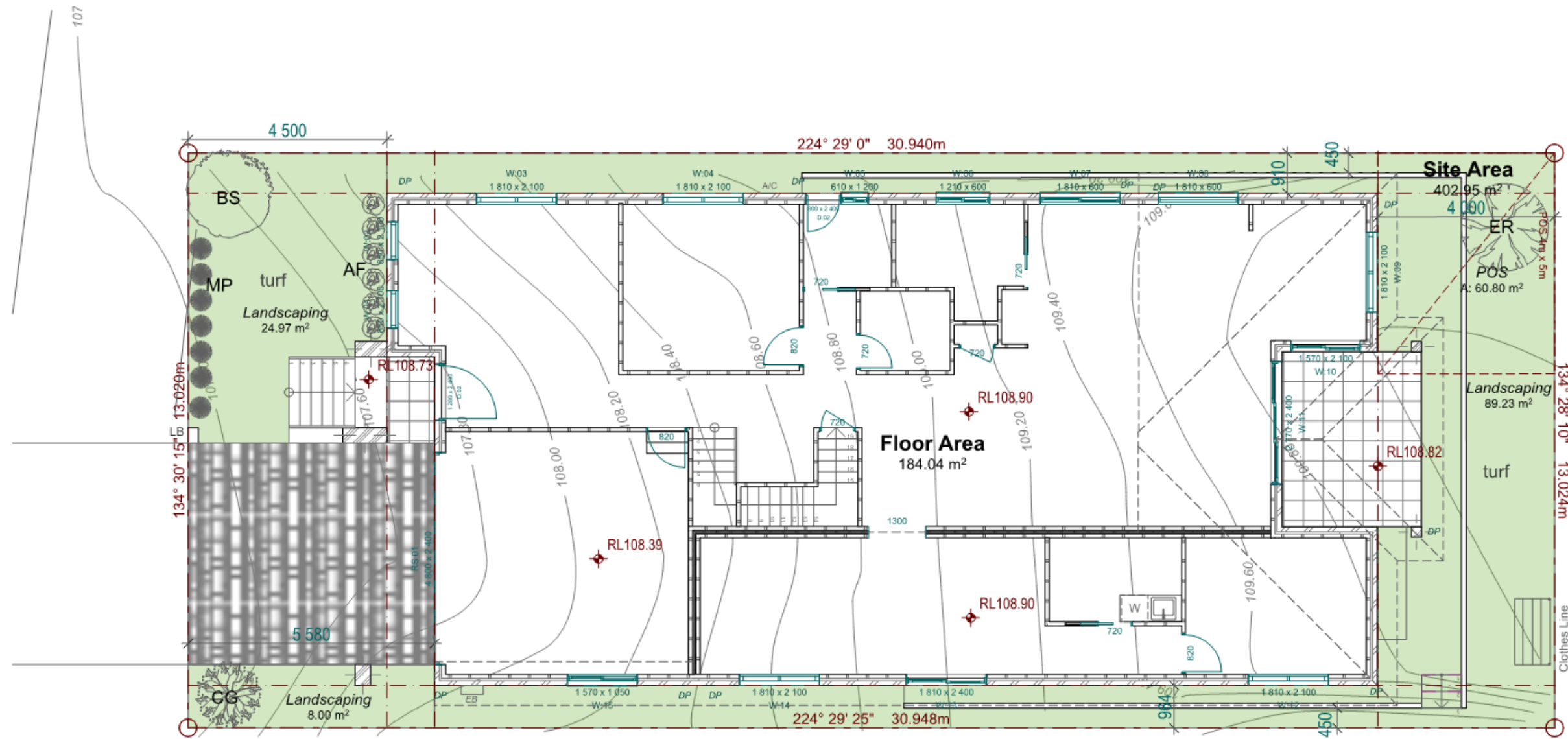
STRUCTURAL DRAINAGE CIVIL

Project
**13 CRUSH CHERRY STREET
LEPPINGTON**

Designed by **PJM**
Drawn by **KM**
Checked by *[Signature]*
Date **03/07/2023**

Title
STORMWATER PLAN

Scale
1:100 U.N.O
Job No.
11755
Drawing No. **S1** Rev.



Landscape Plan
1:100

NAME	COMMON NAME	KEY	QTY	POT SIZE	EST HT X SP @ MAT
Ceratopetalum gummiferum	NSW Christmas bush	CG	1	45L	3m x 2m
Elaeocarpus reticulatus	Blueberry Ash	ER	1	45L	3m x 2m
Banksia Serrata	Old Man Banksia	BS	1	75L	3m x 2m
Murraya paniculata	Orange Jasmine	MP	7	5L	1m x 0.9m
Anigozanthos flavidus	Bush Pearl	AF	6	5L	0.5 x 0.5









LEGEND	
	EXISTING CONTOURS
	PROPOSED FINISHED LEVELS
	PROPOSED LEVEL TOP OF WALL
	NEW TREES/SHRUBS
	EXISTING TREES/SHRUBS TO BE REMOVED
	SELECTED PAVING / STENCIL CONCRETE
	CLOTHES LINE
	PROPOSED TURF AREAS
	PROPOSED STORM WATER PITS
	PROPOSED SUBSOIL DRAINAGE LINES
	BRICK EDGING TO MASS PLANT AREAS
	STEPPING STONES
	PEBBLE MULCH

All levels and dimensions to be confirmed on site before commencing fabrication. This drawing is a copyright and must not be copied or used without authority from the designers.		Revision	Client	Project	Designer		Designer	C.D.G	Cadd File	Title	Dwg No.
		A. DEVELOPMENT APPLICATION ISSUE 07/07/23									

13 Brush Cherry st, Leppington

1. Colour Schedule



- | | |
|--|--|
| <p>1. Main external walls
Austral Bricks – Everyday life ‘Freedom’</p> |  |
| <p>2. External cladding
Weathertex - Vgroove ‘Natural’</p> |  |
| <p>3. Rendered Balcony
Dulux – Whisper White</p> |  |
| <p>4. Feature Column
Stacked stone</p> |  |
| <p>5. Facias, gutters and downpipes
Colorbond – Monument</p> |  |
| <p>6. Window frames
Colorbond – Vivid white</p> |  |
| <p>7. Roof
Colorbond ‘Wallaby’</p> |  |
| <p>8. Garage door
Timber look</p> |  |

07/07/23

CLPP02

Attachment 5

CLPP03

SUBJECT: DA/2022/1089/1 - DEMOLITION OF EXISTING DWELLINGS, LOT CONSOLIDATION, TREE REMOVAL, CONSTRUCTION OF 8 X 2 STOREY TOWNHOUSES AND STRATA TITLE SUBDIVISION, LANDSCAPING AND ASSOCIATED SITE WORKS - 40-42 MACQUARIE AVENUE AND 16 OLD HUME HIGHWAY, CAMDEN

FROM: Manager Statutory Planning

EDMS #: 23/533834

DA Number:	DA/2022/1089/1
Development:	Demolition of existing dwellings, lot consolidation, tree removal, construction of 8 x 2 storey townhouses and strata subdivision, landscaping and associated site works.
Estimated Cost of Development:	\$2,200,000.
Site Address(es):	40 & 42 Macquarie Avenue and 16 Old Hume Highway, Camden.
Applicant:	Mr Xiao Tongzhuo.
Owner(s):	Hamilton Davey (Holdings) Pty Ltd, ASG One Pty Ltd and Mr S M McCullan.
Number of Submissions:	31 (all objecting to the development)
Development Standard Contravention(s):	Nil.
Classification:	Local Development.
Recommendation:	Approve with conditions.
Panel Referral Criteria:	Ten or more unique submissions received.
Report Prepared By:	Jodie Schembri, Town Planner.

PURPOSE OF REPORT

The purpose of this report is to seek the Camden Local Planning Panel’s (the Panel’s) determination of a development application (DA) for the demolition of existing dwellings, lot consolidation, tree removal, construction of 8 x 2 storey townhouses and strata subdivision, landscaping and associated site works (proposed development) at 40 & 42 Macquarie Avenue and 16 Old Hume Highway, Camden.

The Panel is to exercise Council’s consent authority functions for this DA as, pursuant to the Minister for Planning’s Section 9.1 Direction, the DA received ten or more unique submissions by way of objection (a total 31 objections were received).

SUMMARY OF RECOMMENDATION

That, the Panel determine DA/2022/1089/1 for the construction of 8 x 2 storey townhouses including strata subdivision, demolition of existing structures, tree removal, lot consolidation and associated site works pursuant to Section 4.16 of the *Environmental Planning and Assessment Act, 1979*, by granting consent subject to the conditions attached to this report.

EXECUTIVE SUMMARY

Council is in receipt of a DA for the construction of 8 x 2 storey townhouses including strata subdivision, demolition of existing structures, tree removal, lot consolidation associated site works at 40 & 42 Macquarie Avenue and 16 Old Hume Highway, Camden.

The DA has been assessed against the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation, 2021*, relevant environmental planning instruments, development control plans and policies.

The DA was initially publicly exhibited for a period of 14 days in accordance with Camden Community Participation Plan 2021. This exhibition period was from 11 January to 24 January 2023 and 22 submissions were received objecting to the development during this period.

Following initial community consultation, amendments were made to the proposal, some of which were informed by the submissions. The following amendments have occurred:

- A reduction in the proposed density of the development reduced from 10 dwellings (as originally proposed) to 8 dwellings.
- Revision of the internal driveway to remove the gun barrel appearance.
- Increased site landscaping, including the retention of two trees initially proposed to be removed.
- Increased communal open space area.
- Increased energy efficiency ratings.

Following amendments to the proposal the application was re-exhibited for a period of 14 days from 23 June to 6 July 2023. During this period nine further objections were received.

The key issues raised in the submissions are listed below and addressed in detail at the end of this report:

- *Relegation of historic character of the area.*
- *Street network parking impacts and traffic generation.*
- *Waste collection impacts.*
- *Privacy and amenity impacts.*
- *Acoustic amenity impacts to surrounding properties.*
- *Overdevelopment of site.*
- *Excessive tree removal.*

The development seeks variation to rear setback requirements from the first floor, separation distance between the front facades within the development, and fencing as stipulated in Camden Development Control Plan 2019.

Based on the assessment, it is recommended that the DA be approved subject to the conditions attached to this report.

KEY PLANNING CONTROL VARIATIONS

Control	Proposed	Variation
Rear Setback – 6m (min)	4m	2m
Separation Distance – 12m (min)	7m	5m
Fencing – 1.2m (max)	1.8m	600mm

AERIAL PHOTO



Image 1: Aerial image of site.

THE SITE

The site is located on the corner of Macquarie Avenue and Old Hume Highway and is commonly known as 40 & 42 Macquarie Avenue and 16 Old Hume Highway, Camden. The site is legally described as Lot 2 in Deposited Plan 211285 and Lots 11 & 12 in Deposited Plan 589227. The surrounding locality is characterised by a mixture of detached single and two storey dwelling houses within the R2 Low Density Residential zone, and multi-dwelling townhouses within the R3 Medium Density Residential zone (particularly along Old Hume Highway to the south and Broughton Street to the north of the site).

The site is bound by two road frontages, Macquarie Avenue to the north and Old Hume Highway to the west. The site is surrounded by established single-storey dwellings with a home business (yoga studio) to the immediate north located at 12 Old Hume Highway. To the immediate south, at 18 Old Hume Highway, a single storey dwelling exists, with this site being DA approved for multi-dwelling housing (5 units) in 2020 (not yet under construction).

The subject site falls outside of the Camden Heritage Conservation Area and does not contain any heritage items. Lots 11 and 12 (i.e. 42 Macquarie Avenue and 16 Old Hume Highway) contain single storey dwellings and associated garages and sheds which are proposed to be demolished to facilitate the proposed development. A DA for a boundary adjustment to obtain a portion of the land from lot 2 (i.e. 40 Macquarie Avenue) was approved in 2021. The boundary adjustment is not yet registered with NSW Land Registry Services and hence lot 2 forms part of this DA.

The development site is regular in shape, with the exception of the angled frontage of No. 40 Macquarie Avenue and has a moderate fall (1.8m) from the secondary western boundary to the eastern boundary. Along the northern property boundary of Macquarie Avenue and the western property boundary of Old Hume Highway, there is an existing vegetation screen predominately consisting of noxious weeds and a failing red brick boundary fence, spanning across lots 11 and 12. The site is not flood or bushfire prone land.



Image 2: Existing secondary street façade of 42 Macquarie Avenue, looking north along Old Hume Highway.

CLPP03



Image 3: Existing primary street facade of 42 Macquarie Avenue, looking south on Macquarie Avenue.



Image 4: Existing vegetation on Macquarie Avenue, looking west along Macquarie Avenue.



Image 5: Existing dwelling at 16 Old Hume Highway, looking east on Old Hume Highway.



Image 6: The corner of Macquarie Avenue and Old Hume Highway looking southeast towards 42 Macquarie Avenue

HERITAGE MAP

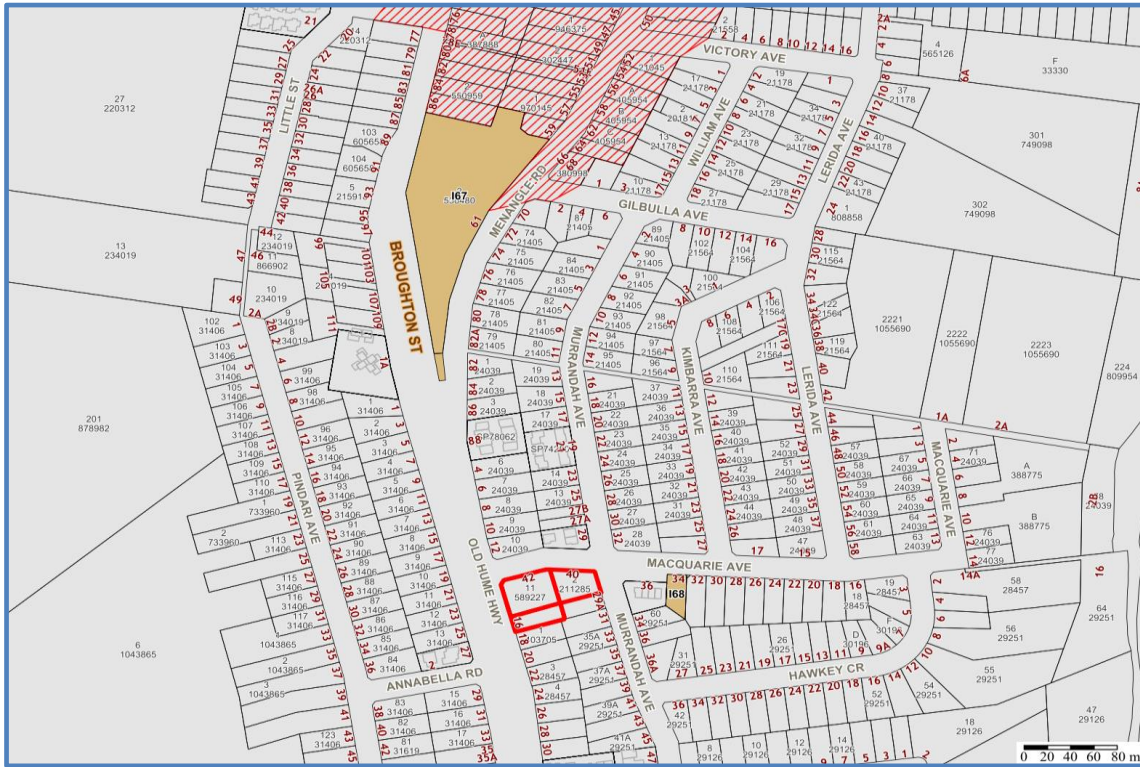


Image 7: The development site in relation to the Camden Heritage Conservation Area and nearby local heritage items.

ZONING PLAN

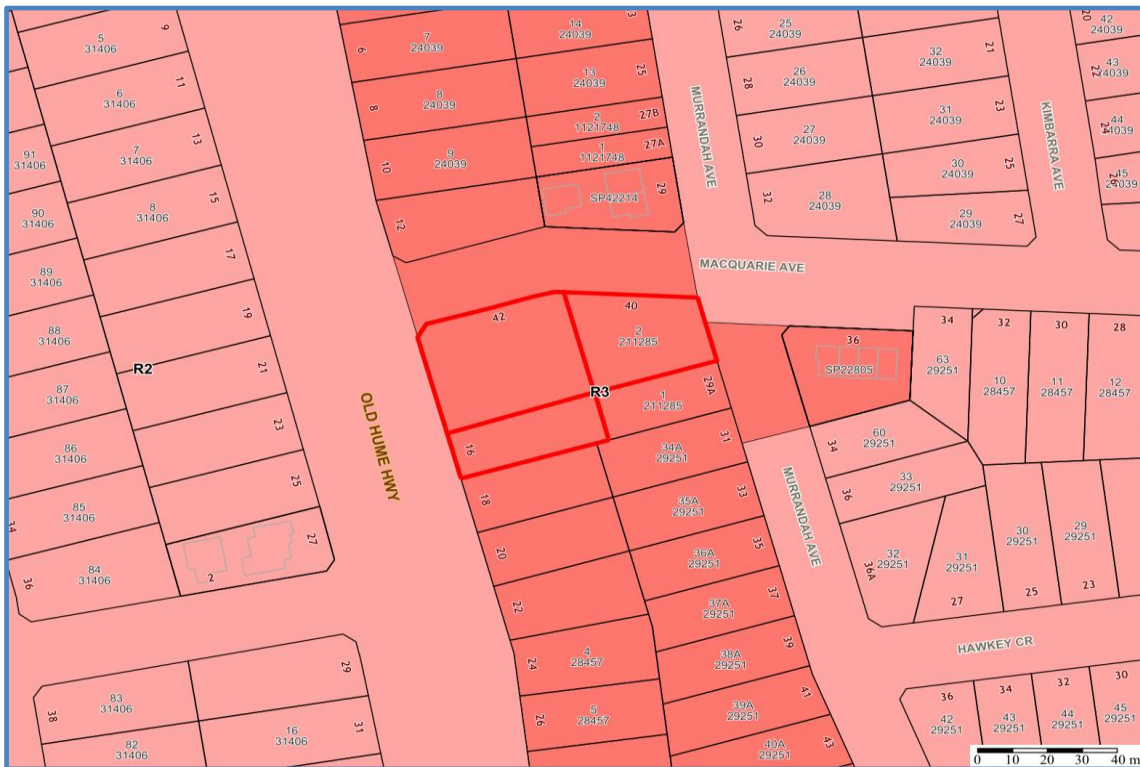


Figure 8: The development site - R3 Medium Density Residential.

HISTORY

The relevant development history of the site is summarised in the following table:

Date	Development
27/09/2021	DA/2021/1404/1 for boundary adjustment between Lot 2, 40 Macquarie Ave and Lot 11, 42 Macquarie Ave, and demolition of a deck to the rear of the dwelling at 40 Macquarie Ave – Approved .
28/04/2021	DA/2020/702/1 for demolition of existing structures, tree removal, lot consolidation and construction of a multi-dwelling housing development comprising of 22 units across 3 storeys, basement car parking, stormwater drainage works, landscaping, servicing and associated site works – Withdrawn .

THE PROPOSAL

DA/2022/1089/1 seeks approval for demolition of existing dwellings, lot consolidation, tree removal, construction of 8 x 2 storey townhouses and strata subdivision, landscaping and associated site works.

Specifically, the development involves:

- Demolition of all existing structures on lots 11 and 12 (i.e. 42 Macquarie Avenue and 16 Old Hume Highway).
- Removal of 18 trees, three of which are considered a noxious weed.
- Consolidation of lots 11 and 12.
- Construction of 8 x 2 storey townhouses, each with a double garage and attic.
- Strata subdivision.
- Ground floor communal open space area.
- Visitor car parking inclusive of three parking spaces and one car wash bay.
- Associated landscaping and site works.

The estimated cost of the development is \$2,200,000.



Image 9: Render of proposed development as viewed from Macquarie Avenue.

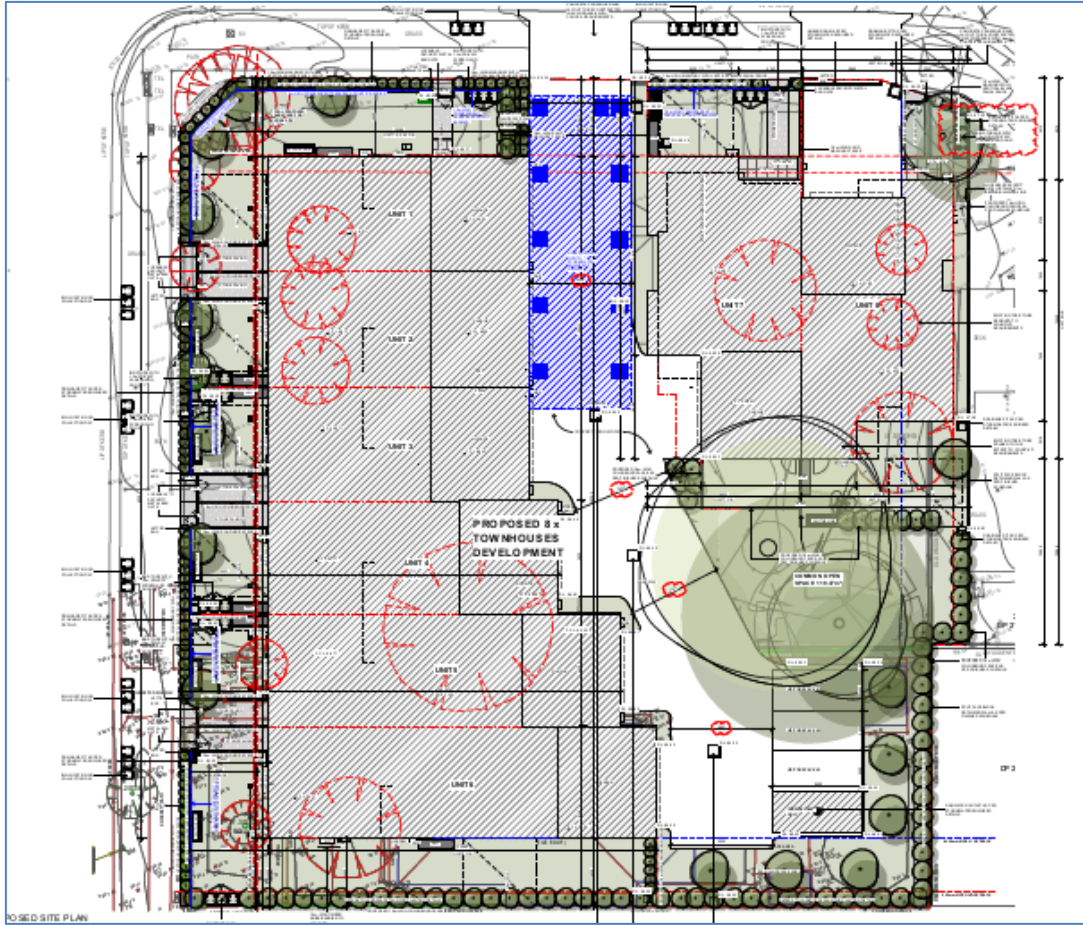


Image 10: Site Plan

ASSESSMENT

In determining a DA, the consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the DA:

(a)(i) the provisions of any environmental planning instrument

The environmental planning instruments that apply to the development are:

- State Environmental Planning Policy (Biodiversity and Conservation) 2021.
- State Environmental Planning Policy (Resilience and Hazards) 2021 Chapter 4.
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004.
- Camden Local Environmental Plan 2010.

State Environmental Planning Policy (Biodiversity and Conservation) 2021.

Biodiversity and Conservation SEPP aims to protect the environment of the Hawkesbury-Nepean River system by ensuring impacts of future land uses are considered in a regional context. Council staff have considered the general planning considerations outlined by the Biodiversity and Conservation SEPP and are satisfied there will be no detrimental impact on the Hawkesbury-Nepean River system as a result of the development. These considerations are demonstrated throughout this report and its accompanying attachments, including recommended conditions to manage erosion, sediment and water pollution control.

State Environmental Planning Policy (Resilience and Hazards) 2021 Chapter 4.

The Resilience and Hazards SEPP requires the consent authority to consider if the site is contaminated. If the site is contaminated, the consent authority must be satisfied that it is suitable in its contaminated state for the proposed use of the site. If the site requires remediation, the consent authority must be satisfied that it will be remediated before the land is used for the proposed development. Furthermore, the consent authority must consider a preliminary contamination investigation in certain circumstances.

The proposal was accompanied by a phase one preliminary site contamination investigation which indicated that an additional detailed site investigation was required to determine the suitability of the site due to identified Potential for Areas of Environmental Concern (PAEC) (namely uncontrolled fill). However, the test pits/comments in the soil salinity investigation indicated no foreign materials were encountered during the investigation and no visual or olfactory evidence of salinity risk indicators or contamination were identified during sampling.

A revised report with updated advice from the contaminated land consultant was provided. The updated report confirms that sufficient information is available based on the previous soil samples to demonstrate that the site is suitable for the proposed development. The report includes reference to the test pits in the soil salinity report in which no foreign material or signs of fill were observed/encountered.

It is noted that the identified uncontrolled fill identified is wholly located within 40 Macquarie Avenue. The area identified for potential contamination does not form part of the development site and therefore a Remediation Action Plan (RAP) is not required for the subject development application.

The report concludes that the likelihood of contamination is low and that the site is suitable for the proposed development. Council's Environmental Health Officer has reviewed the report and concurs with the findings of the contamination investigation. As such, the consenting authority can be satisfied the land is suitable for the proposed development.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004.

A valid BASIX Certificate for multi-dwelling housing was submitted with the DA. The proposal has been assessed against the provided BASIX Certificate. The proposal will be able to meet the commitments and targets identified. A condition of consent is recommended to ensure compliance is achieved.

Camden Local Environmental Plan 2010 (Camden LEP)

Camden LEP aims to make local environmental planning provisions for land in Camden in accordance with the relevant standard environmental planning instrument under Section 3.20 of the *Environmental Planning and Assessment Act, 1979*.

Site Zoning

The site is zoned R3 Medium Density Residential pursuant to Clause 2.2 of the Camden LEP.

Land Use/Development Definitions

The development is characterised as ‘*multi dwelling housing*’ by the Camden LEP.

Permissibility

The development is permitted with consent in the R3 Medium Density Residential zone pursuant to Clause 2.3 and the land use table of Camden LEP.

Planning Controls

An assessment table in which the development is considered against the Camden LEP’s planning controls is provided as an attachment to this report.

(a)(ii) *the provisions of any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved)*

Draft Environment State Environmental Planning Policy (Draft Environment SEPP)

The development is consistent with the Draft Environment SEPP in that there will be no detrimental impacts upon the Hawkesbury-Nepean River system as a result of it.

Draft Remediation of Land State Environmental Planning Policy (Remediation of Land SEPP)

The development is consistent with the Draft Remediation of Land SEPP in that it is consistent with the Resilience and Hazards SEPP.

(a)(iii) *the provisions of any development control plan*

Camden Development Control Plan 2019 (Camden DCP)

An assessment table in which the development is considered against the Camden DCP is provided as an attachment to this report. The assessment has determined that the proposal is generally consistent with the relevant matters contained in the Camden DCP, with the exception of three variations relating to the first-floor rear setback, distance between front facades within the development and front fencing. The non-compliances are further addressed below:

First-floor rear setback

The applicant proposes a variation to the first-floor rear setback prescribed under Section 4.2 of the Camden DCP. The development seeks a first-floor rear setback of 4m on the southern elevation (Unit 6 only), proposing a 2m variation to the prescribed (6m) control.

Council staff have assessed the variation and consider that a first-floor rear setback of 4m is reasonable for the following reasons:

- Given the orientation of the site and the dual frontages, the development orientates development to the north (Macquarie Avenue) and to the west (Old

Hume Highway). As the bulk of the development is presented to the west, the southern setback is considered to function as a side setback rather than a rear setback. It is further noted that this southern boundary is currently the side boundary of the property known as 16 Old Hume Highway.

- While the setback fails to meet the prescribed 6m setback, a 4m setback is proposed, which is sufficient to protect the amenity of adjoining properties. The proposal does not cause any unreasonable amenity impacts, such as loss of solar access or visual privacy, to adjoining dwellings to the south.
- Unit 6 is setback in excess of 16 metres from the eastern boundary (shared with 29A Murrandah Avenue).
- Despite the numeric variation, the proposal meets the underlying objective of the control.

Internal distance between front facades

In accordance with Section 4.6 of the Camden DCP, multi-dwelling housing is required to “provide a minimum of 12m between front facades within the development so that the layout does not create gun-barrel vistas”. The front facade (Macquarie Avenue) proposes a distance between buildings of 7m, representing a 5m variation to the subject control.

Council staff have assessed the variation and consider that a separation between front facades of 7m is reasonable for the following reasons:

- In response to the request for additional information, dated 13 April 2023, the architectural plans were revised to reduce the number of proposed units (from 10 to 8), allowing for revision and articulation of the front façade to resolve the gun-barrel appearance. Whilst the separation between buildings does not achieve 12m, the vista from Macquarie Avenue satisfies the intent of the control.
- It is not considered that the driveway and townhouse development either side of the internal driveway appears as a gun-barrel, with the driveway staggered, with landscaped edges on either side reducing the extent of hardstand and the perception of a long untreated driveway.
- Despite the numeric variation, the proposal meets the underling objective of the control.

Fencing

The applicant proposes a variation to Section 4.2.11 of the Camden DCP (front fencing) in that a 1.8m high front boundary fence is proposed.

Council staff have assessed the variation and consider that front fencing of 1.8m is reasonable for the following reasons:

- 1.8m acoustic-rated fencing is required to address the potential noise impacts from Old Hume Highway.

- Given the orientation of the dwellings and their associated PPOS, a fencing height of 1.8m is required to ensure that reasonable privacy and amenity of the proposed lots is achieved.
- The proposed fencing consists of a low masonry wall (550mm) with 1.8m columns and infill palisade panels. The palisade panels are to have transparent perspex installed behind to achieve the required acoustic rating. The proposed fencing responds to the design of the proposed dwellings and adds positively to the streetscape.
- Landscaping is proposed in front of the fencing to soften its appearance when viewed from the street.
- The height of the fencing will not affect traffic or pedestrian visibility at intersections.
- The proposed fencing is of a high quality and will not detract from the streetscape.

(a)(iia) the provisions of any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

No relevant planning agreement or draft planning agreement exists or has been proposed as part of this DA.

(a)(iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph)

The *Environmental Planning and Assessment Regulation, 2021* prescribes several matters that are addressed in the conditions attached to this report.

(b) the likely impacts of the development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality

As demonstrated by this assessment report, the development is unlikely to have any unreasonable adverse impacts upon the natural and built environments, nor will the development generate adverse social and economic impacts within the locality.

Consideration of the following specific matters is discussed below:

Heritage

As demonstrated in the Heritage Map (image 7) contained within this report, the site is situated outside of the Camden Town Centre Conservation Area and the proposed development will not be highly visible from any heritage items in the vicinity of the site. The development is unlikely to impact upon the historic, aesthetic, rarity, and significance on nearby local heritage items, including the Camden Town Centre Conservation Area.

Tree removal

The application was accompanied by an Arboricultural Assessment which recommended a total of 15 trees to be removed. The report identifies that three of these trees are noxious weeds and as such, removal of these species would not require any form of consent. Council’s Urban Tree Officer has considered the submitted Arboricultural Assessment and supports the removal of all trees identified for removal within the report. In addition, a further three trees (trees 1, 3 and 4) are noted to be in poor health and are therefore recommended for removal and replaced with larger canopy trees via recommended conditions of consent.

Trees identified for removal and their species are detailed in the below table and marked in image 13.

Tree #	Species.	Condition.
1	Prunus cerasifera 'Nigra'	Poor
2	Prunus cerasifera 'Nigra'	Good
3	Prunus cerasifera 'Nigra'	Poor
4	Prunus cerasifera 'Nigra'	Poor
5	Leptospermum petersonii	Poor
6	Melia azedarach	Poor
7	Cotoneaster glaucophyllus (noxious weed)	Good
8	Nerium oleander (noxious weed)	Fair
9	Gordonia axillaris	Poor
10	Lagerstroemia indica	Poor
11	Melia azedarach	Poor
12	Lagerstroemia indica	Poor
14	Lagerstroemia indica	Fair
15	Citrus limon	Good
16	Nerium oleander (noxious weed)	Good
17	Melaleuca bracteata “Revolution Gold”	Good
20	Magnolia soulangeana	Fair
21	Robinia pseudoacacia	Good

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Image 11: Trees identified for removal marked in red with trees identified for retention in yellow. Trees 1, 3 and 4 are noted to be in poor health and are to be replaced by larger canopy trees.

The majority of noxious weeds exist along the western property boundary of Old Hume Highway, where a large vegetation screen spans along the boundary.



Image 12: Western secondary street boundary line.

The applicant has provided a detailed landscape plan demonstrating the western boundary will be reinstated to a higher standard than currently exists, by introducing a variety of trees, shrubs, and groundcovers. The location of those trees, shrubs and groundcovers are detailed in image 13 below.



Image 13: Proposed landscaping plan.

This has been reviewed by Council’s Urban Tree and Landscaping Officer who concurs with the selected species and pot size, subject to further large tree canopy plantings, modification of replacement tree species, and the addition of further street tree planting.

Traffic

The application was accompanied by a Traffic Impact Assessment which has assessed the likely traffic impacts to the surrounding road network and to the intersections of Macquarie Avenue & Old Hume Highway and Macquarie Avenue & Murrandah Avenue.

Observations of traffic activity in the vicinity of the development site during the AM and PM peak periods reveal that traffic flows along Old Hume Highway and Macquarie Avenue in the vicinity of the site are generally free flowing. Adequate gaps are available in Macquarie Avenue’s traffic flow for vehicles to safely enter and exit the development site.

The Traffic Impact Assessment was considered by Council's Traffic Engineering Officer, who concluded that the traffic movements will have a negligible impact on the existing traffic conditions and the operations of the surrounding intersections.

(c) *the suitability of the site for the development*

As demonstrated by the above assessment, the site is considered suitable for the development.

(d) *any submissions made in accordance with this Act or the regulations*

The DA was publicly exhibited for a period of 14 days in accordance with Camden Community Participation Plan 2021. The exhibition period was from 11 January to 24 January 2023 and 22 submissions were received (objecting to the development).

Following amendments to the proposal, the application was re-exhibited for a period of 14 days from 23 June to 6 July 2023. During this period, nine further objections were received.

The issues raised in the submissions are considered below:

1. *Surrounding streets cannot cope with increase of traffic and reliance on street parking*

Officer comment:

The application was accompanied by a Traffic Impact Assessment which has assessed the likely traffic impacts to the surrounding road network and to the intersections of Macquarie Avenue & Old Hume Highway and Macquarie Avenue & Murrandah Avenue. It is concluded that the proposal will have a negligible impact on the existing traffic conditions and the operation of the surrounding intersections. Furthermore, there is sufficient car parking provided on site which complies with residential rates prescribed by the DCP to reduce reliance upon on street parking.

2. *Extra traffic will cause congestion at the intersections of Macquarie Avenue & Murrandah Avenue and Old Hume Highway & Annabella Road that will increase potential of serious accident.*

Officer comment:

The development does not reduce sight distances from the intersections of Murrandah Avenue & Macquarie Avenue or Old Hume Highway & Annabella Road. As stipulated above, the development will have a negligible impact on the existing traffic conditions and the operation of the surrounding intersections.

3. *Inadequate car parking*

Officer comment:

The development provides compliant residential car parking in accordance with section 4.2.10 of the Camden DCP.

4. *The development does not provide adequate disabled car parking spaces*

Officer comment

The DCP does not specify a requirement of disabled car parking spaces for residential and/or multi-dwelling housing for development containing less than 10 dwellings. As only eight dwellings are proposed, there is no requirement to provide for disabled car parking on-site.

5. *The development does not comply with 'Access and Entries' of the DCP*

Officer comment

The proposed development minimises vehicular and pedestrian entry and exit points, provides a defined and well-lit pedestrian 'safe route' which can be clearly viewed by residents for passive surveillance, considers accessibility for people with mobility issues and complies with 'Safer by Design' guidelines.

6. *There is no provision for service vehicles within the property*

Officer comment

Service vehicles are not required to access the site. Waste and recycling will be collected from the street.

7. *Waste bin congestion*

Officer comment

There is adequate space for waste bins to be stored within individual lots, appropriately screened from the street, and presented at the front of each lot upon collection days. Council's Waste Officer concurs with the proposed waste arrangement on-site.

8. *The waste management plan submitted with the application is insufficient*

Officer comment

The application was referred to Council's Waste Strategy team who concur with the proposal and waste arrangements. A condition of consent is recommended that requires the provision of a detailed waste management plan (for demolition and construction phase of the project as per the Waste Management Guidelines) to be submitted prior to the issue of the construction certificate.

9. *The development proposes an excess of dwellings per lot*

Officer comment

Multi-dwelling housing is permitted with consent in the applicable R3 Medium Density Residential zone and the proposed development meets the minimum lot size requirements.

10. *The development will result in overpopulation/overcrowding and excess noise*

Officer comment

The proposed development meets the relevant objectives of the R3 Medium Density Residential zone in that the development provides for the housing needs of the community within a medium density residential environment, provides a variety of housing types and enables redevelopment of land for medium density housing in locations close to main activity centres within the Camden LGA. The development is not anticipated to result in overpopulation/overdevelopment.

11. *Overdevelopment of the site*

Officer comment

The proposed development complies with the site coverage controls stipulated in the Camden DCP and with the minimum lot size and lot width requirements for multi-dwelling housing (as stipulated in the Camden LEP). The development is of a suitable bulk and scale and is considered to not result in adverse privacy, overshadowing and amenity impacts to adjoining properties.

12. *Overshadowing of adjoining properties*

Officer comment:

The shadow diagrams provided with the application demonstrate that overshadowing from the proposed development will not impede adjoining dwelling's ability to meet solar access requirements as per the Camden DCP.

13. *Privacy and amenity impacts to adjoining properties*

Officer comment:

The potential for overlooking has been minimised through dwelling orientation, the lack of habitable rooms on the first floor and a revised sill height of 1.5m (or more) for windows that may cause overlooking. The proposed development is compliant with the Camden DCP regarding visual and acoustic privacy.

14. *The arborist report is outdated*

Officer comment

Version 1.0 of the arborist report lodged with the application is dated February 2022. In response to Council's request for further information dated 13 June 2023, the report was revised and version 2.0 was provided to Council in June 2023. Council's Urban Tree and Landscaping Officer concurs with the findings and recommendations of the report.

15. *Excessive tree removal*

Officer comment:

Where possible, trees have been retained and the arborist report submitted with the application recommends tree protection measures for significant trees. Several trees have major incursions from the development footprint, or have been recommended for removal due to health, condition, and undesirable species, and will require removal. The revised proposal has resulted in the retention of additional mature trees on the

site. The development proposes several compensatory plantings to offset the impact of the proposed development. Further site and tree plantings are recommended to be imposed as conditions of consent.

16. *Urban heat island effect*

Officer comment

The development adopts light, solar-reflective colours and materials palette. In addition, large canopy trees are retained to mitigate urban heat, with the development complying with landscape requirements of the DCP. Additional large-canopy tree plantings are recommended following advice from Council's Urban Tree and Landscaping Officer.

17. *The development does not achieve a 7-star Nationwide House Energy Rating Scheme (NatHERS) rating and allows for the provision of gas appliances which is not sustainable*

Officer comment

In response to submissions lodged during the first notification period, the applicant revised the developments energy efficiency to increase the NatHERS rating of the development. It is further noted that the development complies with BASIX requirements in accordance with SEPP (BASIX) 2004.

18. *Insufficient landscaping*

Officer comment

The site offers 30.4% soft landscaped area which is compliant with the DCP prescribed minimum of 30%. This excludes areas of less than 1.5m width.

19. *Insufficient communal open space area*

Officer comment

In response to Council's request for further information dated 13 April 2023, the communal open space area was increased to allow for the retention of mature trees. The communal open space area is deemed acceptable for the scale of the proposed development.

20. *Insufficient private open space areas*

Officer comment

A minimum of 16m² principal private open space area is provided for each dwelling, as prescribed by the DCP.

21. *A minimum of 12m separation between front facades has not been achieved, with lack of landscaping, resulting in a gun-barrel appearance*

Officer comment

In response to the RFI dated 13 April 2023, plans were revised to reduce the number of proposed units, allowing for revision and articulation of the front façade to resolve the gun-barrel appearance. Whilst the separation between buildings does not achieve 12m, the vista from Macquarie Avenue is considered to satisfy the intent of the control. The plans were further revised to incorporate soft landscaping on either side of the driveway. The development is considered to meet the objectives of Section 4.6 Multi Dwelling Housing of the Camden Development Control Plan.

22. Bedrooms should be located away from the internal driveway

Officer comment

Bedrooms are appropriately located on the first floor of the development and allow for passive surveillance of the internal driveway.

23. Bedrooms are fronting a main road

Officer comment

Bedrooms will increase passive surveillance to the main road of Old Hume Highway and subject to acoustic attenuation, are considered a suitable room fronting a main road. Noise attenuation mitigation measures such as acoustic treatments for glazing and construction are required to be implemented and are recommended as conditions of consent.

24. Proposed setbacks are not fully compliant with the DCP

Officer comment

It is acknowledged that the rear setback of unit 6 is not fully compliant with the DCP, which is discussed in greater detail within this report.

25. The development exceeds the site coverage control prescribed by the DCP.

Officer comment

The DCP prescribes a site coverage control for multi-dwelling housing of 50%. The development proposes a ground floor and first floor site coverage of 28.1% and 32.3% respectively.

26. Front fencing does not meet DCP control of 1.2m

Officer comment

Acoustic-rated front fencing to a height of 1.8m is required to meet the privacy and acoustic requirements of the lots. Given the proximity to the Old Hume Highway the proposed front fence height is deemed acceptable in this instance.

27. Relegation of historic character of the area

Officer comment

The development is considered unlikely to impact upon the historic, aesthetic, rarity, and significance on nearby local heritage items, including the Camden Heritage

Conservation Area. The site is situated outside of the HCA and the proposed development will not be highly visible from heritage items in the vicinity of the site (due to intervening buildings, vegetation and fencing).

Notwithstanding, it is deemed that the proposed architectural treatments are generally sympathetic to the surrounding area and enhances the built form and character of the neighbourhood.

28. *The development is inconsistent with the Camden Local Strategic Planning Statement (LSPS) in that there is no commitment to the delivery of transport infrastructure to allow for additional housing in the zone and housing shall be reserved for the South West Growth Area*

Officer comment

The LSPS is not a statutory planning policy to be considered in the assessment of a development application.

29. *Decrease in surrounding property values*

Officer comment

No supporting evidence has been provided to support this claim and regardless it is not a valid matter of consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979.

30. *The development does not suit the demographic of the area*

Officer comment

There is no evidence to suggest that the development does not suit the demographic of the area. The development meets the relevant objectives of the R3 Medium Density Residential zone in that the development provides for the housing needs of the community and provides a variety of housing types.

31. *Excessive construction noise and vehicles associated with construction*

Officer comment

Standard conditions are recommended specifying noise levels during construction, construction hours and the requirement to submit a traffic management plan to mitigate construction impacts.

32. *Council should levy a contribution for public amenities and services*

Officer comment

A contributions payment pursuant to the provisions of Section 7.11 of the Environmental Planning and Assessment Act 1979 is recommended to be imposed as a condition of consent.

33. *Inadequate notification*

Officer comment

The development was appropriately notified upon lodgement in accordance with the Camden Community Participation Plan 2021 (which resulted in an extended notification period due to the timing of lodgement in relation to the Christmas/new year period). It is further noted that the DA has been notified on two occasions.

34. *A condition of consent should be imposed ensuring appointment of a high-quality building company.*

Officer comment

The imposition of such a consent condition is unreasonable and contrary to the Newbury Principles and Section 4.17 of the Act.

(e) the public interest

The public interest is served through the detailed assessment of this DA under the *Environmental Planning and Assessment Act, 1979*, the *Environmental Planning and Assessment Regulation, 2021*, environmental planning instruments, development control plans and policies. Based on the above assessment, the development is consistent with the public interest.

EXTERNAL REFERRALS

External Referral	Response
Sydney Water	Support with conditions attached to this report.

The DA was referred to Sydney Water as there is an existing Sydney Water easement within the north-eastern portion of the site. Sydney Water raised no concerns, subject to the imposition of recommended conditions of consent.

FINANCIAL IMPLICATIONS

This matter has no direct financial implications for Council.

CONCLUSION

The DA has been assessed in accordance with Section 4.15(1) of the *Environmental Planning and Assessment Act, 1979* and all relevant instruments, plans and policies. The DA is recommended for approval subject to the conditions attached to this report.

RECOMMENDED

That the Panel approve DA/2022/1089/1 for the construction of 8 x 2 storey townhouses including strata subdivision, demolition of existing structures, tree removal, lot consolidation and associated site works at 40 & 42 Macquarie Avenue and 16 Old Hume Highway, Camden subject to the conditions attached to this report for the following reasons:

1. **The development is consistent with the objectives and controls of the applicable environmental planning instruments, being Camden Local**

Environmental Plan 2010, State Environmental Planning Policy (Resilience and Hazards) 2021, State Environmental Planning Policy (Biodiversity and Conservation) 2021 and State Environmental Planning Policy (BASIX) 2004.

2. The development is consistent with the objectives of the Camden Development Control Plan 2019.
3. The development is considered to be of an appropriate scale and form for the site and the character of the locality.
4. Subject to the recommended conditions, the development is unlikely to have any unreasonable adverse impacts on the natural or built environment.
5. In consideration of the aforementioned reasons, the development is a suitable and planned use of the site and its approval is in the public interest.

ATTACHMENTS

1. Recommended Conditions
2. Camden LEP Assessment Table
3. Camden DCP Assessment Table
4. Combined Submissions (First Notification) - *Supporting Document*
5. Combined Submissions (Second Notification) - *Supporting Document*
6. Public Exhibition Submission Map - *Supporting Document*
7. Architectural Plans

RECOMMENDED CONDITIONS**1.0 - General Conditions of Consent**

The following conditions of consent are general conditions applying to the development.

- (1) **Approved Plans and Documents** – The development must be carried out in accordance with the following plans and documents, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
Job No. 21443, Drawing No. A0000, Issue I	Cover Sheet & Development Calculations	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A0001, Issue I	Existing Site & Demolition Plan	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A0002, Issue I	Proposed Site Plan	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A0003, Issue I	Proposed Cut & Fill, Waste & Site Management Plan	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A0005, Issue I	Proposed Concept Strata Subdivision Plan	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A1101, Issue I	Proposed Ground Floor Plan	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A1102, Issue I	Proposed First Floor Plan	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A1103, Issue I	Proposed Attic Floor	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A1104, Issue I	Proposed Roof Plan	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A2001, Issue I	Elevations	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A2002, Issue I	Elevations 2	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A3001, Issue I	Sections	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A3002, Issue I	Sections 2 and Driveway Sections	Ark Express Architects + Planners	16.08.23

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Attachment 1

Job No. 21443, Drawing No. A6001, Issue I	Streetscape & Typ. Fence Detail	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A7001, Issue I	Perspectives & External Finishes Schedule	Ark Express Architects + Planners	16.08.23
Job No. 21443, Drawing No. A9001, Issue I	Window & Door Schedule	Ark Express Architects + Planners	16.08.23
Project No. 21192, Drawing No. 000, Rev. E	Cover Sheet, Notes & Drawing Index	MBR Consulting Engineers	16.08.23
Project No. 21192, Drawing No. 101, Rev. E	Stormwater Concept Plan Ground	MBR Consulting Engineers	16.08.23
Project No. 21192, Drawing No. 102, Rev. E	Sediment & Erosion Control Plan	MBR Consulting Engineers	16.08.23
Project No. 21192, Drawing No. 103, Rev. E	OSD & WSUD Details & Calculation Sheets Sheet 1 of 3	MBR Consulting Engineers	16.08.23
Project No. 21192, Drawing No. 104, Rev. E	OSD & WSUD Details & Calculation Sheets Sheet 2 of 3	MBR Consulting Engineers	16.08.23
Project No. 21192, Drawing No. 105, Rev. E	OSD & WSUD Details & Calculation Sheets Sheet 3 of 3	MBR Consulting Engineers	16.08.23
Project No. 21192, Drawing No. 106, Rev. E	Miscellaneous Details Sheet	MBR Consulting Engineers	16.08.23
Project No. 22 02001, Drawing No. L-01, Rev. E	40-42 Macquarie Ave Camden Landscape Plan	Sussan Zindo Landscape Architect	11.07.23
Project No. 22 02001, Drawing No. L-02, Rev. E	40-42 Macquarie Ave Camden Landscape Plan	Sussan Zindo Landscape Architect	11.07.23

Document Title	Prepared by	Date
BASIX Certificate Number: 1276601M_03	Energy Rating Group	09 June 2023
Acoustical Report Project number 4176 Version 1	Koikas Acoustics Pty Ltd	11 July 2023
Arboricultural Assessment and Tree Protection Plan Version 2.0	Vertical Tree Management & Consultancy Pty Ltd	11 February 2022

- (2) **Requirements of State Authorities** – The requirements from state authorities shall be complied with prior to, during, and at the completion of the development. The requirements are:
- (1) Letter and attachments from Sydney Water, dated 23 January 2023.
- (3) **BASIX Certificate** - The applicant shall undertake the development strictly in accordance with the commitments listed in the approved BASIX certificate(s) for the development to which this development consent applies.
- (4) **National Construction Code - Building Code of Australia (BCA)** - All building work shall be carried out in accordance with the BCA as in force on the relevant date. In this condition the relevant date has the same meaning as in section 19 of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*.
- (5) **Home Building Act** - Pursuant to Section 4.17(11) of the *EP&A Act 1979*, residential building work within the meaning of the *Home Building Act 1989* shall not be carried out unless the principal certifier for the development to which the work relates has given Council written notice of the following:
- a) for work that requires a principal contractor to be appointed:
 - i. the name and licence number of the principal contractor, and
 - ii. the name of the insurer of the work under Part 6 of the *Home Building Act 1989*,
 - b) for work to be carried out by an owner-builder:
 - i. the name of the owner-builder, and
 - ii. if the owner-builder is required to hold an owner-builder permit under the *Home Building Act 1989*, the number of the owner-builder permit.
- If the above information is no longer correct, further work must not be carried out unless the principal certifier has given Council written notice of the updated information.
- (6) **Home Building Act - Insurance** - Building work that involves residential building work within the meaning of the *Home Building Act 1989* shall not commence until such time as a contract of insurance is in force in accordance with Part 6 of that Act.
- This requirement does not apply:
- a) to the extent to which an exemption is in force under the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*, or
 - b) to the erection of a temporary structure, other than a temporary structure to which subsection (3) of Section 69 of the *Environmental Planning and Assessment Regulation 2021* applies.
- (7) **Shoring and Adequacy of Adjoining Property** - If the approved development involves excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, including a structure or work in a road rail

corridor, the person having the benefit of the development consent must, at the person's own expense:

- a) protect and support the building, structure or work on adjoining land from possible damage from the excavation, and
- b) if necessary, underpin the building, structure or work on adjoining land to prevent damage from the excavation.

This condition does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land gives written consent to the condition not applying.

A copy of the written consent must be provided to the principal certifier prior to the excavation commencing.

- (8) **Engineering Specifications** - The entire development shall be designed and constructed in accordance with Council's Engineering Specifications.
- (9) **Protect Existing Vegetation and Natural Landscape Features** - Approval must be sought from Council prior to the removal, pruning, impact upon or any disturbance of the existing vegetation and natural landscape features, other than any existing vegetation and/or natural landscape feature authorised for removal, pruning, impact upon or disturbance by this development consent.

The following procedures shall be strictly observed:

- a) no additional works or access/parking routes, transecting the protected vegetation shall be undertaken without Council approval; and
- b) pedestrian and vehicular access within and through the protected vegetation shall be restricted to Council approved access routes.

The protection of existing trees and other landscape features, other than any existing trees and natural landscape features authorised for removal, pruning, impact upon or disturbance by this Consent, must be carried out as specified in the Australian Standard AS 4970-2009 Protection of Trees on Development Sites.

All initial procedures for the protection of existing trees and landscape features, as detailed in AS 4970-2009, must be installed prior to the commencement of any earthworks, demolition, excavation or construction works on the Development site.

The works and procedures involved with the protection of existing trees and other landscape features, are to be carried out by suitable qualified and experienced persons or organisations. This work should only be carried out by a fully insured and qualified Arborist.

Suitable qualifications for an Arborist are to be a minimum standard of Australian Qualification Framework (AQF) Level 3 in Arboriculture for the actual carrying out of tree works and AQF Level 5 in Arboriculture for Hazard, Tree Health and Risk Assessments and Reports.

- (10) **Noxious Weeds Management** - Weed dispersion must be minimised and weed infestations must be managed during all stages of the development. Any noxious or environmentally invasive weed infestations that occur during or after works must be

fully and continuously suppressed and destroyed by appropriate means. New infestations must be reported to Council.

Pursuant to the *Biosecurity Act 2015* and the *Biosecurity Regulation 2017*, the applicant must at all times ensure that any machinery, vehicles or other equipment entering or leaving the site are clean and free from any noxious weed material to prevent the spread of all weeds to or from the property.

Earth moved containing noxious weed material must be disposed of at an approved waste management facility and be transported in compliance with the *Biosecurity Act 2015* and the *Biosecurity Regulation 2017*.

- (11) **Infrastructure in Road and Footpath Areas** – Infrastructure must not be removed and/or reconstructed without prior written approval from Council. Any costs incurred due to the relocation, restoration or reconstruction of pram ramps, footpath, light poles, kerb inlet pits, service provider pits, street trees or other infrastructure in the street footpath area for the proposed development shall be borne by the applicant, and not Council.

Note. The issue of this development consent does not imply concurrence or approval of any required public infrastructure work associated with the development.

- (12) **Tree Removal** - The trees identified below as shown in Table 3 of the approved Arboricultural Assessment and Tree Protection Plan Version 2.0, prepared by Derek Arnaiz and dated 11 February 2022 are approved for removal:

- a) Tree numbers: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 14, 15, 16, 17, 20 and 21.

This work should only be carried out by a fully insured and qualified Arborist. Suitable qualifications for an Arborist are to be a minimum standard of Australian Qualification Framework (AQF) Level 3 in Arboriculture for the actual carrying out of tree works and AQF Level 5 in Arboriculture for Hazard, Tree Health and Risk Assessments and Reports.

Where possible all green waste generated from the approved tree work is to be recycled into mulch or composted at a designated facility. All reasonable measures must be taken to protect the remaining vegetation on the site from damage during the approved tree works.

The issuing of this Consent is conditioned upon the planting and maintenance of suitable replacement trees as a means to achieve a "No Nett Loss" approach to vegetation management. The plantings are to be installed on the subject property within six (6) months of the removal/s authorised by this consent.

- (13) **Street Tree Establishment and Maintenance Period** - For a period of 12 months commencing from the installation date of the street trees and their protective guards, the applicant will be responsible for their successful establishment.

At the completion of the 12-month establishment and maintenance period all street trees plantings must have signs of healthy and vigorous growth and all protective guards must be in an undamaged, safe and functional condition.

2.0 - Prior to Issue of a Construction Certificate

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Performance Bond** - The applicant is to lodge a bond with Council to provide security for works undertaken within the existing public domain in accordance with Council's Development Infrastructure Bonds Policy.

Note. Fees are payable for the lodgement and refund of the bond.

- (2) **Structural Engineer's Details** - The piers/slabs/footings/structural elements shall be designed and certified by a suitably qualified structural engineer and shall take into consideration the recommendations of any geotechnical report applicable to the site. A statement to that effect shall be provided to the accredited certifier, including a current copy of the Structural Engineer's Professional Indemnity Insurance.

- (3) **Driveway Gradients and Design** – The design of all driveways shall comply with AS 2890.1-2004 'Off street car parking' and:

- a) the driveway shall comply with Council's Access Driveway Specifications; <https://www.camden.nsw.gov.au/assets/pdfs/Development/Preparing-a-DA/Development-Guidelines-and-policies/Access-Driveways-Specifications-and-Drawings.pdf> or Council's [Heavy Duty Industrial Commercial Vehicle Crossing](#).
- b) the driveway shall be at least 1m from any street tree, stormwater pit or service infrastructure;
- c) the level for the driveway across the footpath area shall achieve a gradient of 4%; and
- d) a Driveway Crossing Approval (PRA) must be obtained prior to the issue of a Construction Certificate.

Details demonstrating compliance shall be provided to the accredited certifier prior to issue of a Construction Certificate.

- (4) **Civil Engineering Plans** - Civil engineering plans indicating drainage, roads, accessways, earthworks, pavement design, details of line-marking, traffic management, water quality and quantity facilities including stormwater detention and disposal, shall be prepared in accordance with the approved plans and Council's Engineering Design and Construction Specifications. Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.

A stormwater plan is to be submitted to the certifier prior to the augmentation of the existing drainage system to accommodate drainage from the approved development and to protect other property to the satisfaction of the certifier.

Note. Under the *Roads Act 1993*, only the Roads Authority can approve commencement of works within an existing road reserve.

- (5) **Soil, Erosion, Sediment and Water Management** - An erosion and sediment control plan shall be prepared in accordance with 'Managing Urban Stormwater – Soils and

Construction ('the blue book'). Details demonstrating compliance shall be provided to the certifier with the Construction Certificate application.

- (6) **Works in Road Reserves** - Where any works are proposed in a public road reservation, the relevant Public Road Activity Approval (Road Works Application, Road Opening Permit and/or Road Occupancy Permit) shall be obtained from Council in accordance with Section 138 of the *Roads Act 1993*.
- (7) **Detailed Landscape Plan** - A detailed landscape plan must be prepared in accordance with Appendix B of Camden Development Control Plan 2019. Details demonstrating compliance must be provided to the certifier.

The detailed landscape plan must also include:

- a) An additional four street trees shall be added to the Old Hume Highway frontage to soften the built form. Species must consist of *Lagerstroemia indica* 'Tuscarora' or 'Natchez'.
- b) Replacement of the four (4) *Prunus cerasifera* 'Nigra' along the Macquarie Avenue frontage. The replacement must be replaced with *Jacaranda mimosifolia* to be consistent with the neighbouring property streetscape.
- c) Trees must be True to type, healthy and free from any active pests or diseases, the crown is to be symmetrical and has not suffered any significant injury that will impact growth habit.
- d) Trees must have a clean stem height that is less than 40% of total tree height and that branches are smaller than the stem.
- e) All trees to be minimum 100 litre container size.
- f) 0.8m minimum offset from centre of tree to rear of kerb.
- g) Trees to be minimum 2m from driveways.
- h) Street trees not to be positioned beneath street lighting or adjacent to stormwater inlets.
- i) Landscaping shall incorporate relevant ESD and WSUD principals into the tree pits.

All tree stock shall be compliant with AS2303-2018, with certification to be provided to the principal certifier by the grower.

Installation of street trees to be in accordance with Council's Engineering Design Specifications including root barrier installed 450-600 mm deep by minimum of 1.5m wide, installed between tree and kerb and/ footpaths (where applicable).

- (8) **Fibre-Ready Facilities/Telecommunications Infrastructure** – Documentary evidence must be provided to the certifier demonstrating that satisfactory arrangements have been made for:
- a) the installation of fibre-ready facilities to all individual lots and/or premises in a real estate development project so as to enable fibre to be readily connected to

any premises that is being or may be constructed on those lots. The carrier must confirm in writing that they are satisfied that the fibre-ready facilities are fit for purpose; and

- b) the provision of fixed-line telecommunications infrastructure in the fibre-ready facilities to all individual lots and/or premises in a real estate development project demonstrated through an agreement with a carrier.

This condition does not apply where an applicable exemption exists under Commonwealth law. Documentary evidence of any exemption relied upon must be provided to the certifier.

- (9) **Damages Bond** - The applicant is to lodge a bond with Council to ensure any damage to existing public infrastructure is rectified in accordance with Council's Development Infrastructure Bonds Policy.

Note. A fee is payable for the lodgement of the bond.

- (10) **Long Service Levy** - In accordance with the *Building and Construction Industry Long Service Payments Act 1986*, the applicant shall pay a long service levy at the prescribed rate to either the Long Service Payments Corporation or Council. This applies to building and construction works with a cost of \$250,000 or more.
- (11) **Section 7.11 Contributions – Monetary** - A contribution pursuant to the provisions of Section 7.11 of the *EP&A Act 1979* for the services and amounts detailed below.

Plan Name	Contribution Type	Indexed Rate	Amount Payable
<i>Camden Contributions Plan 2011</i>	<i>Open Space Land Acquisition</i>	\$12,848 per dwelling	\$73,110.00
<i>Camden Contributions Plan 2011</i>	<i>Community Land Acquisition</i>	\$82 per dwelling	\$468.00
<i>Camden Contributions Plan 2011</i>	<i>Recreation and Community Facilities, Volunteer Emergency Services Facilities and Plan Preparation and Administration Services</i>	\$8,160 per dwelling	\$46,422.00
TOTAL CASH CONTRIBUTIONS			\$120,000.00

A copy of the Section 7.11 Contributions Plan may be inspected at Council's Camden office at 70 Central Avenue Oran Park or can be accessed on Council's website at www.camden.nsw.gov.au.

The amount of contribution payable under this condition has been calculated at the date of consent. In accordance with the provisions of the Contributions Plan, this

amount shall be indexed at the time of actual payment in accordance with the applicable Index.

- (12) **Information for Construction Certificate** - The following information shall be provided to the certifier with the Construction Certificate application:
- a) Proposed kerb outlet is to be in line with Camden Council's Engineering Specifications and Standard Drawing SD26.
- (13) **Stormwater Detention and Water Quality** - An on-site detention system and water quality system shall be provided for the site and designed in accordance with Council's Engineering Specifications. Where a Construction Certificate is required by this development consent, a detailed on-site detention and water quality report reflecting the Construction Certificate plans shall be provided to the certifier with the Construction Certificate application.
- (14) **Detailed Waste Management Plan** - A detailed waste management plan (for demolition and construction phase of the project) must be prepared in accordance with Council's Waste Management Guideline. Details demonstrating compliance must be provided to the certifier.
- (15) **Lot Consolidation** - Lots 11 and 12 of DP 589227 are to be consolidated. A copy of the registered plan of consolidation shall be provided to the principal certifier.
- (16) **Registration of DA/2021/1404/1** - A construction certificate for this development is not to be issued until such time that the Subdivision Certificate as approved by DA/2021/1404/1 is completed and registered by the NSW Land Registry Service. Satisfactory evidence of this registration is to be provided to the certifying authority.

3.0 - Prior to Commencement of Works

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Public Liability Insurance** - The owner or contractor shall take out a Public Liability Insurance Policy with a minimum cover of \$20 million in relation to the occupation of, and works within, public property (i.e. kerbs, gutters, footpaths, walkways, reserves, etc) for the full duration of the proposed works. Evidence of this Policy shall be provided to Council and the certifier.
- (2) **Notice of Principal Certifier** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*. The notice shall include:
 - a) a description of the work to be carried out;
 - b) the address of the land on which the work is to be carried out;
 - c) the registered number and date of issue of the relevant development consent;
 - d) the name and address of the principal certifier, and of the person by whom the principal certifier was appointed;

- e) the certifier's registration number, and a statement signed by the certifier consenting to being appointed as principal certifier; and
 - f) a telephone number on which the principal certifier may be contacted for business purposes.
- (3) **Notice of Commencement of Work** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021*. The notice shall include:
- a) the name and address of the person by whom the notice is being given;
 - b) a description of the work to be carried out;
 - c) the address of the land on which the work is to be carried out;
 - d) the registered number and date of issue of the relevant development consent and construction certificate;
 - e) a statement signed by or on behalf of the principal certifier (only where no principal certifier is required) to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and
 - f) the date on which the work is intended to commence.
- (4) **Construction Certificate Required** - In accordance with the requirements of the *EP&A Act 1979*, building or subdivision works approved by this consent shall not commence until the following has been satisfied:
- a) a Construction Certificate has been issued by a certifier;
 - b) a principal certifier has been appointed by the person having benefit of the development consent;
 - c) if Council is not the principal certifier, Council is notified of the appointed principal certifier at least two (2) days before building work commences;
 - d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and
 - e) the principal certifier is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
- (5) **Sign of Principal Certifier and Contact Details** - A sign shall be erected in a prominent position on the site stating the following:
- a) that unauthorised entry to the work site is prohibited,
 - b) the name of the principal contractor, if any, for the building work and a telephone number on which the principal contractor may be contacted outside working hours, and

- c) the name, address and telephone number of the principal certifier for the work.

The sign must be maintained while the work is being carried out and removed when the work has been completed.

- (6) **Site is to be Secured** - The site shall be secured and fenced.
- (7) **Sydney Water Approval** – The approved construction certificate plans must also be approved by Sydney Water to determine if sewer, water or stormwater mains or easements will be affected by any part of the development. Go to www.sydneywater.com/tapin to apply.

A copy of the approval receipt from Sydney Water must be submitted to the principal certifier.

- (8) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book') and any Sediment and Erosion plans approved with this development consent.
- (9) **Dilapidation Report – Council Property** - A dilapidation report prepared by a suitably qualified person, including a photographic survey of existing public roads, kerbs, footpaths, drainage structures, street trees and any other existing public infrastructure within the immediate area of the site shall be prepared. The report must be submitted to the principal certifier and Council at least 2 days prior to the commencement of works.

Should any public property or the environment sustain damage during the course of and as a result of construction, or if the construction works put Council's assets or the environment at risk, Council may carry out any works necessary to repair the damage or remove the risk. The costs incurred will be deducted from the applicant's damages bond.

- (10) **Traffic Management Plan** - A traffic management plan shall be prepared in accordance with Council's Engineering Specifications and AS 1742.3. The plan must be submitted to the principal certifier.
- (11) **Construction Management Plan** - A construction management plan that includes dust, soil and sediment and traffic management, prepared in accordance with Council's Engineering Design Specification, shall be provided to the principal certifier.
- (12) **Environmental Management Plan** - An environmental management plan (EMP) prepared in accordance with Council's Engineering Design Specification shall be provided to the principal certifier.

The EMP shall address the manner in which site operations are to be conducted and monitored to ensure that adjoining land uses and the natural environment are not unacceptably impacted upon by the proposal. The EMP shall include but not be necessarily limited to the following measures:

- a) measures to control noise emissions from the site;
- b) measures to suppress odours and dust emissions;
- c) soil and sediment control measures;

- d) measures to control air emissions that includes odour;
 - e) measures and procedures for the removal of hazardous materials that includes waste and their disposal;
 - f) any other recognised environmental impact;
 - g) work, health and safety; and
 - h) community consultation.
- (13) **Protection of Existing Street Trees** - No existing nature strip, street tree, tree guard, protective bollard, garden bed surrounds or root barrier installation shall be disturbed, relocated, removed or damaged during earthworks, demolition, excavation (including any driveway installation), construction, maintenance and/or establishment works applicable to this consent, without Council agreement and/or consent.

The protection methods for existing nature strip, street tree, tree guard, protective bollard, garden bed surrounds or root barrier installation during all works approved by this development consent shall be installed in accordance with AS 4970-2009 Protection of Trees on Development Sites.

- (14) **Protection of Trees to be Retained** - Protection of trees to be retained shall be in accordance with Council's Engineering Specifications. The area beneath the canopies of the tree(s) to be retained shall be fenced. Tree protection signage is required to be attached to each tree protection zone, and displayed in a prominent position.
- (15) **Construction Noise Management Plan** – A construction noise management plan shall be provided to the principal certifier and include the following:
- i) noise mitigation measures;
 - ii) noise and/or vibration monitoring;
 - iii) use of respite periods;
 - iv) complaints handling; and
 - v) community liaison and consultation.
- (16) **Hazardous Building Materials Assessment** - A hazardous building material assessment shall be undertaken on all buildings and structures to be demolished that identifies all hazardous components on site. A HBMA report shall be provided to the principal certifier and Council.

Once hazardous components are identified, all demolition works that involve the demolition and removal of the hazardous materials shall ensure that all site personnel are protected from risk of exposure in accordance with relevant SafeWork NSW requirements and the NSW Government Code of Practice Demolition Work. Premises and occupants on adjoining land shall also be protected from exposure to any hazardous materials.

4.0 - During Works

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Work Hours** - All work (including delivery of materials) shall be:
- restricted to between the hours of 7am to 5pm Monday to Saturday (inclusive), and
 - not carried out on Sundays or public holidays,

unless approved in writing by Council.

- (2) **Excavations and Backfilling** - All excavations and backfilling associated with the approved development must be executed safely and protected to prevent them from being dangerous to life or property, and in accordance with the design of a suitably qualified structural engineer.

If an excavation extends below the level of the base of the footings of a building, structure or work on adjoining land, including a structure or work in a road rail corridor, the person causing the excavation must:

- a) protect and support the building, structure or work on adjoining land from possible damage from the excavation,
- b) if necessary, underpin the building, structure or work on adjoining land to prevent damage from the excavation, and
- c) give at least 7 days notice of the intention to excavate to the owner of the adjoining land before excavating.

The above requirements do not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land gives written consent to the requirements not applying.

The principal contractor, owner builder or any person who needs to excavate and undertake building work, shall contact 'Dial Before You Dig' prior to works commencing, and allow a reasonable period of time for the utilities to provide locations of their underground assets.

- (3) **Stormwater – Collection and Discharge Requirements** - The roof of the subject building(s) shall be provided with guttering and down pipes and all drainage lines, including stormwater drainage lines from other areas and overflows from rainwater tanks, conveyed to the street gutter via the stormwater drainage system which is to be installed as per the approved hydraulic drainage plan.

Connection to the drainage easement or kerb shall only occur at the designated connection point for the allotment. New connections that require the rectification of an easement pipe or kerb shall only occur with the prior approval of Camden Council.

All roofwater shall be connected to the approved roofwater disposal system immediately after the roofing material has been fixed to the framing members. The

principal certifier shall not permit construction works beyond the frame inspection stage until this work has been carried out.

- (4) **Site Management** - The following practices are to be implemented during construction:
- a) stockpiles of topsoil, sand, aggregate, spoil or other material shall be kept clear of any drainage path, easement, natural watercourse, kerb or road surface and shall have measures in place to prevent the movement of such material off site;
 - b) builder's operations such as brick cutting, washing tools, concreting and bricklaying shall be confined to the building allotment. All pollutants from these activities shall be contained on site and disposed of in an appropriate manner;
 - c) waste shall not be burnt or buried on site or any other properties, nor shall wind-blown rubbish be allowed to leave the site. All waste shall be disposed of at a licenced waste disposal facility;
 - d) a waste storage area shall be located on the site;
 - e) all building materials, plant, equipment and waste control containers shall be placed on the building site. Building materials, plant and equipment (including water closets), shall not be placed on public property (footpaths, roadways, public reserves, etc);
 - f) toilet facilities shall be provided at, or in the vicinity of, the work site at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet shall:
 - i) be a standard flushing toilet connected to a public sewer; or
 - ii) have an on-site effluent disposal system approved under the *Local Government Act 1993*; or
 - iii) be a temporary chemical closet approved under the *Local Government Act 1993*.
- (5) **Finished Floor Level** - A survey report prepared by a registered land surveyor confirming that the finished floor level complies with the approved plans or floor levels specified by the development consent, shall be provided to principal certifier prior to the development proceeding beyond floor level stage.
- (6) **Building Height** - A survey report prepared by a registered land surveyor confirming that the building height complies with the approved plans or as specified by the development consent, shall be provided to the principal certifier prior to the development proceeding beyond frame stage.
- (7) **Survey Report** - The building shall be set out by a registered land surveyor. A peg out survey detailing the siting of the building in accordance with the approved plans shall be provided to the principal certifier prior to the pouring of concrete.
- (8) **Traffic Management Plan Implementation** - All traffic management procedures and systems identified in the approved traffic management plan shall be introduced and maintained during construction of the development to ensure safety and to minimise the effect on adjoining pedestrian and traffic systems.

- (9) **Site Signage** - A sign shall be erected at all entrances to the site and be maintained until the development has been completed. The sign shall be constructed of durable materials, be a minimum of 1200mm x 900mm, and read as follows:

"WARNING UP TO \$8,000 FINE. It is illegal to allow soil, cement slurry or other building materials to enter, drain or be pumped into the stormwater system. Camden Council (02 4654 7777) – Solution to Pollution."

The wording shall be a minimum of 120mm high and the remainder a minimum of 60mm high. The warning and fine details shall be in red bold capitals and the remaining words in dark coloured lower case letters on a white background, surrounded by a red border.

- (10) **Vehicles Leaving the Site** - The construction supervisor must ensure that:
- all vehicles transporting material from the site cover such material so as to minimise sediment transfer;
 - the wheels of vehicles leaving the site:
 - do not track soil and other waste material onto any public road adjoining the site; and
 - fully traverse the site's stabilised access point.

- (11) **Fill Compaction** - All fill must be compacted in accordance with Camden Council's current Engineering Design Specifications.

- (12) **Removal of Waste Materials** - Where there is a need to remove any identified materials from the site that contain fill/rubbish/asbestos, the waste material shall be assessed and classified in accordance with the NSW EPA Waste Classification Guidelines 2014 (refer to: www.epa.nsw.gov.au/wasteregulation/classify-guidelines.htm)

Once assessed, the materials shall be disposed of to a licensed waste facility suitable for that particular classification of waste. Copies of tipping dockets shall be retained and supplied to Council upon request.

- (13) **Soil, Erosion, Sediment and Water Management – Implementation** - All requirements of the erosion and sediment control plan and/or soil and water management plan shall be maintained at all times during the works and any measures required by the plan shall not be removed until the site has been stabilised.

- (14) **Noise During Work** - Noise levels emitted during works must comply with:

- (a) Construction period of 4 weeks and under:

The LAeq level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 20 dB(A).

- (b) Construction period greater than 4 weeks and not exceeding 26 weeks:

The LAeq level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 10 dB(A).

(c) Construction period greater than 26 weeks:

The LAeq level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 5 dB(A).

Alternatively, noise levels emitted during works shall be restricted to comply with the NSW Environment Protection Authority Interim Construction Noise Guidelines.

- (15) **Location of Stockpiles** - Stockpiles of soil shall not be located on / near any drainage lines or easements, natural watercourses or water bodies, footpath or roadway without first providing suitable protective measures adequate to protect these water bodies. All stockpiles of contaminated materials shall be suitably covered to prevent dust and odour nuisance.
- (16) **Disposal of Stormwater** - Water seeping into any site excavations is not to be pumped into the stormwater system unless it complies with relevant EPA and ANZECC standards for water quality discharge.
- (17) **Delivery Register** - The applicant must maintain a register of deliveries which includes date, time, truck registration number, quantity of fill, origin of fill and type of fill delivered. This register must be made available to Council officers on request and be provided to the Council at the completion of the development.
- (18) **Fill Material (VENM)** - Prior to the importation and/or placement of any fill material on the subject site, an assessment report and sampling location plan for such material must be provided to and approved by the principal certifier.

The assessment report and associated sampling location plan must:

- a) be prepared by a contaminated land specialist; and
- b) be endorsed by a practising engineer with Specific Area of Practice in Subdivisional Geotechnics; and
- c) be prepared in accordance with;

Virgin Excavated Natural Material (VENM):

- i) the Department of Land and Water Conservation publication "Site investigation for Urban Salinity;" and
- ii) the Department of Environment and Conservation - Contaminated Sites Guidelines "Guidelines for the NSW Site Auditor Scheme (Third Edition) - Soil Investigation Levels for Urban Development Sites in NSW."
- d) confirm that the fill material;
 - i) provides no unacceptable risk to human health and the environment;
 - ii) is free of contaminants;

- iii) has had salinity characteristics identified in the report, specifically the aggressiveness of salts to concrete and steel (refer Department of Land and Water Conservation publication "Site investigation for Urban Salinity");
- iv) is suitable for its intended purpose and land use; and
- v) has been lawfully obtained.

Sampling of VENM for salinity of fill volumes:

- e) less than 6000m³ - 3 sampling locations; and
- f) greater than 6000m³ - 3 sampling locations with 1 extra location for each additional 2000m³ or part thereof.

For e) and f) a minimum of 1 sample from each sampling location must be provided for assessment.

Sampling of VENM for contamination and salinity must be undertaken in accordance with the following table:

Classification of Fill Material	No of Samples Per Volume	Volume of Fill (m ³)
Virgin Excavated Natural Material	1 (see Note)	1000 or part thereof

Note – Where the volume of each fill classification is less than that required above, a minimum of 2 separate samples from different locations must be taken.

- (19) **Offensive Noise, Dust, Odour and Vibration** - All work shall not give rise to offensive noise, dust, odour or vibration as defined in the *Protection of the Environment Operations Act 1997* when measured at the property boundary.
- (20) **Erosion and Sedimentation Control** - Soil erosion and sedimentation controls are required to be maintained for the duration of the works. The controls must be undertaken in accordance with version 4 of the Soils and Construction – Managing Urban Stormwater manual (Blue Book).

Soil erosion and sediment control measures shall only be removed upon completion of the works when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).
- (21) **Protection for Existing Trees** – The protection of existing trees (on-site and street trees) must be carried out as specified by AS 4970 Protection of Trees on Development Sites.
- (22) **Unexpected Finds Contingency (General)** - Should any suspect materials (identified by unusual staining, odour, discolouration or inclusions such as building rubble, asbestos, ash material, etc.) be encountered during any stage of works (including earthworks, site preparation or construction works, etc.), such works shall cease immediately until a certified contaminated land consultant has been contacted and conducted a thorough assessment.

In the event that contamination is identified as a result of this assessment and if remediation is required, all works shall cease in the vicinity of the contamination and Council shall be notified immediately.

Where remediation work is required, the applicant will be required to obtain consent for the remediation works.

(23) **Relics Discovery During Works** – If any relic surviving from the past is uncovered during the work that could have historical significance (but is not an aboriginal object):

- all work must stop immediately in that area;
- Heritage NSW must be advised of the discovery in writing in accordance with Section 146 of the *Heritage Act 1977*, and
- any requirements of Heritage NSW must be implemented.

(24) **Aboriginal Objects Discovered During Works** – If any Aboriginal object (including evidence of habitation or remains) is discovered during the work:

- all excavation or disturbance of the area must stop immediately in that area,
- Heritage NSW must be advised of the discovery in writing in accordance with Section 89A of the *National Parks and Wildlife Act 1974*, and
- any requirements of Heritage NSW must be implemented.

(25) **Seal Up Existing Redundant Laybacks** – All existing redundant laybacks must be sealed up to match the existing concrete gutter on the road.

(26) **Compliance with BCA** - All building work shall be carried out in accordance with the requirements of the BCA.

(27) **Acoustic Barrier** - A 1.8m high noise barrier is to be installed along the perimeter of the private open space fronting Old Hume Highway. The barrier is to be constructed and located in accordance with Section 6.4.1 and Figure 8 of the approved Acoustic report titled Acoustic report, Residential Development, No. 40-42 Macquarie Avenue Camden South, Project number 4176, prepared by Koikas Acoustic, Dated 11 July 2023.

The acoustic barrier must be in accordance with the approved architectural plans with the front fence to consist of a low masonry wall (550mm) with 1.8m columns and infill palisade panels. The palisade panels are to have transparent perspex installed behind to achieve the required acoustic rating.

(28) **Acoustic Treatments for Glazing and Construction** - All acoustic attenuation measures outlined in sections 5.3 and 6.4 of the approved acoustic report titled Acoustic report, Residential Development, No. 40-42 Macquarie Avenue Camden South, Project number 4176, prepared by Koikas Acoustic, Dated 11 July 2023 are to be implemented.

Compliance with this condition is not to result in any changes to the external appearance of the approved development.

- (29) **Salinity Management Plan** - All approved development that includes earthworks, imported fill, landscaping, buildings and associated infrastructure must be carried out or constructed in accordance with the salinity / control measures contained in Council's Engineering Specifications.
- (30) **Arboricultural Requirements by Site Arborist** - Any hold points, supervision of works and non-destructive construction methods within the Tree Protection Zone (TPZ) and Structural Roots Zone (SRZ) of all trees must be in accordance with the Arboricultural Assessment and Tree Protection Plan by Derek Arnaiz Version 2.0.

5.0 - Prior to Issue of an Occupation Certificate

An Occupation Certificate shall be obtained prior to any use or occupation of the development. The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Survey Certificate** - A registered surveyor shall prepare a Survey Certificate to certify that the location of the building in relation to the allotment boundaries complies with the approved plans or as specified by this consent. The Survey Certificate shall be provided to the satisfaction of the principal certifier.
- (2) **Building Height** - A registered surveyor shall certify that the maximum height of the building is consistent with the height in the approved plans and this consent. The certification/verification shall be provided to the satisfaction of the principal certifier.
- (3) **Driveway Crossing Construction** - A footpath crossing (where required) and a driveway crossing shall be constructed in accordance with this development consent and the driveway crossing approval prior to use or occupation of the development.
- (4) **Services** - Certificates and/or relevant documents shall be obtained from the following service providers and provided to the principal certifier:
 - a) Energy supplier - A Notice of Arrangement for the provision of distribution of electricity from Endeavour Energy to service the proposed development;
 - b) Water supplier - A Section 73 Compliance Certificate demonstrating that satisfactory arrangements have been made with a water supply provider to service the proposed development.

The assessment will determine the availability of water and sewer services, which may require extension, adjustment or connection to Sydney Water mains. Sydney Water will assess the development and if required will issue a Notice of Requirements letter detailing all requirements that must be met. Applications can be made either directly to Sydney Water or through a Sydney Water accredited Water Servicing Coordinator (WSC). Go to www.sydneywater.com.au/section73 or phone 1300 082 746 to learn more about applying through an authorised WSC or Sydney Water.

- (5) **Reinstate Verge** - The applicant shall construct and/or reconstruct the unpaved verge area with grass, species and installations approved by Council.
- (6) **Waste Management Plan** - The principal certifier shall ensure that all works have been completed in accordance with the approved waste management plan referred to in this development consent.

- (7) **Completion of Landscape Works** - All landscape works, including the removal of noxious weed species, are to be undertaken in accordance with the approved landscape plan and conditions of this development consent.
- (8) **Inspection of Existing Street Trees** – All existing street trees must be inspected by Council to ensure that they are undamaged and in a healthy condition.
- (9) **House Numbering** – The dwellings on the site (existing and approved, primary and secondary) must be readily identifiable from the street by displaying their Council allocated house numbers. The allocated house numbers will be in accordance with the current Geographical Names Board of NSW Address Policy. E-mail Council at lis.mailbox@camden.nsw.gov.au to obtain the allocated house numbers. Any alternative numbering of the dwellings is not permitted.
- (10) **Stormwater – Plan of Management (POM)** - The registered proprietor of the land shall prepare a Plan of Management (POM) for the on-site detention facilities. The POM shall set out all design and operational parameters for the detention facilities including design levels, hydrology and hydraulics, inspection and maintenance requirements, and time intervals for such inspection and maintenance. The POM shall be provided to the principal certifier for approval.
- (11) **Completion of Road Works** - All approved road, footpath and/or drainage works, including vehicle crossings, have been completed in the road reserve in accordance with the *Roads Act* Approval.
- (12) **Compliance with Acoustic Requirements** - Documentary evidence shall be provided to the principal certifier confirming the building/s has been constructed in accordance with the approved acoustic report "Proposed Residential Development, No. 40-42 Macquarie Avenue, Camden South" Project number 4176, prepared by Koikas Acoustics, dated 11 July 2023.
- (13) **Arboricultural Requirements by Site Arborist** - The Site Arborist must provide certification that all works within the TPZ and SRZ were in accordance with the Arboricultural Assessment and Tree Protection Plan by Derek Arnaiz Version 2.0.
- (14) **Surveyor's Report** - Prior to the issue of the Occupation Certificate a certificate from a registered surveyor must be provided to the principal certifier, certifying that all drainage lines have been laid within their proposed easements. Certification is also to be provided stating that no services or accessways encroach over the proposed boundary other than as provided for by easements as created by the final plan of subdivision.
- (15) **Fibre-Ready Facilities/Telecommunications Infrastructure** – Documentary evidence must be provided to the principal certifier demonstrating that satisfactory arrangements have been made for:
 - a) the installation of fibre-ready facilities to all individual lots and/or premises in a real estate development project so as to enable fibre to be readily connected to any premises that is being or may be constructed on those lots. The carrier must confirm in writing that they are satisfied that the fibre-ready facilities are fit for purpose; and
 - b) the provision of fixed-line telecommunications infrastructure in the fibre-ready facilities to all individual lots and/or premises in a real estate development project demonstrated through an agreement with a carrier.

This condition does not apply where an applicable exemption exists under Commonwealth law. Documentary evidence of any exemption relied upon must be provided to the principal certifier.

- (16) **Works As Executed Plan** - Works As Executed Plans shall be prepared and provided in accordance with Council's Engineering Specifications.

Digital data must be in AutoCAD .dwg or .dxf format, and the data projection coordinate must be in (GDA94.MGA zone 56).

The works-as-executed survey of the on-site detention facility shall be undertaken by a registered surveyor and confirm that all components have been installed and that the volume of storage has been achieved.

- (17) **Water Quality Facility** - A water quality facility must be constructed for the site in accordance with the approved plans and Council's Engineering Specifications.

- (18) **Water Quality Facility Operation, Maintenance and Monitoring Manual/s** - Operation, Maintenance and Monitoring Manual/s ('Manuals') for the permanent water quality facility shall be provided for approval to the principal certifier. The Manuals shall be prepared by a suitably qualified person in accordance with Council's Engineering Specifications.

- (19) **Positive Covenant – On Site Retention / Water Quality Facility** - A positive covenant shall be created under Section 88E of the *Conveyancing Act 1919* burdening the owner(s) with a requirement to maintain the on-site detention (OSD), water quality facility (WQF) and on-site retention (OSR)/re-use facilities on the property, prior to the issue of an Occupation Certificate.

The terms of the Section 88E instrument with positive covenant shall include the following:

- a) the Proprietor of the property shall be responsible for maintaining and keeping clear all pits, pipelines, trench barriers and other structures.
- b) The proprietor shall have the facilities inspected by a competent person in accordance with the frequency on the approved maintenance schedule.
- c) the Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean, repair and maintain in good working order the facilities.
- d) The registered proprietor shall indemnify the Council and any adjoining land-owners against damage to their land arising from the failure of any component of the OSD, WQF and OSR, or failure to clean, maintain and repair the OSD, WQF and OSR.
- e) The Council may recover as a liquidated debt the cost of such remedial work from the proprietor forthwith upon demand.

The proprietor or successor shall bear all costs associated in the preparation of the subject Section 88E instrument. Proof of registration with NSW Land Registry Services shall be provided to and approved by the PCA prior to the issue of an Occupation Certificate.

- (20) **Section 88B Instrument** - The applicant shall prepare a Section 88B Instrument for approval by the principal certifier which incorporates the following easements, positive covenants and restrictions to user where necessary:
- a) easement for services;
 - b) easement to drain water and drainage easement/s over overland flow paths, no alteration to surface levels of the site of the easement shall be permitted;
 - c) easement for on-site stormwater detention;
 - d) positive covenant over the on-site stormwater detention for the maintenance, repair and insurance of such a facility;
 - e) positive covenant over the water quality facility for the maintenance, repair and insurance of such a facility;
 - f) easement for water quality facility;
 - g) positive covenant for maintenance of retaining walls benefitting Council;
 - h) restriction as to user over lots which stipulates that footings shall be designed by a suitably qualified civil and/or structural engineer.

6.0 - Prior to Issue of a Strata Plan

The following conditions of consent shall be complied with prior to the issue of a Strata Plan.

- (1) **Strata Plan of Subdivision** - Sections 37 and 37A of the *Strata Schemes (Freehold Development) Act 1973* require an application to be provided to Council or a principal certifier for approval prior to the issue of the certified strata plan of subdivision.

The applicant will be required to submit documentary evidence that the property has been developed in accordance with the plans approved by this development consent 2022/1089/1, and of compliance with the relevant conditions of consent, prior to the issuing of a Strata Plan of Subdivision.

Note: The final strata plan of subdivision shall be prepared to a quality suitable for lodgement with the NSW Land Registry Services.

- (2) **Restriction on Issue of Strata Plan of Subdivision** - Prior to the issue of any strata plan of subdivision associated with this development consent, an Occupation Certificate for the building must be issued by the principal certifier. Documentary evidence of the issue of the Occupation Certificate shall be provided with the application for the strata plan of subdivision.
- (3) **Show Easements/ Restrictions On The Plan Of Subdivision** - The developer shall acknowledge all existing easements and/or restrictions on the use of the land on the final plan of subdivision.
- (4) **Burdened Lots To Be Identified** - Any lots subsequently identified during the subdivision as requiring restrictions shall also be suitably burdened.

7.0 - Ongoing Use

The following conditions of consent are operational conditions applying to the development.

- (1) **Landscaping Maintenance Establishment Period** - Commencing from the date of practical completion, the applicant will have the responsibility to establish and maintain all hard and soft landscaping elements associated with this consent.

The 12 month maintenance and establishment period includes the applicant's responsibility for the establishment, care and repair of all landscaping elements including all street tree installations, plantings, lawn and hardscape elements including paths, walls, bins, seats, BBQs, shelters, playground equipment and soft fall treatments.

The date of practical completion is taken to mean completion of all civil works, soil preparation and treatment and initial weed control, and completion of all planting, turf installation, street tree installation and mulching.

At the completion of the 12 month landscaping maintenance and establishment period, all hard and soft landscaping elements (including any nature strip and road verge areas, street trees, street tree protective guards and bollards, etc) shall be in an undamaged, safe and functional condition and all plantings have signs of healthy and vigorous growth.

At the completion of the maintenance and establishment period, the landscaping works shall comply with the approved landscape plans and all improvements be in full working order.

- (2) **Maintenance of Landscaping** - Landscaping shall be maintained in accordance with the approved landscape plan.

Camden Local Environmental Plan 2010 (Camden LEP) Assessment Table

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Attachment 2

Clause	Assessment	Compliance?
2.6 Subdivision – consent requirements Development consent is required to subdivide land (unless the subdivision is exempt or complying development under another environmental planning instrument).	Strata title subdivision consent is sought.	Yes.
2.7 Demolition requires development consent Development consent is required to demolish a building or work (unless the demolition is exempt or complying development under another environmental planning instrument).	The DA seeks consent for the demolition of existing structures in accordance with the submitted plans and documents.	Yes.
4.1E Minimum lot sizes and special provisions for multi dwelling housing On land zoned: <ul style="list-style-type: none"> • R1 General Residential, • R3 Medium Density Residential, • B4 Mixed Use, development consent may be granted for multi dwelling housing only if the size of the lot is at least 1,500m ² . Development consent may be granted for multi dwelling housing only if the width of the lot at the front building line is at least 25m.	The total consolidated lot size is 2,209.8m ² . The width of the lot at the front building line is 45.7m.	Yes.
4.3 Height of buildings Maximum building heights must not exceed the maximum building height shown on the Height of Buildings Map. The maximum building height for this site is 9.5m.	The maximum proposed building height is 8.745m.	Yes.
7.4 Earthworks Before granting development consent for earthworks the consent authority must consider the following matters: <ul style="list-style-type: none"> (a) the likely disruption of, or any detrimental effect on, existing drainage patterns and soil stability in the locality, (b) the effect of the proposed development on the likely future use or redevelopment of the land, (c) the quality of the fill or the soil to be excavated, or both, 	Maximum fill of 494mm and maximum cut of 887mm is required to achieve the building platform. Proposed cut and fill is minimised and complies with the controls prescribed within the Camden DCP. Conditions have been recommended to ensure adverse impacts on neighbouring properties as well as the broader LGA are minimized during construction works.	Yes.

Camden Local Environmental Plan 2010 (Camden LEP) Assessment Table

Clause	Assessment	Compliance?
(d) the effect of the proposed development on the existing and likely amenity of adjoining properties, (e) the source of any fill material and the destination of any excavated material, (f) the likelihood of disturbing relics, (g) the proximity to and potential for adverse impacts on any watercourse, drinking water catchment or environmentally sensitive area.		

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Camden Development Control Plan 2019			
Section	Control	Assessment	Compliance
2.1 Earthworks	(1) Building work should be designed to respond to the natural topography of the site wherever possible, minimising the extent of cut and fill.	Maximum fill of 494mm and maximum cut of 887mm is required to achieve building platform. Accordingly, the building work is considered to be responsive to the existing natural topography.	Yes
	(1) All retaining walls are to be of masonry construction (or the like).	All retaining walls will be of masonry construction.	Yes
	(2) All retaining walls proposed are to be identified in the development application.	Retaining walls are indicated on the civil stormwater plans together with spot RL levels.	Yes
	(3) All retaining walls to be max height 1m	All retaining walls are less than 1m in height.	Yes
	(5) Retaining walls may be built on the boundary provided that a section 88B instrument is created on the affected lots to support the walls. Retaining walls are to be designed and constructed to allow for installation of boundary fencing without impact on the structural soundness of the retaining wall and its footings.	No retaining walls are proposed along property boundaries.	Yes
	(1) All land forming operations should involve the use of clean fill (also known as Virgin Excavated Natural Material or 'VENM'). The VENM must also meet the same salinity characteristics of the receiving land. Council may consider alternatives to VENM on merit.	Conditions of consent are recommended requiring the use and certification of VENM and ENM.	Yes
2.2 Salinity Management	(3) All development must incorporate Salinity Management measures.	All works are to be in accordance with salinity and control measures contained in Council's Engineering Specifications.	Yes
	(4) All sediment and erosion controls are to be installed prior to the commencement of any works.	A standard condition of consent has been recommended requiring sediment and erosion control measures to be installed.	Yes
2.3 Water Management	(1) Development must demonstrate compliance with Council's Engineering	The proposed development has been reviewed against Council's Engineering	Yes

	Specifications including requirements for detention, drainage and water sensitive urban design.	Specifications by Council Engineers and is satisfactory, subject to conditions.	
2.4 Trees and Vegetation	(1) A person must not cut down, fell, uproot, kill, poison, ringbark, burn or otherwise destroy a tree or vegetation without approval from Council authorising such works.	The proposed development seeks consent for tree removal.	Yes
	(2) If the Council receives an application to remove a tree, it must notify adjoining land owners in accordance with Part 1 of this DCP if, in Council's opinion, it may significantly impact on local amenity.	The development application has been notified to adjoining landowners in accordance with the Camden Community Participation Plan 2021.	Yes
	(4) Council must not grant an approval unless it has taken into consideration subpoints from this section.	Considerations outlined by subpoints (A) – (I) have been considered as demonstrated in greater detail throughout this assessment table, technical documents and discussions contained within body of the report.	Yes
	(5) If an approval is granted for the removal of a tree or vegetation, up to four (4) replacement trees are required to be planted for every tree removed.	The development proposes the removal of 18 trees. Of the 18 trees, three are exempt species which do not require consent to be removed.	Yes
2.9 Contamination and Potentially Contaminated Land Management	(1) SEPP 55 Assessment must be considered.	SEPP 55 (now Chapter 4 – SEPP Resilience and Hazards) has been considered.	Yes
	(2) If contamination is present on the land, Council must consider whether the proposed land use is suitable or, if not suitable, can the land be made suitable following remediation pursuant to SEPP No. 55. Where land is proposed to be remediated, appropriate documentation is to be presented to Council supporting the works to be undertaken to achieve suitability.	The applicant has prepared a Stage 1 preliminary site contamination investigation. The report concludes that the likelihood of contamination is low and that the site is suitable for the proposed development. Council's Specialist Support Environmental Health Officer has reviewed the report and concurs with the findings of the contamination investigation. As such, the consenting authority can be satisfied the land can be made suitable for the proposed development.	Yes

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	(4) All contamination investigations (Stage 1 or 2), remediation (Stage 3) and validation work (Stage 4) must be undertaken by a suitably qualified consultant and in accordance with the protocols of Council's Policy – Management of Contaminated Lands and the NSW EPA Contaminated Sites Guideline Booklets or NEPM (2013 Amended), where relevant.	Stage 1 preliminary site contamination investigation was carried out by suitably qualified consultant in accordance with Councils Policy and relevant standards. Conditions of consent are recommended.	Yes
2.10 Development Near Camden Airport	(3) Buildings within OLS must use materials that have low reflectivity.	The development adopts light, solar-reflective colours and materials palette.	Yes
2.12 Acoustic Amenity	(1) Acoustic reports (where required), must be prepared by a suitably qualified consultant.	An acoustic report prepared by a suitably qualified consultant has been submitted with the DA.	Yes
	(2) Bedrooms, main living areas and principal private open spaces must be located away from noise sources.	Given the orientation of the site and the location of Old Hume Highway to the west, avoidance of bedrooms, living areas and private open spaces from noise sources is not completely avoidable. The application has been supported with an acoustic report and considered by Council's Specialist Support Environmental Health Officer. Acoustic attenuation measures are proposed for glazing and construction and to create a 1.8m high acoustic noise fence adjacent to Old Hume Highway to mitigate noise to principal private open space areas.	Yes
	(3) Noise attenuation measures must not adversely impact upon passive surveillance, active street frontages and energy efficiency.	Acoustic attenuation measures have been integrated into the front fence design adjacent to Old Hume Highway. In combination with landscaping, the proposed front fence design is considered to be appropriate and will not significantly impact upon the streetscape or the public domain.	Yes
2.14 Waste Management	(1) Waste Management Plan to be provided.	A Waste management Plan has been submitted with this development application.	Yes

2.19 Landscape Design	A landscape plan is to be submitted for all development that, in Council's opinion, will significantly alter the existing and intended landscape character of the land.	A landscape plan has been submitted.	Yes
4.2.1 Site Analysis	A site analysis plan must be provided	Site analysis plan provided.	Yes
4.2.2 Cut and Fill	≤1m cut and fill	Maximum fill of 494mm and maximum cut of 887mm is required to achieve building platform.	Yes
	Fill >300mm within 1m of a boundary contained by a drop edge beam	No fill greater than 300mm within 1m of property boundaries is proposed.	Yes
	Drop edge beam ≤1m above existing ground level	Not proposed.	N/A
	Retaining walls and associated infrastructure must be contained within property boundaries	Retaining walls are contained within property boundaries.	Yes
	Height of voids ≤3m (refer to Figure 4-1)	No voids are proposed.	N/A
4.2.3 Streetscape and Architectural Design	Primary street facade must incorporate ≥2 design features	North elevation: - Entry feature. - Balcony.	Yes
	Front facade to feature ≥1 ground floor habitable room with a window facing the street	Front façade features dining rooms with windows fronting the street.	Yes
	Secondary street facade must incorporate ≥2 design features	West elevation: - Balcony. - Dormer windows.	Yes
	≥450mm eaves overhang measured from the fascia board (except for walls built to the boundary)	450mm eaves.	Yes
	Pitch of hipped and gable roof forms on main dwelling between 18° and 30°	18° – 20° Roof pitch of main roof.	Yes
4.2.4 Setbacks (Regular Lots)	≥4.5m front setback	4.5m.	Yes
	2m secondary street setback	4.5m.	Yes
	Garage and carports ≥1m behind the building line and ≥5.5m from the road boundary for both primary and secondary street frontages	Units 1 - 7 garages are located more than 1m behind the building line and are accessible from the internal driveway. Unit 8 garage is directly accessible from Macquarie Avenue and is 1m	Yes

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		behind building line of associated unit.	
	Design features may encroach into the primary street setback $\leq 1.5\text{m}$	Porch encroaches into primary street setback less than 1.5m.	Yes
	$\geq 0.9\text{m}$ side setback	Side setback greater than 0.9m.	Yes
	Walls along side boundaries must be articulated	Walls along side boundaries are articulated.	Yes
	$\geq 4\text{m}$ rear setback for single storey dwellings and building elements	4m.	Yes
	$\geq 6\text{m}$ rear setback for two storey dwellings	Ground – 4m First Floor – 4m <i>The proposed variation is addressed in the main body of the report.</i>	No
	1m rear lane setback (but may be reduced to 0.5m if satisfactory waste collection can be demonstrated)	Not applicable.	N/A
4.2.5 Height, Site Coverage and Siting	Compliance with the Camden LEP height of buildings development standard	Development complies with the Camden LEP height provisions.	Yes
	≤ 2 storeys where height of buildings development standard $\leq 9.5\text{m}$	2 storeys proposed.	Yes
	Attic rooms permitted in roof void where roof pitch $\leq 45^\circ$ (not considered a storey)	Attic rooms proposed – Roof pitch $< 45^\circ$.	Yes
	Ground floor level $\leq 1\text{m}$ above finished ground level unless no adverse impacts	Ground floor level less than 1m above finished ground level.	Yes
	For lots $< 450\text{m}^2$, $\leq 60\%$ site coverage for single storey development	Not applicable.	N/A
	For lots $< 450\text{m}^2$, $\leq 50\%$ ground floor and $\leq 35\%$ upper floor site coverage for two storey development	Not applicable.	N/A
	For lots $\geq 450\text{m}^2$, $\leq 50\%$ site coverage for single storey development	Not applicable.	N/A
	For lots $\geq 450\text{m}^2$, $\leq 50\%$ ground floor and $\leq 30\%$ upper floor site coverage for two storey development *50% ground floor and first floor control in accordance with 4.6 of the DCP.	Ground floor: $627.67 / 2235.7 = 28.1\%$. First floor: $722.75 / 2235.7 = 32.3\%$.	Yes

4.2.6 Landscaped Area	≥30% landscaped area (refer to Figure 4-5)	$680.5 / 2235.7 = 30.4\%$.	Yes
	≥40% of front setback must be landscaped area	A minimum of 40% of front setbacks fronting Macquarie Avenue and Old Hume Highway contain landscaped area.	Yes
	A landscaping plan must be provided	Landscape plan provided.	Yes
4.2.7 Principal Private Open Space (PPOS)	PPOS must be located behind the building line and directly accessible from a habitable room (other than a bedroom)	PPOS for each dwelling appropriately located behind the building line and directly accessible from living/dining room.	Yes
	PPOS ≥4m wide, ≥4m deep and ≤1:10 gradient	PPOS greater than 4m wide, 4m deep and less than 1:10 gradient.	Yes
	For lots ≤10m wide, ≥16m ² PPOS	16m ² PPOS provided for each dwelling.	Yes
	For lots >10m wide, ≥24m ² PPOS	Not applicable.	N/A
4.2.8 Solar Access	≥1 living area must receive ≥3 hours direct sunlight between 9am and 3pm on 21 June	A minimum of one living area for each dwelling will receive 3 hours direct sunlight during the winter solstice.	Yes
	Direct sunlight must reach ≥50% of the PPOS of the subject dwelling and any adjoining dwelling for ≥3 hours between 9am and 3pm on 21 June	Direct sunlight will reach 50% of the PPOS of subject and adjoining dwellings during the winter solstice. Lot 1 Old Hume Highway will continue to achieve solar access to PPOS between 9am and 12pm.	Yes
	≥1 window to a living area of neighbouring dwellings must receive ≥3 hours sunlight between 9am and 3pm on 21 June	A minimum of one window to living areas of neighbouring dwellings will continue to receive 3 hours of sunlight during the winter solstice.	Yes
4.2.9 Visual and Acoustic Privacy	Privacy screen or fixed obscure glass provided for any part of a first floor habitable room window that is less than 1.5m above the finished floor level of that room (if the room overlooks an adjacent dwelling window or the private open space of an adjacent dwelling)	All first-floor windows side facing windows achieve a minimum sill height of 1.5m (or greater) to ensure privacy impacts to existing and future development on adjoining lots are minimised.	Yes
	First floor balconies or decks facing side or rear boundaries only permitted where there are no adverse privacy impacts.	First floor balconies face front boundaries only and/or internal driveway to increase casual surveillance.	Yes

	≤2m depth for first floor balconies or decks	Max depth = 2m.	Yes
	≥2 car parking spaces for 3+ bedroom dwellings	Two car parking spaces / double garage provided for each dwelling.	Yes
	≥1 car parking space must be behind the building line where the space is accessed from the street on the front property boundary	All car parking spaces are located behind the primary building line.	Yes
	For lots ≤7m wide, garages must be accessed from a rear lane	Lots are accessible from the internal driveway.	Yes
	For lots >7m and <15m wide, garage doors must be ≤60% of the dwelling's front elevation width	Garage doors are visible from internal driveway only and not visible from front elevation.	Yes
	For lots >15m wide, garage doors must be ≤50% of the dwelling's front elevation width	Not applicable.	N/A
4.2.10 Parking, Garages and Site Access (Double Garages)	<p>Double garages are only permitted on lots >10m and <12.5m wide where:</p> <ul style="list-style-type: none"> it is in conjunction with a two storey dwelling and recessed from it, there is no loss of on-street parking, the dwelling includes a habitable room overlooking the street, the dwelling includes a balcony of ≥50% of the dwelling width on the front facade with a different finish from the dwelling, and the dwelling's front entrance is visible from the street 	Double garages are accessible from the internal driveway and therefore do not dominate the streetscape.	Yes
4.2.10 Parking, Garages and Site Access (Secondary Driveways)	1 driveway is permitted per residential property. Secondary driveways will be considered on merit in accordance with the Camden DCP	One (1) main driveway is proposed.	Yes
4.2.11 Fencing	Front fencing ≤1.2m above existing ground level and open style with minimum apertures of 25mm (refer to Figure 4-6)	1.8m high acoustic fencing as per acoustic requirements. <i>The proposed variation is addressed in the main body of the report.</i>	No
	Fences on corner lots ≤1.8m to a point 2m behind	1.8m high acoustic fencing as per acoustic requirements	Yes

	the primary building line. Fencing forward of this point must be $\leq 1.2\text{m}$ above existing ground level and open style with minimum apertures of 25mm (refer to Figure 4-6)		
	All other fencing must comply with State Environmental Planning Policy (Exempt and Complying Development Codes) 2008	All other fencing complies with the Codes SEPP.	Yes
4.2.12 Waste Storage Areas and Waste Collection Areas	Waste storage and collections are to be shown on DA plans. Waste storage areas are to be provided behind the building line	Bin storage for three waste bins is identified for all dwellings on landscape plan.	Yes
4.6 Multi Dwelling Housing (General)	Multi dwelling housing must comply with the controls in Sections 4.2.1 - 4.2.12 (General Residential Development Controls), except where the controls in this chapter differ, in which case the controls in this Chapter and Table 4-7 take precedence.	Development complies with Sections 4.2.1 - 4.2.12 (assessed above).	Yes
	Multi dwelling housing sites are to have a direct frontage to a public road (i.e. not on battle-axe lots).	Direct frontage to public roads Macquarie Avenue and Old Hume Highway.	Yes.
	Multi dwelling housing should have a unified design for the whole development, a coordinated style and base colour palette. Individuality can be added as small details or accent colours, rather than strikingly different forms.	A unified design with appropriate articulation is proposed.	Yes
	At least one habitable room is to be located at the front of each dwelling addressing the street and/ or internal driveway.	At least one habitable room is located at the front of each dwelling addressing the street and/or internal driveway.	Yes
	PPOS must be directly accessible from the main living area (Figure 4-8).	PPOS directly accessible from main living area of each dwelling.	Yes
	PPOS is permitted within the front setback provided that: a. the dwelling is of a two-storey construction which provided casual surveillance to the street	PPOS located to rear of each dwelling.	Yes

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	from a first-floor balcony; and b. the location of PPOS in the front setback is required to achieve compliant solar access.		
	Multi dwelling housing should provide a clear differentiation between private areas (open space, private front and side yard areas, private car parking spaces) and communal open space and car parking.	Clear differentiation between private areas and communal areas/car parking is achieved.	Yes
	Controls for adaptable dwellings (requirement triggered by minimum number of dwellings in development located in 4.8 Residential flat buildings and shop top housing) also apply to multi-dwelling housing. Adaptable dwellings are preferably to be single level accommodation at ground level and be located on the street frontage.	Controls for adaptable dwellings are not triggered – less than 10 dwellings proposed.	N/A
	Communal visitor and/or resident's parking areas should be located within view of residents to facilitate passive surveillance of these areas.	Communal visitor and parking areas are located to increase passive surveillance.	Yes
	Traffic calming measures should be provided to ensure a safer vehicle and pedestrian environment.	Planter boxes proposed to internal driveway.	Yes
	Driveways, manoeuvring areas, parking areas and garages are to be located away from bedrooms.	Bedrooms are located on the first floor.	Yes
	Internal driveways must be the smallest configuration possible while allowing for vehicle manoeuvrability and landscaping.	Smallest configuration proposed whilst allowing for vehicle manoeuvrability and landscaping.	Yes.
	Internal driveways should avoid long gun barrel appearance. The alignment of driveways should: a. be varied to avoid a straight gun barrel appearance, particularly when parking is at grade; and	Internal driveway articulated to avoid straight gun barrel appearance and flanked by landscaped verges to soften development on either side.	Yes

	<p>b. be flanked by landscaped verges to soften development on either side.</p>		
	<p>Each dwelling must provide a minimum storage area of 8m³. This space is to be provided exclusively for storage purposes and must be provided in addition to any garage space.</p>	<p>Attic proposed for each dwelling to be utilised as storage space.</p>	<p>Yes</p>
<p>4.6 Multi Dwelling Housing (Image and Legibility)</p>	<p>The proposed development should:</p> <p>a. blend in with its surroundings and/or be in keeping with the character of the area.</p> <p>b. be designed to be compatible with the streetscape and be attractive when viewed within the site.</p> <p>c. create an appearance of a single or grouped dwellings that are separated by gardens and ancillary structures, with facades designed to incorporate a variety of materials and shading structures.</p> <p>d. avoid repeating designs used in other developments, particularly those located in close proximity to the proposal. It is, however, recognised that there may be instances in a planned development where repetition of a design element is used to create a theme development. These proposals will be considered on the merit of the design. Forms of differentiation and interest are encouraged in all dwellings.</p> <p>e. provide a clear differentiation between private areas (open space, private front and side yard areas, private car parking spaces) and communal open space and car parking.</p> <p>f. provide a minimum of 12m between front facades within the development so that the layout does not create gun-barrel vistas.</p>	<p>a. the colours and materials support the development to blend in with its surroundings / character of the area.</p> <p>b. compatible with streetscape and attractive when viewed within the site due to articulation and landscaping features.</p> <p>c. grouped dwellings separated by gardens when viewed from Old Hume Highway.</p> <p>d. Unique design proposal.</p> <p>e. Clear differentiation between communal and private areas is achieved.</p> <p>f. A minimum of 12m between front facades is not achieved</p> <p><i>The proposed variation is addressed in the main body of the report.</i></p> <p>g. Clear identification of each unit and its associated visitor car parking space is achieved.</p>	<p>Yes, with the exception of subpoint f.</p>

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		g. clearly identify each unit, its entrance, visitor carparking to enable a visitor to easily understand the development's layout.		
4.6 Multi Dwelling Housing (Access and Entries)	Multi and	The proposed development should: a. minimise vehicular and pedestrian entry and exit points to the site. b. provide a defined and well-lit pedestrian 'safe route' which can be clearly viewed by residents for passive surveillance. c. consider site accessibility to people in wheelchairs and with lesser mobility. d. The proposed development should be designed to comply with 'Safer By Design' Guidelines.	a. One vehicular entry/exit point proposed. b. Well-lit safe route proposed between unit 3 and unit 4. c. Site accessibility to people with mobility constraints has been considered through multiple points of ground floor access to units. d. The proposed development is designed to comply with 'Safer By Design' Guidelines through casual surveillance from units.	Yes
4.6 Multi Dwelling Housing (Communal Open Space and Landscaping)		A landscape plan is to be submitted with every application for multi dwelling housing.	Landscape plan provided.	Yes
		Landscaping must take into account probable day and night use by residents, seating and the provision of shade. It should allow surveillance by residents i.e. the plants are either high (canopy trees) or low (ground covers).	Proposed landscaping considers probable use by residents.	Yes
		Landscaping is to be provided to the side and rear boundary setback areas and along driveways to improve visual amenity.	Landscaping provided along driveway to improve visual amenity.	Yes
		If the area is fenced, the fence must be dark in colour and permeable to maximise passive surveillance of the area.	No fencing to communal areas proposed.	Yes
		Communal open space landscaping must be designed to minimise water usage and maintenance requirements.	Communal open space landscaping designed to minimise water usage and maintenance.	Yes
		Communal open space should be provided in locations which help to retain existing trees wherever possible.	Communal open space provided in location which aids in retaining existing mature trees.	Yes

<p>4.6 Multi Dwelling Housing (Waste Storage Areas and Collection)</p>	<p>A detailed Waste Management Plan (WMP) must be submitted for the ongoing use of the site. A WMP must outline the waste that will be generated from the site, how the development proposes to manage the waste on site and collection.</p>	<p>Detailed WMP provided.</p>	<p>Yes</p>
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Attachment 3

DEVELOPMENT APPLICATION

PROJECT NAME: TOWNHOUSES
CLIENT NAME: MR STEPHEN McCULLEN
PROJECT ADDRESS: 16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE, CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

DRAWING LIST table with columns: SHEET NUMBER, SHEET NAME, DRAWN BY, CHECKED BY, CURRENT REVISION DATE, CURRENT REVISION.

DEVELOPMENT CALCULATION:

Table of development calculations including: CAMDEN DEVELOPMENT CONTROL PLAN 2019, LAND ZONING, SITE AREA, FLOOR AREA CALCULATION, SITE COVER & LANDSCAPE CALCULATION, SETBACKS, PARKING REQUIREMENTS.

ACOUSTIC NOTES:

3.3 RECOMMENDED CONSTRUCTION MATERIALS
WALL: BRICK VENEER CONSISTING OF 150mm BRICK, 20mm AIR GAP, 60mm STEEL STUD WITH 75mm INSULATION (1100mm), AND 13mm PLASTERBOARD.
CEILING ROOF: 18 DEGREE PITCHED METAL ROOF CONSISTING OF SHEET METAL ROOF, 150mm JOIST WITH 125mm INSULATION (1100mm), AND 13mm PLASTERBOARD.

BASIX COMMITMENTS:

CERTIFICATE NUMBER: 127801M_03
WATER COMMITMENTS: WATER TANK CAPACITY OF 2000 LITRES FOR EACH OF 10 UNITS.
THERMAL COMFORT COMMITMENTS: PROVIDE INSULATION OF R2.5 TO SUBPINNING FLOOR ABOVE ENCLOSED SUNFLOOR.



LOCATION PLAN
1:100



1 STREET PERSPECTIVE

Revision table with columns: NO, AMENDMENT, DES, DRA, DATE, NO, AMENDMENT, DES, DRA, DATE.

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Client MR STEPHEN McCULLEN

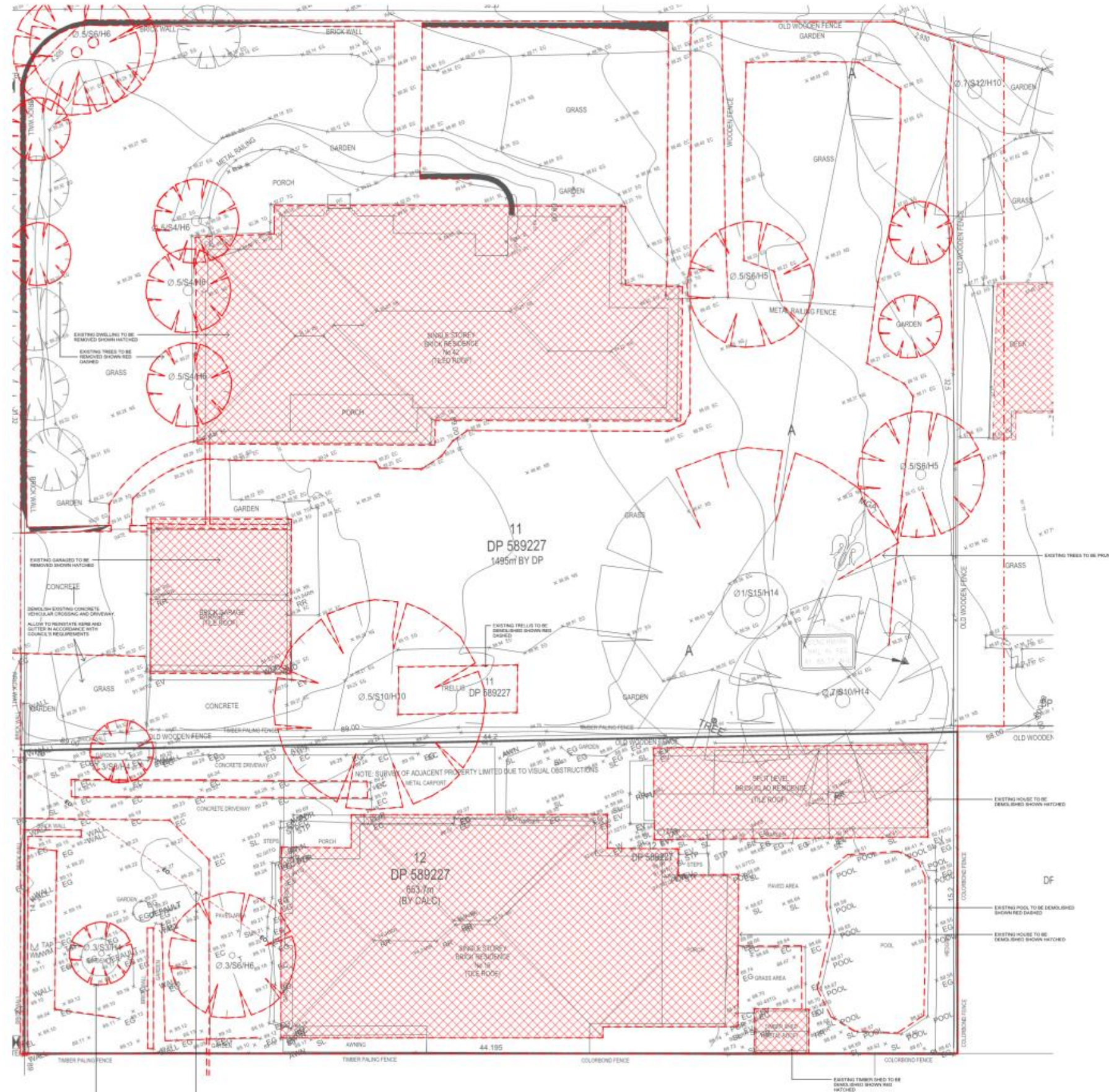
PROJECT TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE, CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

SHEET SUBJECT COVER SHEET & DEVELOPMENT CALCULATIONS

Print Date: 18.08.23
Drawn: SK, AL, AG
Checked: SP
Scale: 1:100 @A1

Job No: 21443
Drawing No: 1
A0000





ALL DEMOLITION WORKS TO BE PART OF THIS EDC APPLICATION ESTIMATED AMOUNT \$ ML

GENERAL NOTES - DEMOLITION:

- ALL DEMOLITION WORK MUST BE UNDERTAKEN IN ACCORDANCE WITH AS3601 DEMOLITION OF STRUCTURES
- UNDETAILED OTHER DEMOLITION WORK AS REQUIRED, IN ORDER TO PRODUCE THE FINAL BUILDING AS ILLUSTRATED IN THESE DRAWINGS
- DURING DEMOLITION, ENSURE THAT ALL NECESSARY HOARDINGS, SCREENS, PROPPING & PROCEDURES ARE CARRIED OUT, AS REQUIRED UNDER THE WORKPLACE HEALTH & SAFETY ACT AND TO PROVIDE STRUCTURAL ADEQUACY
- WHERE STRUCTURAL ELEMENTS BETWEEN DEMOLISHED AND REMAINING ITEMS ARE TO REMAIN, THESE ARE TO BE MADE GOOD
- WHERE PRACTICAL, RETAIN REMOVED MATERIALS FOR RE-USE, PARTICULARLY ITEMS LISTED AS SUCH ON THE DRAWINGS. STORE ITEMS FOR RE-USE AWAY FROM THE ELEMENTS, OR AS APPROPRIATE
- IF ASBESTOS-BEARING MATERIALS ARE ENCOUNTERED, SPECIALIST REMOVERS MUST BE ENGAGED, AND ALL OTHER PERSONS REMOVED FROM SITE AND ALL NEIGHBOURING PROPERTIES TO BE INFORMED



1 EXISTING SITE & DEMOLITION PLAN
1 : 100

NO	AMENDMENT	DES	DRA	DATE
1	PRE-COUNCIL 3rd RFI	SP	SK	16.08.23
2	PRE-COUNCIL 4th RFI	SP	SK	11.07.23
3	PRE-COUNCIL 2nd RFI ISSUE	SP	SK	30.06.23
4	CLIENT ISSUE	SP	SK	30.06.23
5	DA ISSUE	SP	SK	19.05.23
6	UPGRADED FLOOR PLAN	HC	SP	18.05.23
7	DA ISSUE	HC	SK	08.12.22

PLEASE TO COMMENCE DEMOLITION WORKS, ENSURE TO DISCONNECT THE OVERHEAD ELECTRICITY LINES. DISCONNECTION TO BE UNDERTAKEN BY QUALIFIED PERSONNEL ONLY

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Client
MR STEPHEN McCULLEN

PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

SHEET SUBJECT
EXISTING SITE & DEMOLITION PLAN

Print Date: 16.08.23
Drawn: SK, AL, AG
Checked: SP
Scale: 1:100 @A1

Job No: 21443
Drawing No: A0001
DA ISSUE

DEVELOPMENT CALCULATION:
 CAMDEN DEVELOPMENT CONTROL PLAN 2019
 COUNCIL LAND ZONING = CAMDEN COUNCIL
 = R3 - MEDIUM DENSITY RESIDENTIAL
 SITE AREA = 2208.84m² BY DP 2225-694W (BY SURVEY)

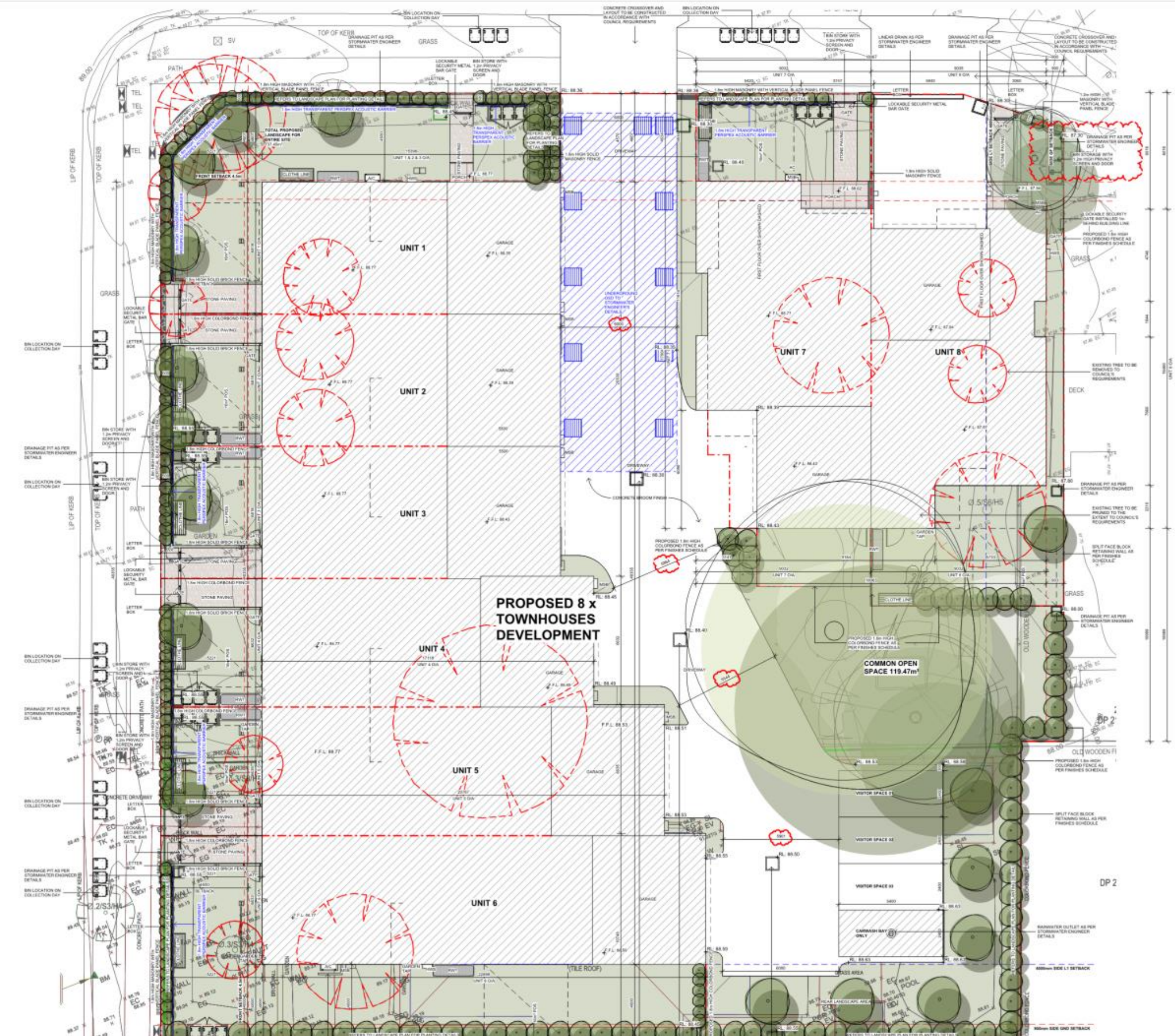
FLOOR AREA CALCULATION
 PROPOSED GROUND FLOOR AREA = 827.67m²
 PROPOSED FIRST FLOOR AREA = 722.79m²
 PROPOSED ATTIC AREA = 422.42m²
 TOTAL PROPOSED FLOOR AREA FSR (FA) = 1972.88m²
 = 88%
SITE COVERS & LANDSCAPE CALCULATION
 MINIMUM SITE COVERAGE = 50% OF 1104.94m²
 PROPOSED SITE COVERAGE = 66.51% OF 963.96m² - COMPLIES
 MINIMUM LANDSCAPED AREA = 30% OF 962.96m²
 PROPOSED LANDSCAPED AREA = 737.44m² (76.57%) - COMPLIES
 MINIMUM WITHIN FRONT SETBACK = COMPLIES
 PROPOSED WITHIN FRONT SETBACK = COMPLIES
SETBACKS
 FRONT SETBACK = 4.5m COMPLIES
 SECONDARY STREET SETBACK = 4.5m COMPLIES
 SIDE SETBACK GROUND FLOOR FIRST FLOOR = 4.5m COMPLIES
 REAR SETBACK GROUND FLOOR FIRST FLOOR = 4.5m COMPLIES
 HEIGHT RESTRICTION 3.0m MAX = 4.9m COMPLIES
PARKING REQUIREMENTS
 1 CAR SPACE PER UNIT = 8 SPACES
 0.5 CAR SPACES PER 3 BED UNITS = 4 SPACES
 1 VISITOR SPACE PER 3 UNITS = 2 SPACES
 TOTAL REQUIRED SPACES = 10 SPACES
 TOTAL PROPOSED SPACES = 10 SPACES (3 VISITOR INCL.) - COMPLIES

BASIX COMMITMENTS:
 CERTIFICATE NUMBER: 1276014_03

WATER COMMITMENTS
 - WATER TANK CAPACITY OF 2000 LITRES FOR EACH OF 10 UNITS
 - COVER ROOF AREA IN TOTAL FOR RAINWATER COLLECTION
 - RAINWATER TO BE CONNECTED TO ALL TOILETS, GARDEN TAPS FOR LAUN, SHOWER HEADS - 4 STARS 1/2 BUT 4+ BLUMI
 - TOILET FLUSHING SYSTEM - 4 STARS
 - KITCHEN TAPS - 4 STARS
 - BATH TAPS - 4 STARS
THERMAL COMFORT COMMITMENTS
 - PROVIDE INSULATION OF R2.5 TO SUSPENDED FLOOR ABOVE EXCLUDED SUBFLOOR
 - WALL INSULATION - BRICK VENEER R2.5 INSULATION PLUS BY BREATHABLE WRAP
 - PROVIDE CEILING ROOF INSULATION - R2.5 INSULATION PLUS R1.0 SINGLE DEED POOL
 - GLAZING - U-VALUE 5.81 BRICKS 26 U-VALUE 6.71 SHOC-0.75 U-VALUE 5.40 SHOC-0.58 AS PER BASIX
ENERGY COMMITMENTS
 - HWIS IS TO BE GAS INSTANTANEOUS WITH A 6.5 STARS PERFORMANCE
 - COOLING AND HEATING SYSTEM IS TO BE 3 PHASE AIR CONDITIONING WITH AN ENERGY RATING MIN. 5.5 - 4.0 ZONED
 - THE HEATING AND COOLING SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING
 - LAUNDRY TO BE MECHANICALLY VENTILATED DUCTED TO FACADE OR ROOF WITH MANUAL ON/OFF
 - KITCHEN & BATHROOM FANS ARE TO BE DUCTED TO FACADE OR ROOF WITH MANUAL ON/OFF
 - LIGHTING - PRIMARY TYPE OF ARTIFICIAL LIGHTING MUST BE FLUORESCENT OR LIGHT EMITTING DIODE (LED) IN ALL ROOMS
 - MUST CONSTRUCT EACH REFRIGERATOR SPACE WITH WELL VENTILATED AS PER BASIX
NOTE: ABOVE SPEC & DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE REPORT

ABBREVIATION:

- AJ ARTICULATION JOINT
- BSN BATH
- CCB CONFIRM ON SITE
- DP DOWNSPIES
- DTR DOUBLE TOWER RAIL
- DRW DOWNPIES
- FW FLOOR WASTE
- HP HOT PLATE
- MH MAIN HOLE
- RI RANGEHODER
- REF REFRIGERATOR
- SA SMOKE ALARM
- NARROWED TO MANG
- SHW SHOWER
- SNK STAINLESS STEEL SNK
- TH TOWEL HOOK
- TRH TOWEL ROLL HOLDER
- TUB LAUNDRY TUB
- VB VARIETY BATH
- WC WATER CLOSET
- WM WASHING MACHINE



1 PROPOSED SITE PLAN
 1:100

NO	ISSUE	DATE	BY	CHKD
1	PRE-COUNCIL 3rd RFI	16.08.23	SP	SK
2	PRE-COUNCIL ADVISE	11.07.23	SP	SK
3	PRE-COUNCIL 2nd RFI ISSUE	30.06.23	SP	SK
4	CLIENT ISSUE	30.05.23	SP	SK
5	DA ISSUE	18.05.23	SP	SK
6	UPDATED FLOOR PLAN	16.05.23	HC	SP
7	DA ISSUE	08.12.22	HC	SK
8	NO ACTION			

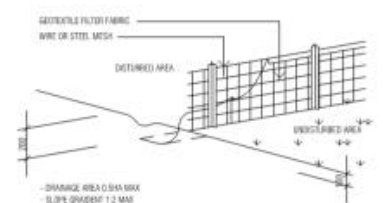
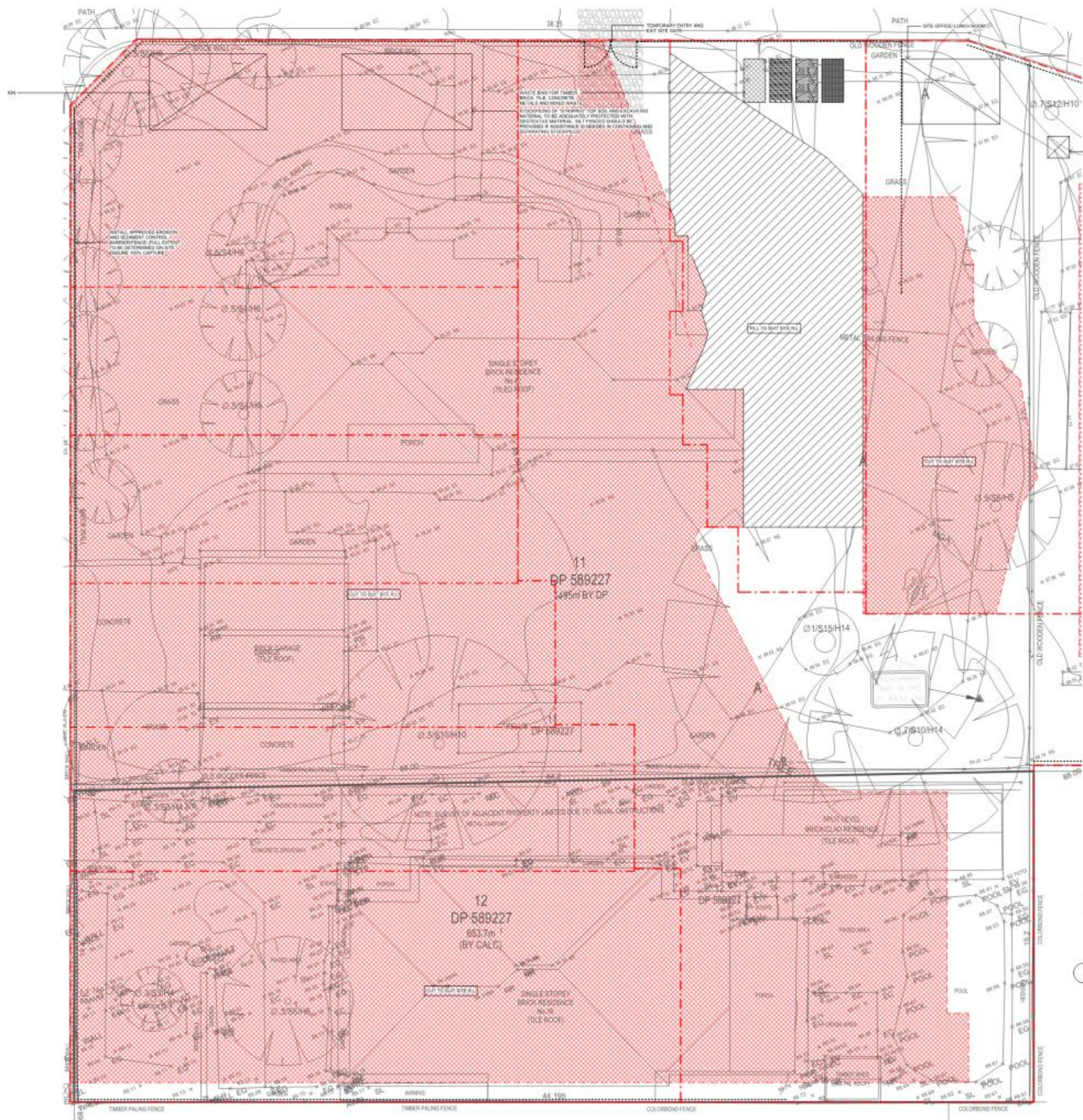
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Client
 MR STEPHEN M'CUFFEN

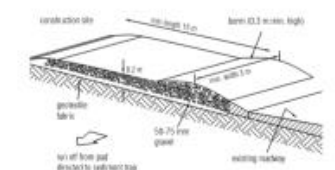
PROJECT
 TOWNHOUSES
 16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
 CAMDEN NSW 2570
 LOT 11 & LOT 12 DP 589227

SHEET SUBJECT
 PROPOSED SITE PLAN

Print Date: 16.08.23
 Drawn: SK, RL, AG
 Checked: HC, SP
 Scale: 1:100 @A1
 Job No: 21443
 Drawing No: A0002
 DA ISSUE



SILT FENCE DETAIL
1:1



TEMPORARY CONSTRUCTION EXIT
1:1

SEDIMENT RUN-OFF CONTROL DURING EARTHWORKS:
THE CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION AND SEDIMENT CONTROL MEASURES GENERALLY IN ACCORDANCE WITH GUIDELINES OF THE NEW SOUTH WALES SOIL CONSERVATION SERVICE AND AS NECESSARY TO PREVENT RUN OFF FROM THE SITE OF ANY SEDIMENT RESULTING FROM THE WORKS. ALL MEASURES ARE TO COMPLY WITH THE REQUIREMENTS OF THE APPROVING COUNCIL. TRUCKS AND VEHICLES LEAVING THE SITE ARE NOT TO SPREAD SOIL ONTO THE ROADWAY OR ALLOW SOIL TO ENTER THE STORMWATER SYSTEM. ALL DISTURBED SURFACE AREAS AND STOCKPILES OF EXCAVATED OR IMPORTED MATERIAL IS TO BE STABILIZED WITHIN 48 HOURS. EARTH IS TO BE SUPPRESSED BY WATERING.

WASTE LEGEND:

[Pattern]	BRICK, TILE, CONCRETE DISPOSAL BIN 3 CUBIC METRES
[Pattern]	MIXED WASTE DISPOSAL BIN 3 CUBIC METRES
[Pattern]	METALS DISPOSAL BIN 3 CUBIC METRES

CUT AND FILL LEGEND:

[Pattern]	CUT
[Pattern]	FILL

SITE NOTE:
BEFORE STARTING WORK ON SITE, BUILDERS TO ENSURE TO CHECK/VERIFY THE FOLLOWING:
- SERVICE LOCATIONS
- TRENCH CONNECTION POSITIONS
- DRIVEWAY ALIGNMENT & LEVELS
- INDICATION DOWNPIPE LOCATION.

1 PROPOSED CUT & FILL, WASTE MANAGEMENT PLAN
1:100



Attachments for the Camden Local Planning Panel Meeting held on 17 October 2023 - Page 218

1	PRE-COUNCIL 3rd RFI	SP	SK	16.08.23
2	PRE-COUNCIL ADVISE	SP	SK	11.07.23
3	PRE-COUNCIL 2nd RFI ISSUE	SP	SK	30.06.23
4	CLIENT ISSUE	SP	SK	30.06.23
5	DA ISSUE	SP	SK	19.05.23
6	FINALISED FLOOR PLAN	HC	SP	18.05.23
7	DA ISSUE	HC	SK	08.12.22
NO	AMENDMENT	DES	DRA	DATE

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Client
MR STEPHEN McCULLEN

PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

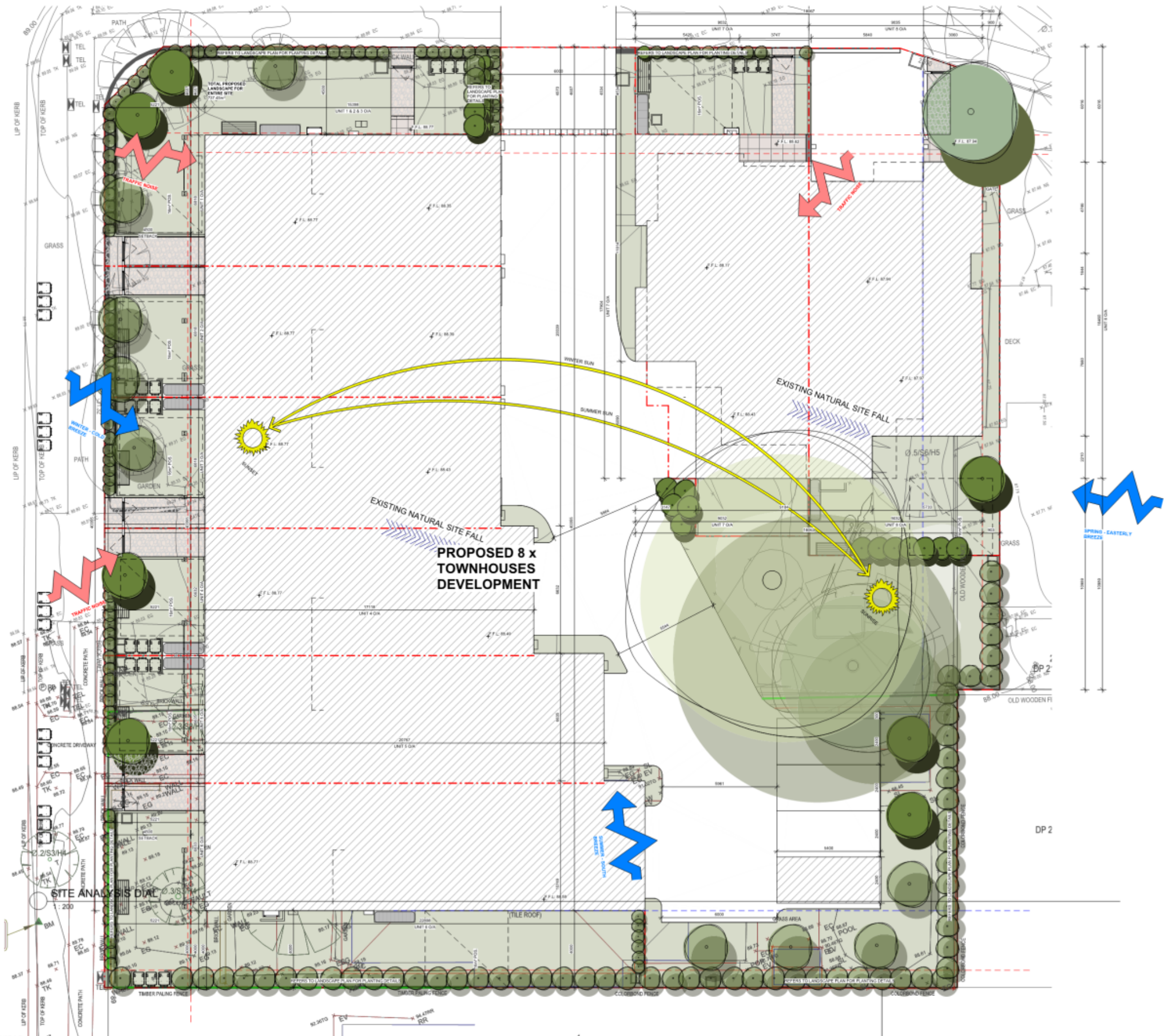
SHEET SUBJECT
PROPOSED CUT & FILL, WASTE & SITE MANAGEMENT PLAN

Print Date: 16.08.23
Drawn: SK, AL, AG
Checked: SP
Scale: As indicated

DA ISSUE

21443

A0003



- PROXIMITY TO PLACES OF SIGNIFICANT:**
- 50M TO OLD HUME HWY BUS STOP ID 257960
 - 200M TO DON MOON MEMORIAL RESERVE
 - 375M TO CAMDEN HOSPITAL
 - 400M TO BELGENNY OVAL & BELGENNY RESERVE
 - 400M TO CAMDEN SOUTH PUBLIC SCHOOL
 - 400M TO PINDARI RESERVE
 - 430M TO ENGESTA RESERVE
 - 460M TO CAMDEN GOSPEL ASSEMBLY
 - 480M TO MACQUARIE RESERVE
 - 490M TO SCALLY WAOGS KINDERGARTEN

1 SITE ANALYSIS
1:100



NO	AMENDMENT	DES	DRA	DATE
I	REC. COUNCIL 3rd RPT	SP	SK	16.08.23
H	REC. COUNCIL ADVISE	SP	SK	11.07.23
G	SC. COUNCIL 2nd RPT ISSUE	SP	SK	30.06.23
T	CLIENT ISSUE	SP	SK	30.05.23
E	DA ISSUE	SP	SK	19.05.23
D	UPDATED FLOOR PLAN	HC	SP	16.05.23
C	DA ISSUE	HC	SK	06.12.22

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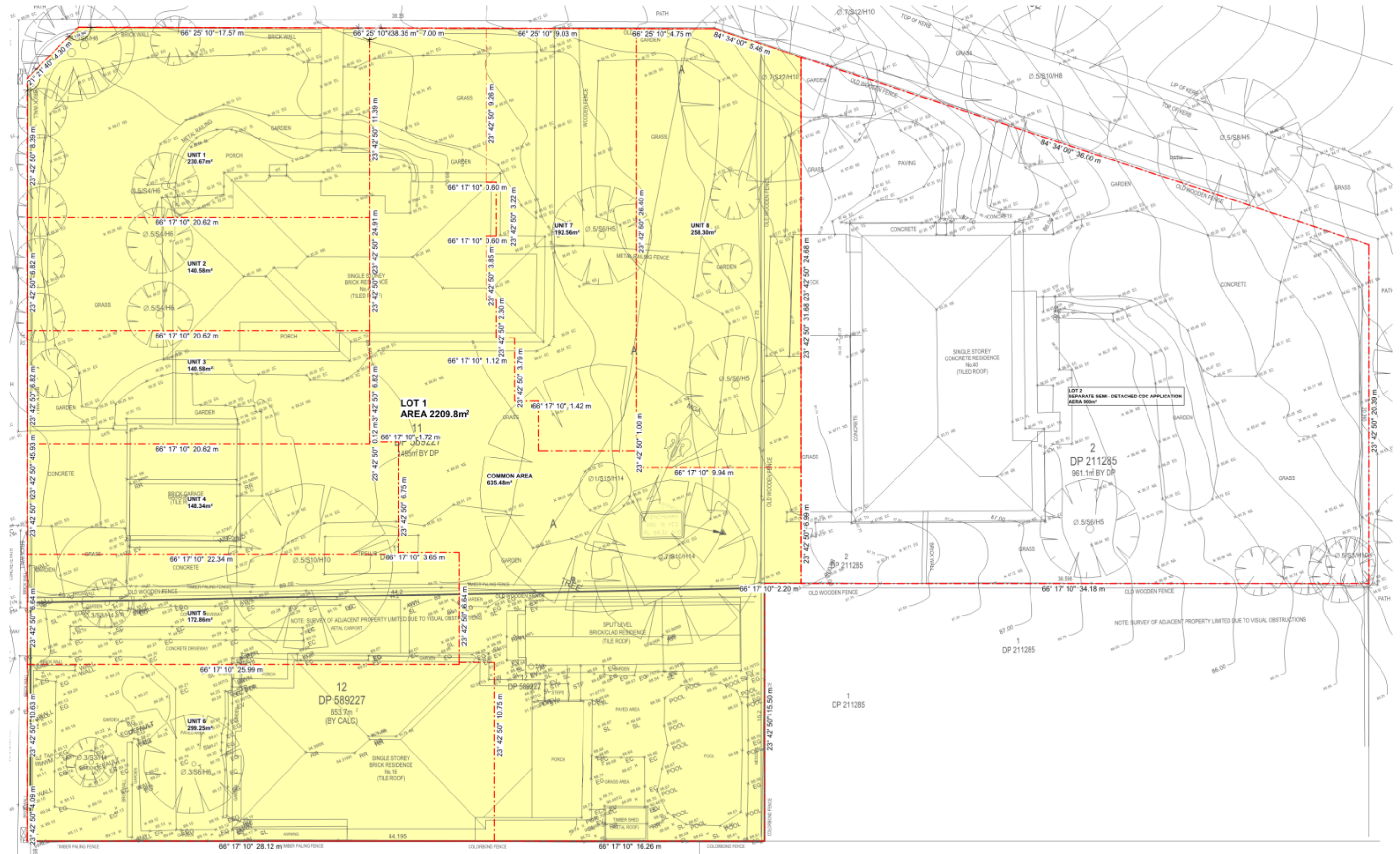
arkExpress architects & planners
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 100/100 CHERRYBROOK RD NSW 1510 (PH) 02 9639 4000
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Client
MR STEPHEN McCULLEN

PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

SHEET SUBJECT
PROPOSED SITE ANALYSIS

Print Date: 16.08.23
 Drawn: SK, RL, AG
 Checked: SP
 Scale: As indicated @ A1
 Job No: 21443
 Drawing No: A0004
 DA 656E



1 PROPOSED CONCEPT STRATA SUBDIVISION PLAN

1:100

NO	AMENDMENT	DES	DRA	DATE
1	PRE-COUNCIL 3rd RFI	SP	SK	16.08.23
2	PRE-COUNCIL ADVICE	SP	SK	11.07.23
3	PRE-COUNCIL 2nd RFI ISSUE	SP	SK	30.06.23
4	CLIENT ISSUE	SP	SK	30.06.23
5	DA ISSUE	SP	SK	19.05.23
6	LIMITED FLOOR PLAN	HC	SP	18.05.23
7	DA ISSUE	HC	SK	08.12.22

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MR STEPHEN McCULLEN

PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

SHEET SUBJECT
PROPOSED CONCEPT STRATA SUBDIVISION PLAN

Print Date: 16.08.23
Drawn: SK, AL, AG
Checked: HC, SP
Scale: 1:100 @A1

DA ISSUE
JOB NO: 21443
Drawing No: 03005





1 PROPOSED FIRST FLOOR PLAN
1:100

DEVELOPMENT CALCULATION:

CAMDEN DEVELOPMENT CONTROL PLAN 2019
COUNCIL
LAND ZONING: R3 - MEDIUM DENSITY RESIDENTIAL
SITE AREA: 2208.8m² (BY DP) 2235.6m² (BY SURVEY)

FLOOR AREA CALCULATION

PROPOSED GROUND FLOOR AREA: 4827.0m²
PROPOSED FIRST FLOOR AREA: 722.75m²
PROPOSED ATTIC AREA: 423.42m²
TOTAL PROPOSED FLOOR AREA FOR DW: 1773.44m²
FAR: N/A

SITE COVER & LANDSCAPE CALCULATION

MINIMUM SITE COVERAGE: 50% or 1104.8m²
PROPOSED SITE COVERAGE: 44.51% or 983.96m² - COMPLIES

MINIMUM LANDSCAPED AREA: 30% or 668.64m²
PROPOSED LANDSCAPED AREA: 737.45m² (33.37%) - COMPLIES

MINIMUM WITHIN FRONT SETBACK PROPOSED WITHIN FRONT SETBACK: COMPLIES

SETBACKS

FRONT SETBACK: 4.50m COMPLIES
SECONDARY STREET SETBACK: 4.50m COMPLIES
SIDE SETBACK GROUND FLOOR: 4.50m COMPLIES
FIRST FLOOR: 4.50m COMPLIES
REAR SETBACK GROUND FLOOR: 4.50m COMPLIES
FIRST FLOOR: 4.50m COMPLIES

HEIGHT RESTRICTION 9.0m MAX: 4.50m COMPLIES

PARKING REQUIREMENTS

1 CAR SPACES PER UNIT: 8 SPACES
0.5 CAR SPACES PER 1 BED UNIT: 4 SPACES
1 VISITOR SPACE PER 5 UNITS: 2 SPACES
TOTAL REQUIRED SPACES: 14 SPACES
TOTAL PROPOSED SPACES: 19 SPACES (3 VISITOR INCL.) - COMPLIES

LEGEND:

UNIT NUMBER: [Symbol] UNIT NUMBER
DOOR NUMBER: [Symbol] DOOR NUMBER
FLOOR LEVEL: [Symbol] FLOOR LEVEL
UNIT NUMBER: [Symbol] WINDOW NUMBER
FLOOR LEVEL: [Symbol] FLOOR LEVEL

F: FIXED GLASS
HC: HOLLOW CORE
SC: SOLID CORE
TF: TIMBER FRAME
AL: ALUMINUM FRAME

ACOUSTIC NOTES:

5.3 RECOMMENDED CONSTRUCTION MATERIALS

WALL:

BRICK VENEER CONSISTING OF:
120mm BRICK;
20mm AIR GAP;
60mm STEEL STUD WITH 75mm INSULATION (1 High) AND
13mm PLASTERBOARD

CILING/ROOF

18 DEGREE PITCHED METAL ROOF CONSISTING OF:
SHEET METAL ROOF
150mm JOIST WITH 120mm INSULATION (1 HIGH), AND
13mm PLASTERBOARD

GLASS WINDOW AND DOORS

ALL HABITABLE AREAS FRONTING HUME HIGHWAY (WESTERN FACADE) -
16.38mm LAMINATED GLASS WITH G-LON AND FIN SEAL

ALL OTHER HABITABLE AREAS -
6.38mm LAMINATED GLASS WITH G-LON AND FIN SEAL

PLEASE REFER TO ACOUSTIC REPORT FOR WINDOW & DOOR NOTES

5.3.4 TIMBER ENTRY DOORS

TIMBER DOORS INTO TENANCY MUST BE CONSTRUCTED OF A MIN. OF 35-45MM
THICK SOLID CORE TIMBER WITH ACOUSTICAL PERIMETER AND DOOR BOTTOM
SEALS PROVIDING AN ACOUSTICAL RATING OF NO LESS THAN R18.33

PLEASE REFER TO ACOUSTIC REPORT FOR SPECIFICATIONS.

5.6 MECHANICAL PLANT NOISE ASSESSMENT

AIR CONDITIONING UNITS ARE REQUIRED TO BE OPERATED WITH STEP 3 QUIET
MODE ACTIVE DURING NIGHT-TIME HOURS.

ANY CHANGES IN EQUIPMENT SELECTION FROM THE ACOUSTIC REPORT
SHOULD BE VERIFIED BY A QUALIFIED ACOUSTICAL CONSULTANT BEFORE
CONSTRUCTION.

FOR EACH AC OUTDOOR CONDENSER UNIT RESTING ON THE REAR TERRACE
CONCRETE SLAB, IT IS RECOMMENDED THAT FOUR EMBELTON NR1 RUBBER
BOARDS ARE INSTALLED.

NOTE: ABOVE ACOUSTIC NOTES IS TO BE READ IN CONJUNCTION WITH
ACOUSTIC REPORT BY KOKAS ACOUSTICS.



Attachments for the Camden Local Planning Panel Meeting held on 17 October 2023 - Page 222

NO	AMENDMENT	DES	DRA	DATE
1	PRE-COUNCIL 3rd RPT	SP	SK	16.08.23
2	RE-COUNCIL ADVICE	SP	SK	11.07.23
3	RE-COUNCIL 2nd RPT ISSUE	SP	SK	30.06.23
4	CLIENT ISSUE	SP	SK	30.06.23
5	QA ISSUE	SP	SK	19.05.23
6	UPDATED FLOOR PLAN	HC	SP	18.05.23
7	UPDATED FLOOR PLAN	HC	SP	05.05.23

NO	AMENDMENT	DES	DRA	DATE
1	PRE-COUNCIL 3rd RPT	SP	SK	16.08.23
2	RE-COUNCIL ADVICE	SP	SK	11.07.23
3	RE-COUNCIL 2nd RPT ISSUE	SP	SK	30.06.23
4	CLIENT ISSUE	SP	SK	30.06.23
5	QA ISSUE	SP	SK	19.05.23
6	UPDATED FLOOR PLAN	HC	SP	18.05.23
7	UPDATED FLOOR PLAN	HC	SP	05.05.23

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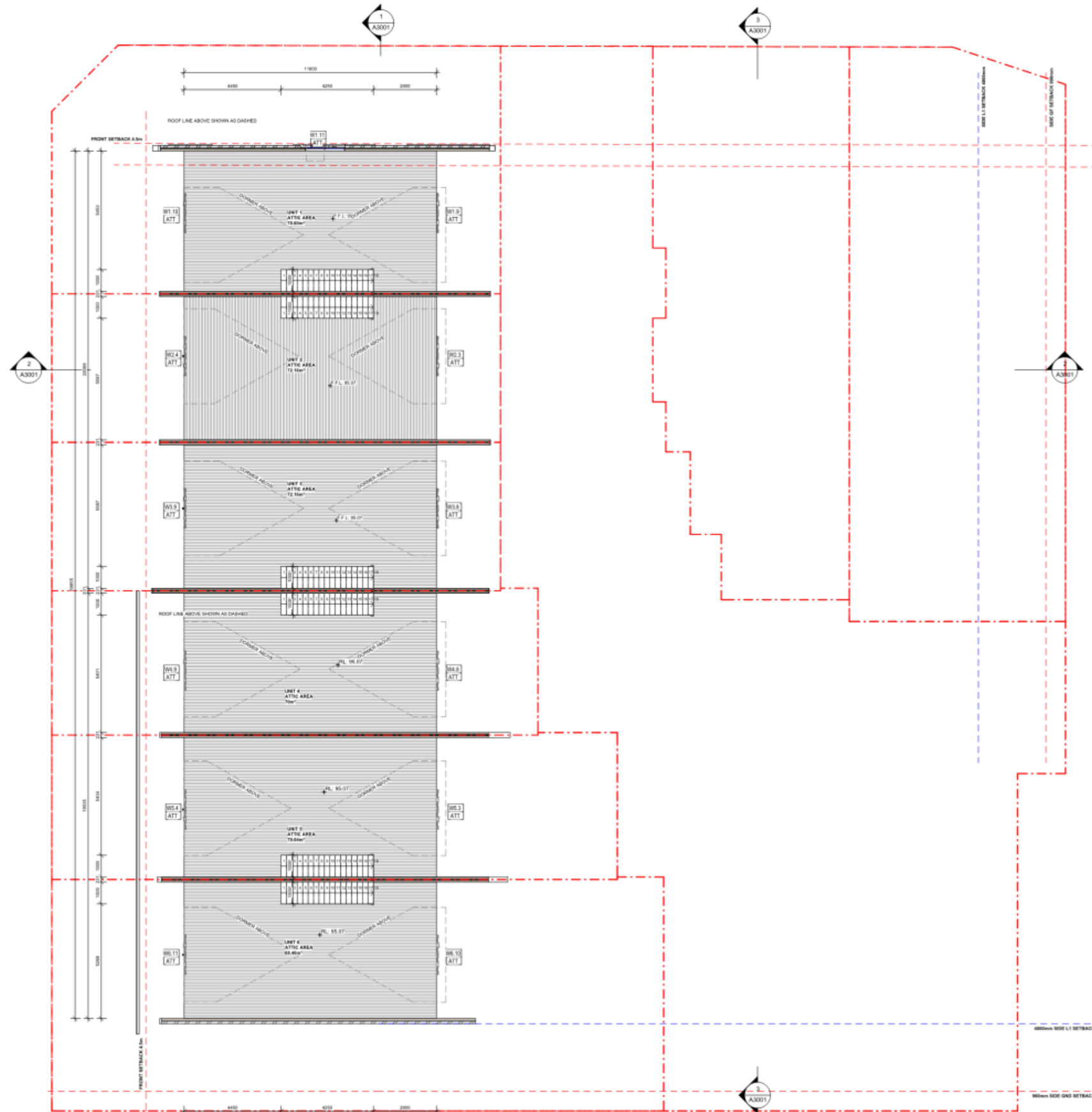
Client
MR STEPHEN McCULLEN

PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

SHEET SUBJECT
PROPOSED FIRST FLOOR PLAN

Print Date: 16.08.23
Drawn: SK, AG
Checked: HC, SP
Scale: 1:100 @A1

DA ISSUE
21443
A1102



ACOUSTIC NOTES:

5.3 RECOMMENDED CONSTRUCTION MATERIALS

WALL:

BRICK VENEER CONSISTING OF
115mm BRICK;
20mm AIR GAP;
64mm STEEL STUD WITH 75mm INSULATION (11kg/m³) AND
13mm PLASTERBOARD

CEILING/ROOF

18 DEGREE PITCHED METAL ROOF CONSISTING OF
SHEET METAL ROOF
150mm JOIST WITH 125mm INSULATION (11KG/M³), AND
13mm PLASTERBOARD

GLASS WINDOW AND DOORS

ALL HABITABLE AREAS FRONTING HIGHWAY (WESTERN FACADE) -
10.38mm LAMINATED GLASS WITH Q-LON AND FIN SEAL

ALL OTHER HABITABLE AREAS -
6.38mm LAMINATED GLASS WITH Q-LON AND FIN SEAL

PLEASE REFER TO ACOUSTIC REPORT FOR WINDOW & DOOR NOTES

5.3.4 TIMBER ENTRY DOORS

TIMBER DOORS INTO TENANCY MUST BE CONSTRUCTED OF A MIN. OF 35-40MM
THICK SOLID CORE TIMBER WITH ACOUSTICAL PERIMETER AND DOOR BOTTOM
SEALS PROVIDING AN ACOUSTICAL RATING OF NO LESS THAN R18.0.

PLEASE REFER TO ACOUSTIC REPORT FOR SPECIFICATIONS.

5.0 MECHANICAL PLANT NOISE ASSESSMENT

AIR CONDITIONING UNITS ARE REQUIRED TO BE OPERATED WITH STEP 3 QUIET
MODE ACTIVE DURING NIGHT TIME HOURS.

ANY CHANGES IN EQUIPMENT SELECTION FROM THE ACOUSTIC REPORT
SHOULD BE VERIFIED BY A QUALIFIED ACOUSTICAL CONSULTANT BEFORE
CONSTRUCTION.

FOR EACH AC OUTDOOR CONDENSER UNIT RESTING ON THE NEAR TERRACE
CONCRETE SLAB IT IS RECOMMENDED THAT FOUR EMBELTON NRI RUBBER
MOUNTS ARE INSTALLED.

NOTE: ABOVE ACOUSTIC NOTES IS TO BE READ IN CONJUNCTION WITH
ACOUSTIC REPORT BY NOKAS ACOUSTICS.

DEVELOPMENT CALCULATION:

CAMDEN DEVELOPMENT CONTROL PLAN 2019
COUNCIL = CAMDEN COUNCIL
LAND ZONING = R3 - MEDIUM DENSITY RESIDENTIAL
SITE AREA = 2208.8m² (BY DP) 2238.8m² (BY SURVEY)

FLOOR AREA CALCULATION

PROPOSED GROUND FLOOR AREA = 627.67m²
PROPOSED FIRST FLOOR AREA = 722.78m²
PROPOSED ATTIC AREA = 423.43m²
TOTAL PROPOSED FLOOR AREA
FSA (FVA) = 1773.88m² = 79%

SITE COVER & LANDSCAPE CALCULATION

MINIMUM SITE COVERAGE = 50% OF 1154.9m²
PROPOSED SITE COVERAGE = 44.51% OF 963.95m² - COMPLIES
MINIMUM LANDSCAPED AREA = 30% OF 962.98m²
PROPOSED LANDSCAPED AREA = 737.48m² (33.37%) - COMPLIES

SETBACKS

FRONT SETBACK = 4.8m COMPLIES
SECONDARY STREET SETBACK = 4.8m COMPLIES
SIDE SETBACK GROUND FLOOR FIRST FLOOR = 8.9m COMPLIES
REAR SETBACK GROUND FLOOR FIRST FLOOR = 8.9m COMPLIES

HEIGHT RESTRICTION 9.0m MAX.

PROPOSED WITHIN FRONT SETBACK = COMPLIES

PARKING REQUIREMENTS

1 CAR SPACE PER UNIT = 8 SPACES
0.5 CAR SPACES PER 3 BED UNITS = 2 SPACES
1 VISITOR SPACE PER 3 UNITS = 2 SPACES
TOTAL REQUIRED SPACES = 14 SPACES
TOTAL PROPOSED SPACES = 19 SPACES (3 VISITOR INCL.) - COMPLIES

LEGEND:



1 PROPOSED ATTIC PLAN
1:100

I	RE: COUNCIL 3rd RPT	SP	SK	16.08.23
H	RE: COUNCIL ADVICE	SP	SK	11.07.23
G	RE: COUNCIL 2nd RPT ISSUE	SP	SK	30.06.23
T	CLIENT ISSUE	SP	SK	30.05.23
E	DA ISSUE	SP	SK	19.05.23
D	UPDATED FLOOR PLAN	HC	SP	16.05.23
C	DA ISSUE	HC	SK	06.12.22
NO	AMENDMENT	DES	DRA	DATE

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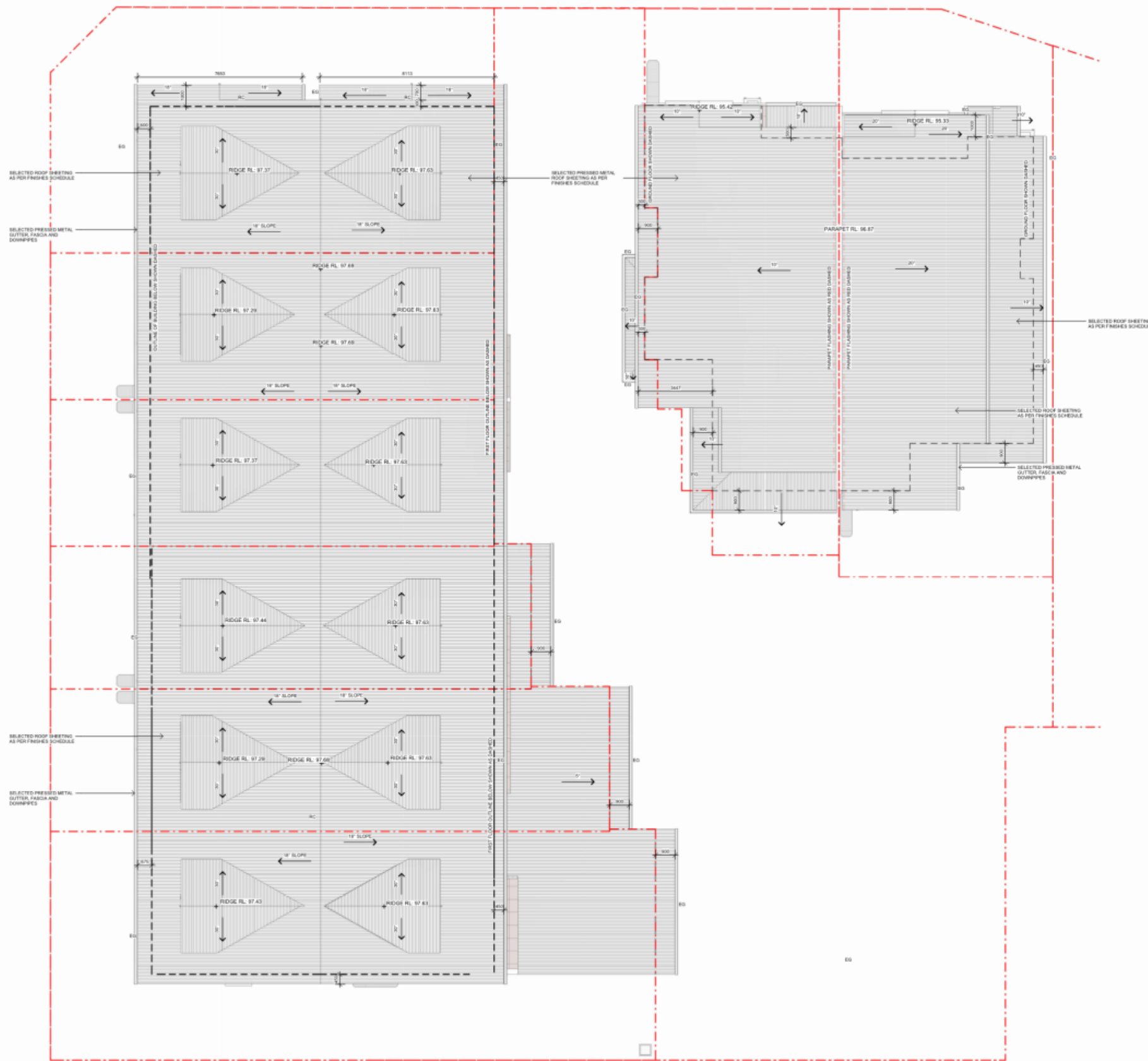
Client
MR STEPHEN McCULLEN

PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

SHEET SUBJECT
PROPOSED ATTIC FLOOR

Print Date: 16.08.23
Drawn: SK, AG
Checked: HC, SP
Scale: 1:100 @A1
Job No.: 21443
Drawing No.: 11103
DA ISSUE





1 PROPOSED ROOF PLAN
1 : 100

ROOFING LEGEND:
 RG: PRECAST METAL GABLE GUTTER TO STORMWATER ENGINEER'S SPECIFICATIONS
 RH: PRECAST METAL HURDLE TO STORMWATER ENGINEER'S SPECIFICATIONS
 BG: PRECAST METAL BOX GUTTER TO STORMWATER ENGINEER'S SPECIFICATIONS
 BC: PRECAST METAL BRIDGE CAPPING
 VC: PRECAST METAL VALLEY GUTTER
 DP: PRECAST METAL DOWNPIPE TO STORMWATER ENGINEER'S SPECIFICATIONS

NOTE:
 ALL ROOF SHEETING PROFILES THAT ARE 1/2\"/>



Attachments for the Camden Local Planning Panel Meeting held on 17 October 2023 - Page 224

1	PRE-COUNCIL 3rd RPI	SP	SK	16.06.23
2	PRE-COUNCIL ADVICE	SP	SK	11.07.23
3	PRE-COUNCIL 2nd RPI ISSUE	SP	SK	30.06.23
4	CLIENT ISSUE	SP	SK	30.06.23
5	DA ISSUE	SP	SK	19.05.23
6	UPDATED FLOOR PLAN	HC	GP	18.05.23
7	DA ISSUE	HC	SK	08.12.22
NO	AMENDMENT	DES	DRA	DATE

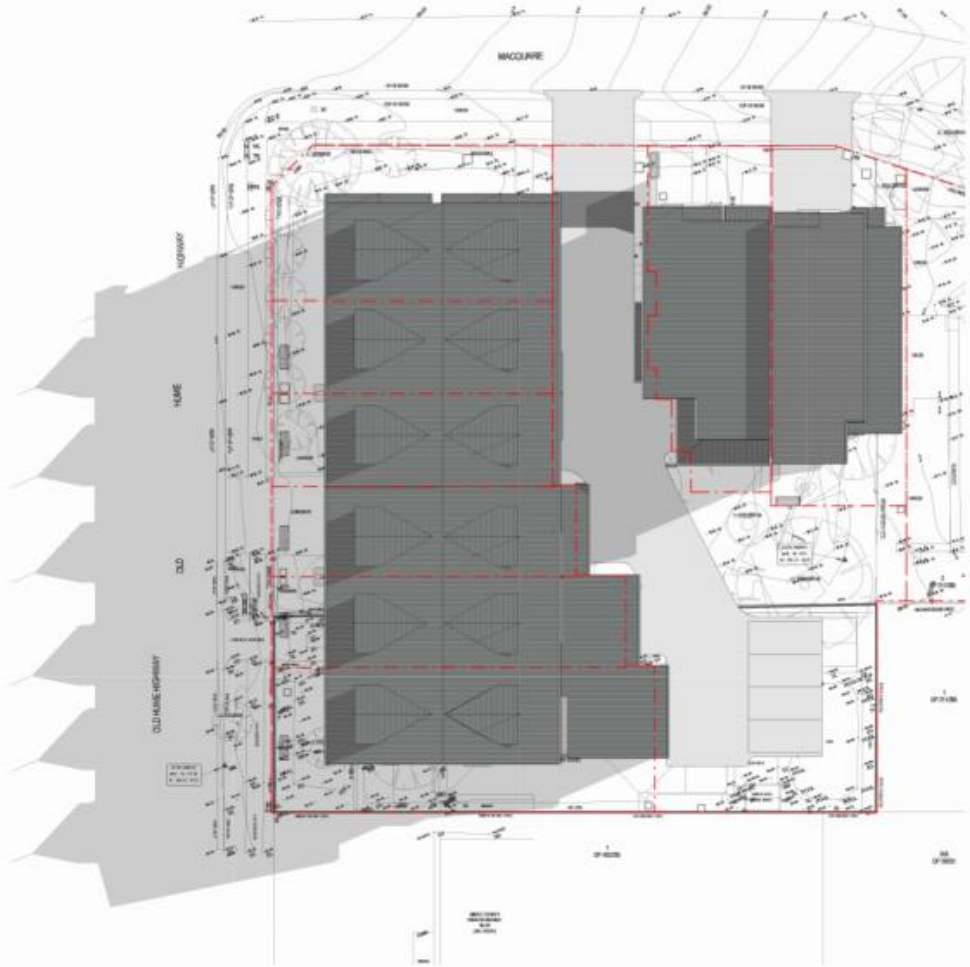
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Client
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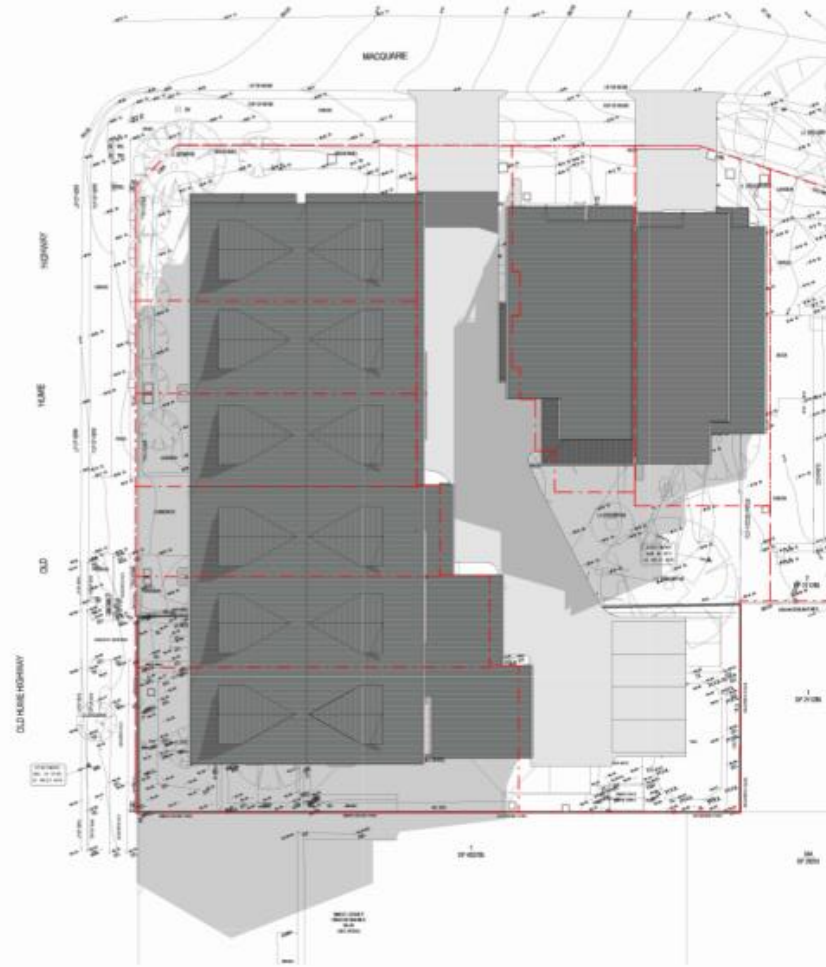
PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

SHEET SUBJECT
PROPOSED ROOF PLAN

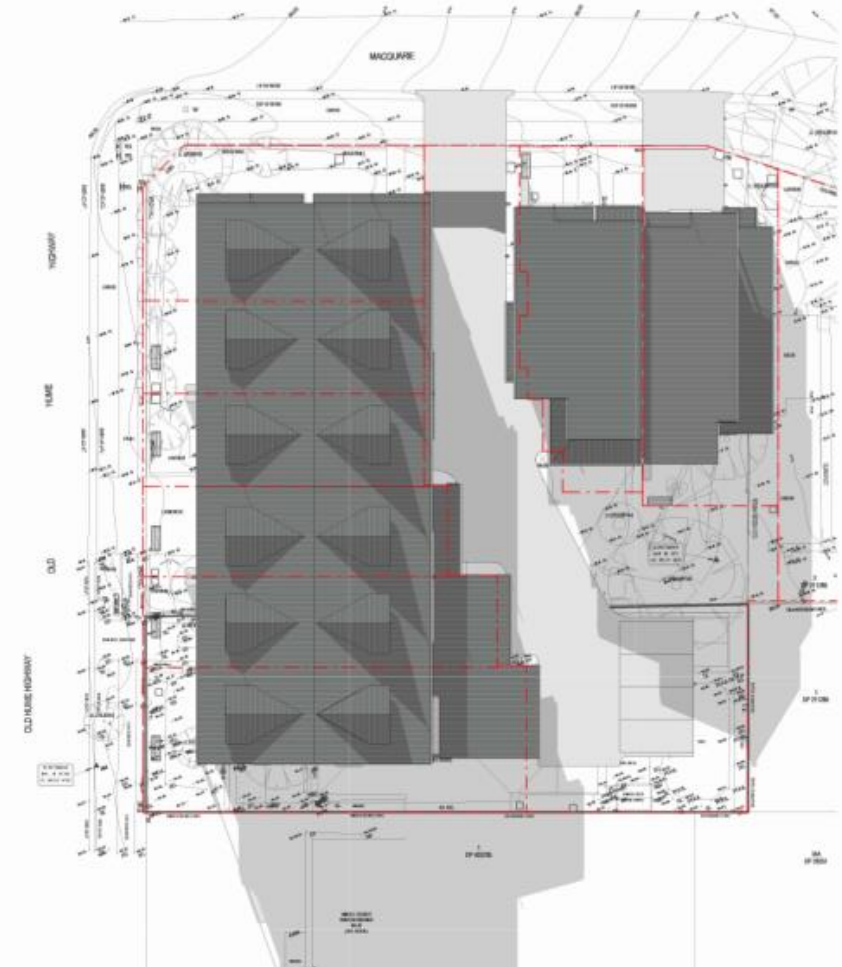
Print Date: 16.08.23
 Drawn: SX, AG
 Checked: SP
 Scale: 1:100 @A1
 DA ISSUE
 21443
 A1104



1 SHADOW DIAGRAM - WINTER SOLSTICE 9AM
1:250



2 SHADOW DIAGRAM - WINTER SOLSTICE 12PM
1:250



3 SHADOW DIAGRAM - WINTER SOLSTICE 3PM
1:250

I	REC. COUNCIL 3rd RPT	SP	SK	18.08.23
H	REC. COUNCIL ADVISE	SP	SK	11.07.23
G	REC. COUNCIL 2nd RPT ISSUE	SP	SK	30.06.23
T	CLIENT ISSUE	SP	SK	30.06.23
E	DA ISSUE	SP	SK	18.06.23
D	UPDATED FLOOR PLAN	HC	SP	18.06.23
C	DA ISSUE	HC	SK	08.12.23
NO	AMENDMENT	DES	DRA	DATE

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PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

SHEET SUBJECT
SHADOW DIAGRAMS - WINTER SOLSTICE

Print Date: 18.08.23
Drawn: SK, AL, AG
Checked: SP
Scale: 1:250 @A1

Job No. 21443
Drawing No. 11105
DA 656E

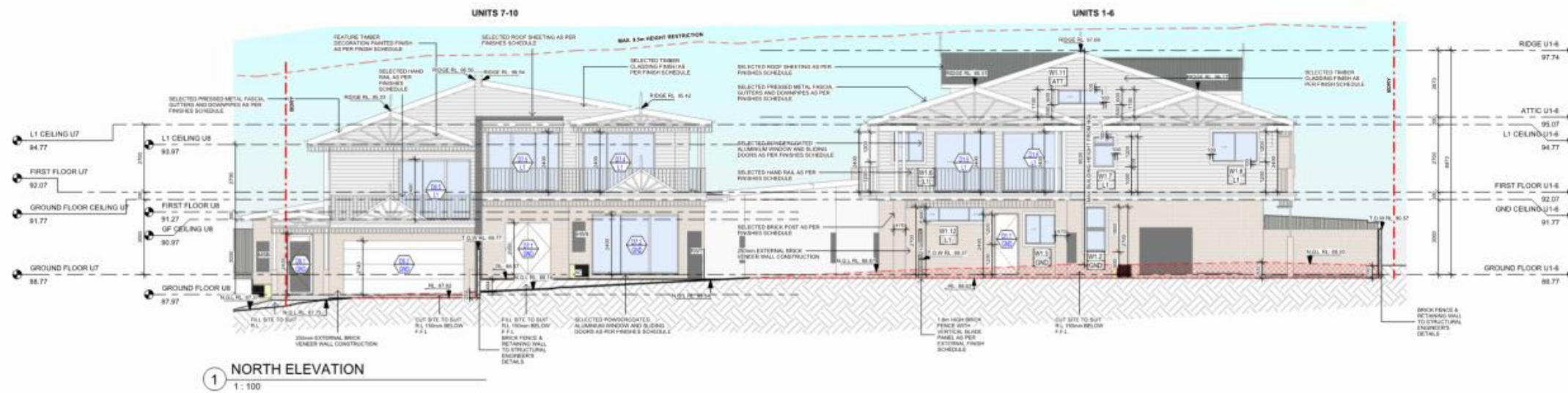
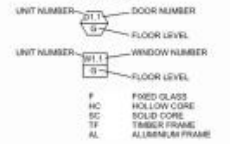


CUT AND FILL LEGEND:

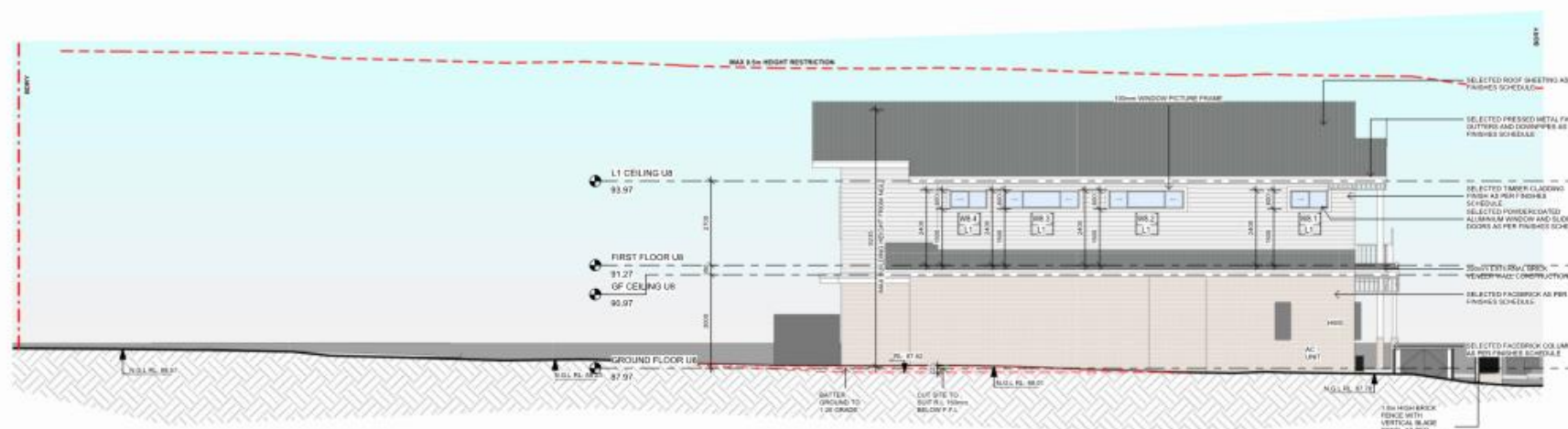


NOTE:
BEFORE STARTING WORK ON SITE, BUILDER TO ENSURE TO CHECK/VERIFY THE FOLLOWING:
- SERVICE LOCATIONS
- GROUND CONNECTION POSITIONS
- DRIVEWAY ALIGNMENT & LEVELS
- INDICATION DOWNPIPE LOCATION

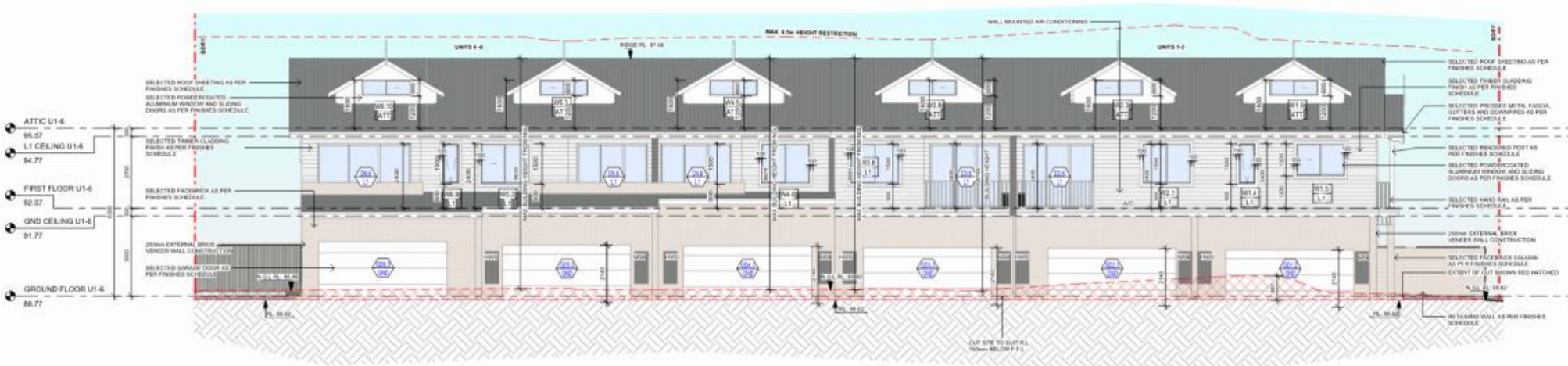
LEGEND:



1 NORTH ELEVATION
1:100



4 EAST ELEVATION
1:100



5 INTERNAL EAST ELEVATION (UNIT 1 - 6)
1:100



T PRE-COUNCIL 3rd RPT	SP	SK	16.08.23
H PRE-COUNCIL ADVISE	SP	SK	11.07.23
G PRE-COUNCIL 2nd RPT ISSUE	SP	SK	30.06.23
F CLIENT ISSUE	SP	SK	30.06.23
E DA ISSUE	SP	SK	19.05.23
D LIFTED FLOOR PLAN	HC	GP	18.05.23
C DA ISSUE	HC	SK	08.12.22
NO AMENDMENT	DES	DRA	DATE

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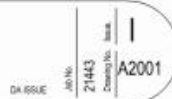


Client
MR STEPHEN McCULLEN

PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 588227

SHEET SUBJECT
ELEVATIONS

Print Date: 16.08.23
Drawn: SK, AL, AG
Checked: SP
Scale: 1:100 @A1



LEGEND:

UNIT NUMBER	DOOR NUMBER
FLOOR LEVEL	FLOOR LEVEL
UNIT NUMBER	WINDOW NUMBER
FLOOR LEVEL	FLOOR LEVEL
F	FIXED GLASS
HC	HOLLOW CORE
SC	SOLID CORE
TF	TIMBER FRAME
AL	ALUMINIUM FRAME

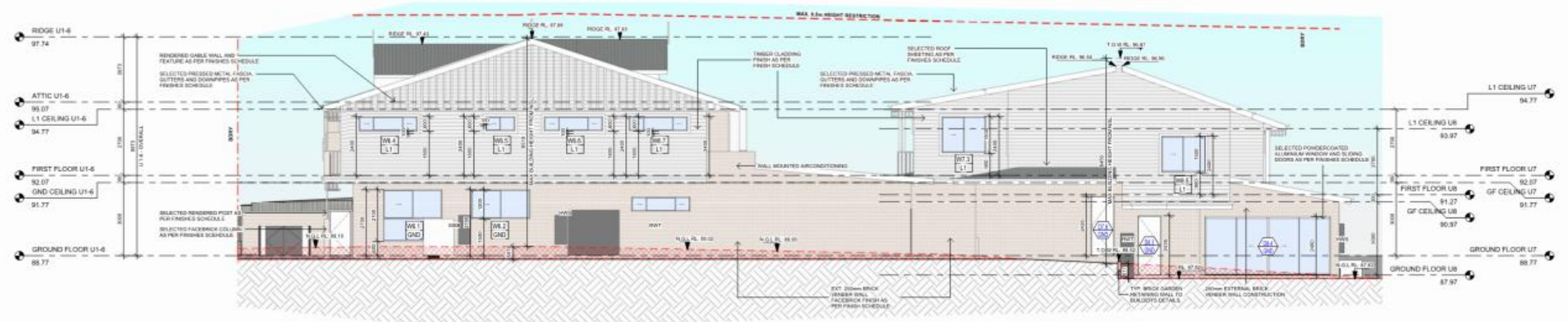
CUT AND FILL LEGEND:

	CUT
	FILL

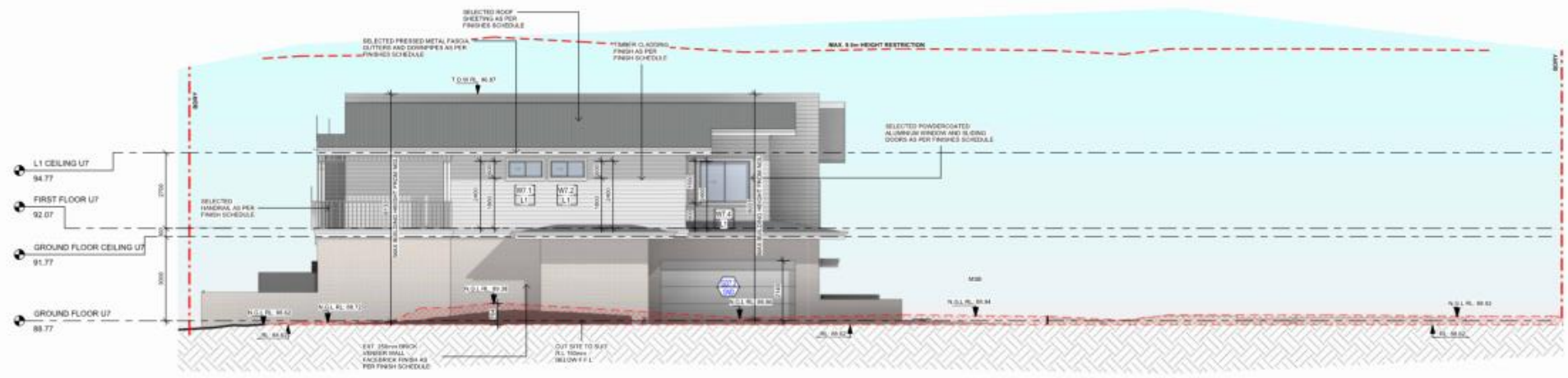
NOTE:
BEFORE STARTING WORK ON SITE, BUILDERS TO ENSURE TO CHECK VERIFY THE FOLLOWING:
- SERVICE LOCATIONS
- SEWER CONNECTION POSITIONS
- DRIVEWAY ALIGNMENT & LEVELS
- INDICATION DOWNPIPE LOCATION



1 WEST ELEVATION
1 : 100



2 SOUTH ELEVATION
1 : 100



3 INTERNAL WEST ELEVATION (UNIT 7)
1 : 100



I	REV. COUNCIL 3rd RPT	SP	SK	18.08.23
H	REV. COUNCIL ADVISE	SP	SK	11.07.23
G	REV. COUNCIL 2nd RPT ISSUE	SP	SK	30.06.23
T	CLIENT ISSUE	SP	SK	30.06.23
E	ISSUE	SP	SK	18.06.23
D	UPDATED FLOOR PLAN	HC	SP	18.06.23
C	ISSUE	HC	SK	08.12.22
NO	AMENDMENT	DES	DRA	DATE

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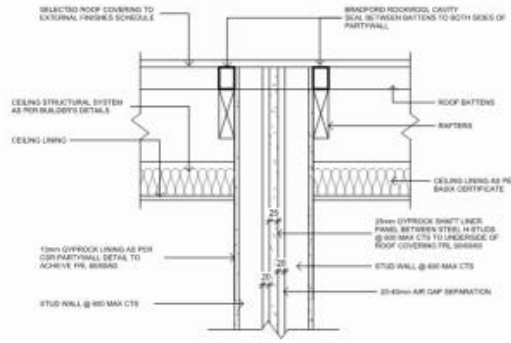


Client
MR STEPHEN McCULLEN

PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

SHEET SUBJECT
ELEVATIONS 2

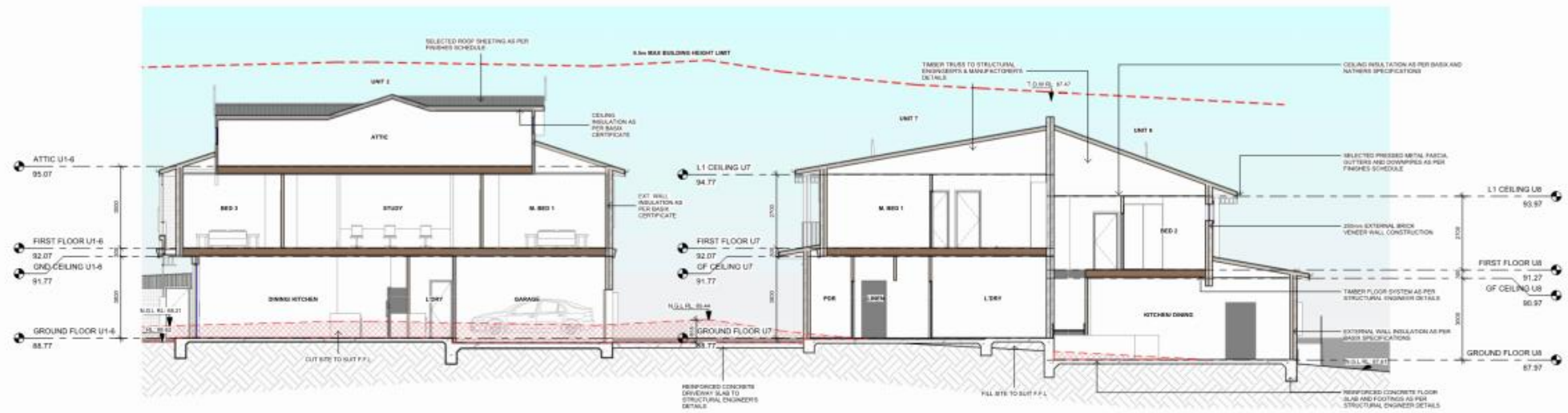
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Drawn:	SK, AL, AG
Checked:	SP
Scale:	1:100 @A1
Job No.:	21443
Drawn No.:	1
Checked No.:	A2002
DA 650E	



4 TYP. CSR SHAFT LINER U/SIDE ROOF DETAIL
1 : 10

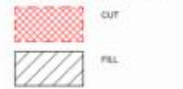


1 SECTION A-A U1-6
1 : 100

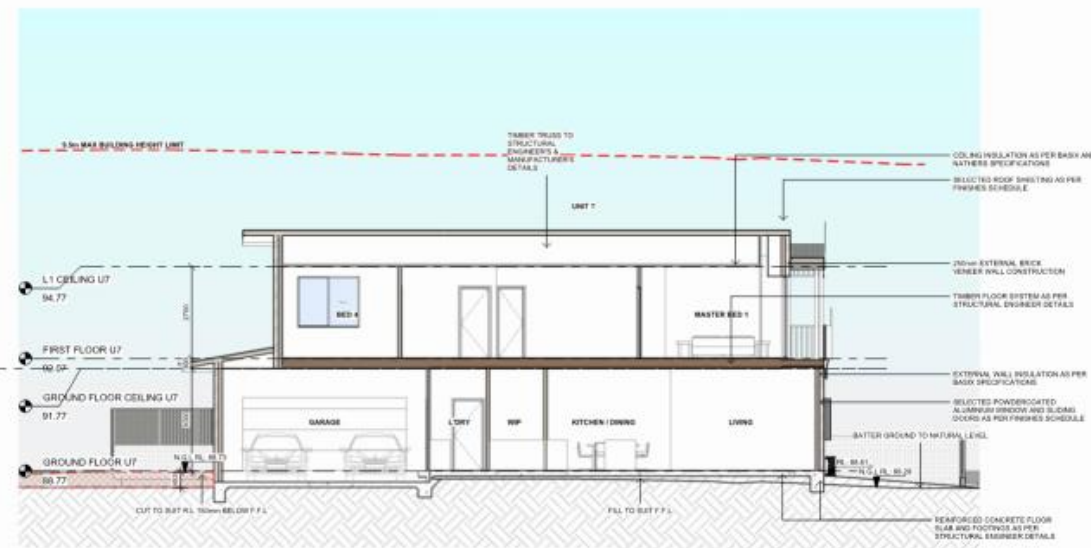


2 SECTION B-B
1 : 100

CUT AND FILL LEGEND:



NOTE:
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- SERVICE LOCATIONS
- SEWER CONNECTION POSITIONS
- DRIVEWAY ALIGNMENT & LEVELS
- INDICATION DOWNPIPE LOCATION



3 SECTION C-C U7
1 : 100



NO	AMENDMENT	DES	DRA	DATE
1	PRE-COUNCIL 3rd RFI	SP	SK	16.08.23
2	PRE-COUNCIL 4th RFI	SP	SK	11.07.23
3	PRE-COUNCIL 2nd RFI ISSUE	SP	SK	30.06.23
4	CLIENT ISSUE	SP	SK	30.06.23
5	DA ISSUE	SP	SK	19.05.23
6	LIFTED FLOOR PLAN	HC	SP	18.05.23
7	DA ISSUE	HC	SK	08.12.22

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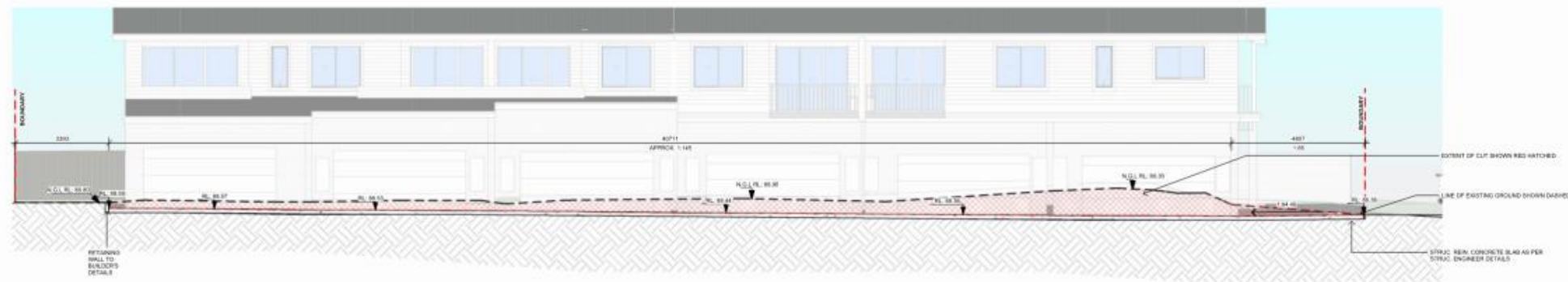
Client
MR STEPHEN McCULLEN

PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

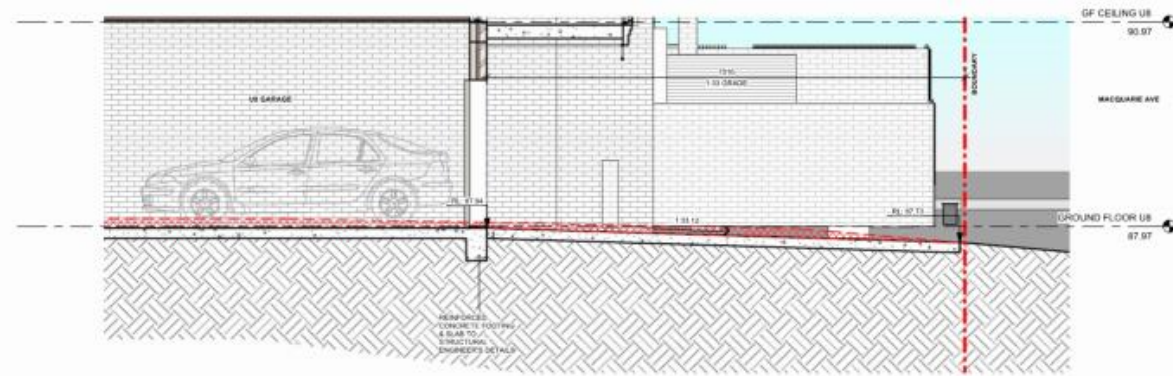
SHEET SUBJECT
SECTIONS

Print Date: 15.08.23
Drawn: SK, AL, AG
Checked: SP
Scale: As indicated

DA ISSUE
21443
A3001

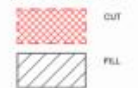


1 DRIVEWAY SECTION
1:100



2 DRIVEWAY SECTION UNIT 8
1:50

CUT AND FILL LEGEND:



NOTE:
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- SERVICE LOCATIONS
- SEWER CONNECTION POSITIONING
- DRIVEWAY ALIGNMENT & LEVELS
- INDICATION DOWNPIPE LOCATION



NO	AMENDMENT	DES	DRA	DATE
I	PRE-COUNCIL 3rd RPT	SP	SK	18.08.23
H	PRE-COUNCIL ADVISE	SP	SK	11.07.23
G	PRE-COUNCIL 2nd RPT ISSUE	SP	SK	30.06.23
F	CLIENT ISSUE	SP	SK	30.06.23
E	DA ISSUE	SP	SK	18.06.23
D	UPDATED FLOOR PLAN	HC	SP	18.06.23
C	DA ISSUE	HC	SK	08.12.22

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Client
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PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

SHEET SUBJECT
SECTIONS 2 AND DRIVEWAY SECTIONS

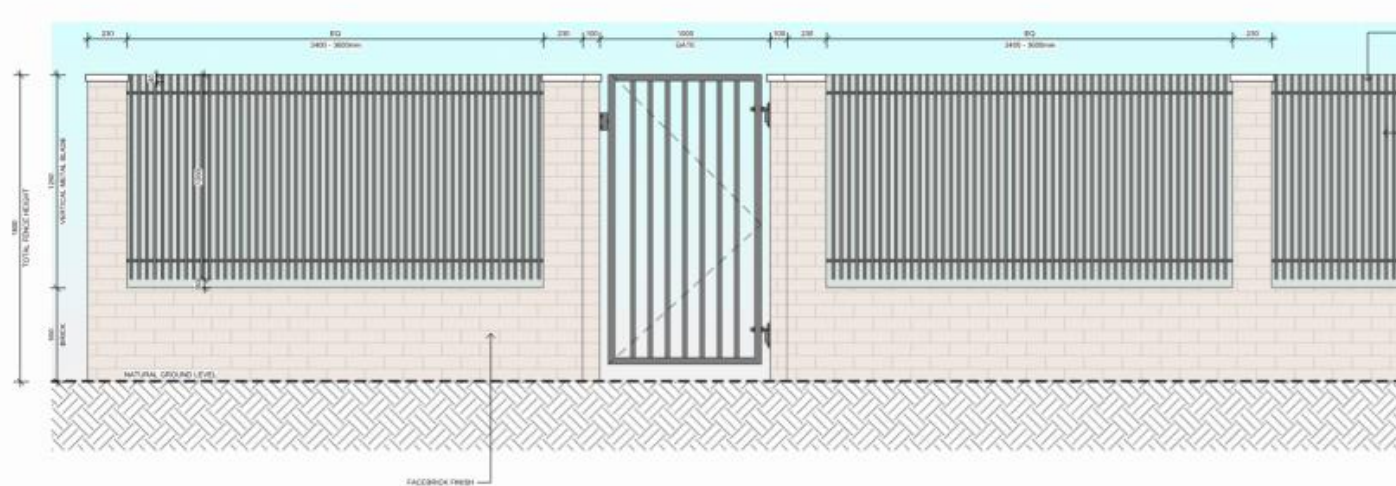
Print Date: 18.08.23	Drawn: SK, AG	Checked: SP	Scale: As indicated @ A1
Job No: 21443	Drawn No: 1	Sheet No: A3002	DA 656E



1 MACQUARIE AVE STREETScape
1:100



2 OLD HUME HIGHWAY STREETScape
1:100



4 FENCING & ACOUSTIC DETAILS
1:20

3 TYP. FENCE DETAIL
1:20

NO	AMENDMENT	DES	DRA	DATE
1	PRE-COUNCIL 3rd RFI	SP	SK	16.08.23
2	PRE-COUNCIL 4th RFI	SP	SK	11.07.23
3	PRE-COUNCIL 2nd RFI ISSUE	SP	SK	30.06.23
4	CLIENT ISSUE	SP	SK	30.06.23
5	DA ISSUE	SP	SK	19.05.23
6	LIFTED FLOOR PLAN	HC	SP	18.05.23
7	DA ISSUE	HC	SK	08.12.22

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PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

SHEET SUBJECT
STREETSCAPE & TYP. FENCE DETAIL

Print Date: 16.08.23
Drawn: SK, AG
Checked: SP
Title: As indicated

DA ISSUE
JOB NO: 21443
Drawing No: A6001





① STREET PERSPECTIVE



② AERIAL PERSPECTIVE

EXTERNAL FINISHES SCHEDULE:

MAIN EXTERNAL WALL - BRICKWORK - SMOOTH - AUSTRAL - SAN BELMO RECLAIMED COLOUR: LIME WASH OR SIMILAR	
MAIN EXTERNAL WALL - WEATHERBOARD CLADDING - JAMES HARRIS - LINGA - PAINT FINISH - DULUX COLOUR: LEXICON HALF OR SIMILAR	
ROOFING - SHEETING - COLORBOND - CUSTOM ORB COLOUR: WOODLAND GREY OR SIMILAR	
FASCIA, GUTTER & DOWNPIPES - PRESSED METAL - POWDERCOATED COLOUR: GLOSS WHITE OR SIMILAR	
FRONT ENTRY DOOR - PAINT FINISH - DULUX COLOUR: GLOSS WHITE OR SIMILAR	
GARAGE DOOR - PRESSED METAL - PANEL LEFT - POWDERCOATED COLOUR: GLOSS WHITE OR SIMILAR	
WINDOW AND DOOR FRAMES - ALUMINIUM - POWDERCOATED - GLOSS COLOUR: PEARL WHITE OR SIMILAR	
DRIVEWAY FINISH - CONCRETE - STEEL TROUSEL COLOUR: NATURAL GREY OR SIMILAR	
FENCE - BRICK FENCE WITH VERTICAL SLAT STYLE COLOUR: WOODLAND GREY OR SIMILAR	
FENCE - METAL PANEL FENCE - COLORBOND COLOUR: WOODLAND GREY OR SIMILAR	



I	REV. COUNCIL 3rd RPT	SP	SK	18.08.23
H	REV. COUNCIL ADVISE	SP	SK	11.07.23
G	REV. COUNCIL 2nd RPT ISSUE	SP	SK	30.06.23
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PROJECT
TOWNHOUSES
16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE,
CAMDEN NSW 2570
LOT 11 & LOT 12 DP 589227

SHEET SUBJECT
PERSPECTIVES & EXTERNAL FINISHES SCHEDULE

Print Date: 18.08.23
Drawn: SK, RL, AG
Checked: SP
Scale: 1:100 @A1
Job No: 21443
Drawing No: A7001
DA 650E

WINDOW SCHEDULE table with columns: MARK, LEVEL, LOCATION, HEIGHT, WIDTH, FRAME, WINDOW TYPE, ADDITIONAL INFO. Rows include Ground Floor U1-6, First Floor U1-6, and Attic U1-6.

DOOR SCHEDULE table with columns: MARK, LEVEL, LOCATION, HEIGHT, WIDTH, FRAME, DOOR TYPE, ADDITIONAL INFO. Rows include Ground Floor U1-6, Ground Floor U7, and First Floor U7.

BASIX COMMITMENTS:

CERTIFICATE NUMBER: 127681M_03

WATER COMMITMENTS
- WATER TANK CAPACITY OF 2000 LITRES FOR EACH OF 20 UNITS
- 1200+Y ROOF AREA IN TOTAL FOR RAINWATER COLLECTION
- RAINWATER TO BE CONNECTED TO ALL TOILETS, GARDEN TAPS FOR LAWN, SHOWER HEADS - 4 STARS +4.8 BUT <u>

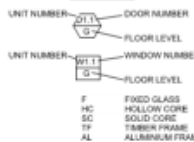
WATER COMMITMENTS (continued)
- TOILET FLUSHING SYSTEM - 4 STARS
- KITCHEN TAPS - 4 STARS
- BATH TAPS - 4 STARS

THERMAL COMFORT COMMITMENTS
- PROVIDE INSULATION OF R2.5 TO SUSPENDED FLOOR ABOVE ENCLOSED SUBFLOOR
- WALL INSULATION - BRICK VENEER R2.5 INSULATION PLUS R1 BREATHABLE WRAP
- PROVIDE CEILING ROOF INSULATION - R5.0 INSULATION PLUS R1 SINGLE SIDED FOIL
- GLAZING - U VALUE 0.60 SHGC<=0.36 U VALUE 0 TO SHGC<=0.76 U VALUE 0.40 SHGC<=0.68 AS PER BASIX

ENERGY COMMITMENTS
- HWIS IS TO BE GAS INSTANTANEOUS WITH A 6.5 STARS PERFORMANCE
- COOLING AND HEATING SYSTEM IS TO BE 3 PHASE AIRCONDITIONERS WITH AN ENERGY RATING MIN= EER 3.5 - 4.0 (ZONED)
- THE HEATING AND COOLING SYSTEM MUST PROVIDE FOR DAY/NIGHT ZONING
- LAUNDRY TO BE MECHANICALLY VENTILATED DUCTED TO FACADE OR ROOF WITH MANUAL ON/OFF
- KITCHEN & BATHROOM FANS ARE TO BE DUCTED TO FACADE OR ROOF WITH MANUAL ON/OFF
- LIGHTING - PRIMARY TYPE OF ARTIFICIAL LIGHTING MUST BE FLUORESCENT OR LIGHT EMITTING DIODE (LED) IN ALL ROOMS
- MUST CONSTRUCT EACH REFRIGERATOR SPACE WITH 'WELL VENTILATED' AS PER BASIX

NOTES ABOVE SPEC & DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE REPORT.

LEGEND:



WINDOW NOTES:

- ALL WINDOW OPENINGS 2m ABOVE NATURAL GROUND AND OPENING LOWER THAN 100mm FROM FINISHED FLOOR LEVEL, BUT BE FITTED WITH EFFECTIVE OPENING MEASURING TAPE 100mm IN ACCORDANCE WITH THE NCC VOL 2 D3.3.2.2



Revision table with columns: NO, AMENDMENT, DES, DRA, DATE. Includes entries for Council and Client issues.

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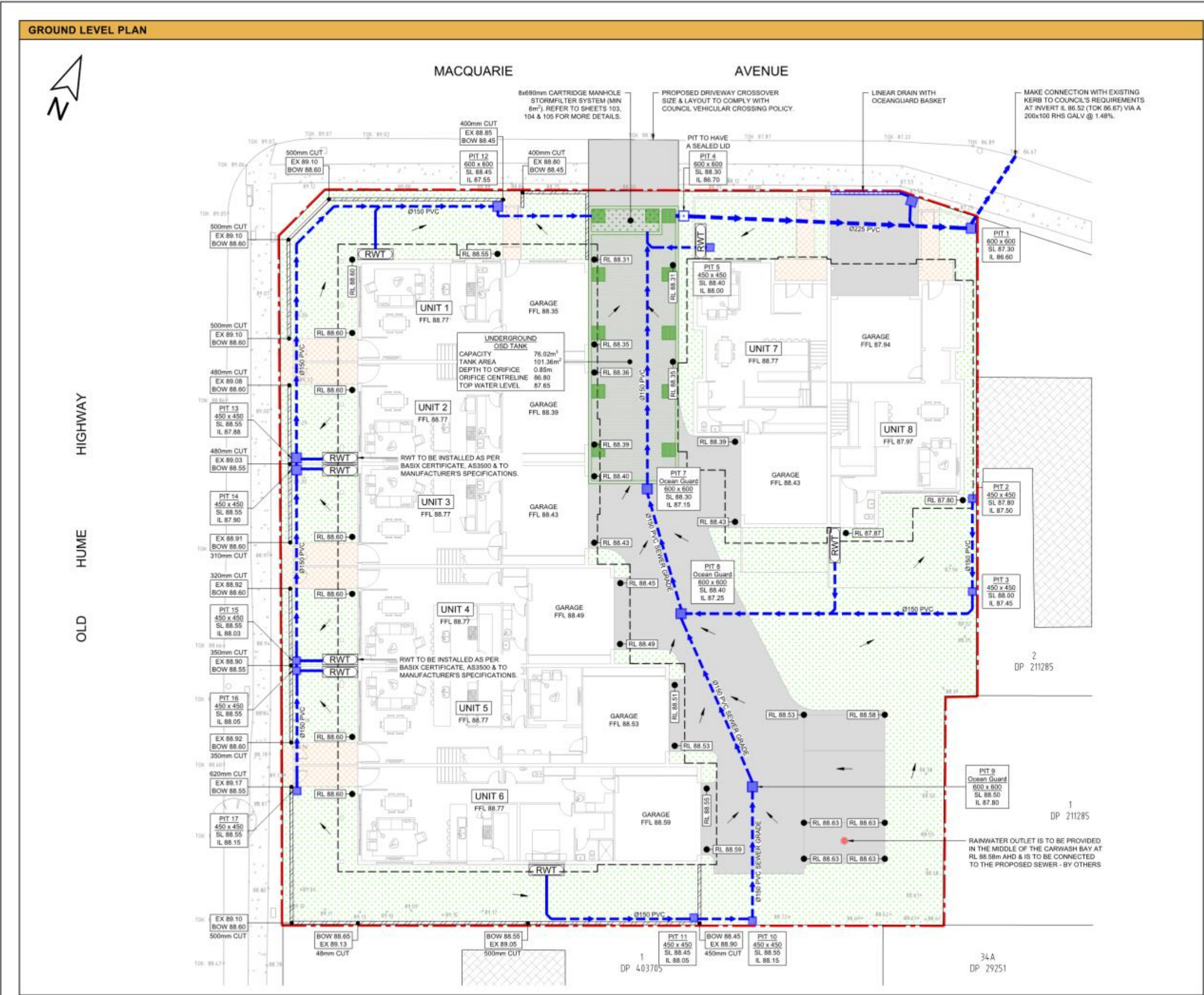
Client MR STEPHEN McCULLEN

PROJECT TOWNHOUSES 16 OLD HUME HIGHWAY & 42 MACQUARIE AVENUE, CAMDEN NSW 2570 LOT 11 & LOT 12 DP 589227

SHEET SUBJECT WINDOW & DOOR SCHEDULE

Print Date: 16.08.23 Drawn: SX, AL, AG Checked: SP Scale: 1:100 @A1

Project information box including Job No. 21443, Drawing No., and A9001 sheet identifier.



DIAL BEFORE YOU DIG NOTE

THE CONTRACTOR MUST CONTACT ALL SERVICES & MAINTAIN A SET OF 'DIAL BEFORE YOU DIG' DRAWINGS ON SITE AT ALL TIMES.

- PLUMBER & BUILDER NOTES**
- ALL STORMWATER DRAINAGE WORKS TO BE CONSTRUCTED BY A LICENSED PLUMBER / DRAINER IN ACCORDANCE WITH AS3500, BASIX REPORT & NCC.
 - LICENSED PLUMBER / DRAINER MUST PROVIDE WRITTEN CERTIFICATION THAT ALL MATERIALS & WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH AS3500, NCC, BASIX & THIS DESIGN. A COPY OF THIS CERTIFICATE MUST BE SENT TO US ON info@mbrcconsulting.com.au TO KEEP OUR RECORDS.
 - CHARGED STORMWATER TO BE A FULLY SEALED SYSTEM TO UNDER SIDE OF GUTTER TO AS3500 SECURELY FIXED TO BUILDING TO WITHSTAND MINIMUM 2.0m CHARGED HEAD WITHIN PIPE.
 - UNDER ANY CIRCUMSTANCES, THE PLUMBER OR BUILDER MUST NOT AMEND THE DESIGN OR INTERFERE WITH THE DESIGN INTENT WITHOUT WRITTEN APPROVAL FROM OUR OFFICE. ANY AMENDMENTS WITHOUT OUR APPROVAL WOULD RESULT IN ADDITIONAL FEES FOR REDESIGN AT OC STAGE, OR IF A SOLUTION CANNOT BE FOUND, RECONSTRUCTION IS REQUIRED UNDER THE CONTRACTOR'S EXPENSES.

LEGEND

- LOT BOUNDARY SHOWN IN RED & OUTSIDE FOR CLARITY
- PROPOSED CONCRETE AREA
- PROPOSED GRASS AREA
- PROPOSED PAVEMENT AREA
- EXISTING DWELLING
- EXISTING CONCRETE AREA
- PROPOSED OSD STORAGE AREA
- PROPOSED WATER QUALITY AREA
- PROPOSED GRAVITY STORMWATER PIPE
- PROPOSED GRATED / SEALED PIT
- PROPOSED GRATED DRAIN
- RWT RAINWATER TANK AS PER BASIX CERTIFICATE, AS3500 & TO MANUFACTURER'S SPECIFICATIONS
- SURFACE FLOW ARROWS
- (RL 22.22) DESIGN SURFACE LEVEL
- + 2L.45 EXISTING SURFACE LEVEL
- RETAINING WALL TO STRUCTURAL ENGINEER'S DETAILS
- TREES TO BE RETAINED

CONTRACTOR SHALL ENSURE & CERTIFY THAT ALL ROOF GUTTERS & DOWNPIPES CAPTURE & CONVEY MINIMUM Q₁₀₀ PEAK RAINFALL RUNOFF OF 100% OF THE PROPOSED ROOF TO THE PROPOSED RWT AS PER BASIX REQUIREMENTS - CONNECTION PIPES NOT SHOWN FOR CLARITY. PROPOSED PIPE DRAINING TO THE RWT IS TO BE UPSIZED TO Ø150 PVC AFTER 3 DOWNPIPES.

NOT FOR CONSTRUCTION COUNCIL APPROVAL ONLY

MBR Consulting Engineers Pty Ltd
 0424 711 117
 info@mbrcconsulting.com.au
 www.mbrcconsulting.com.au
 PO Box 6296, Blacktown NSW 2148
 ABRN: 61 625-079 923

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A	ISSUE FOR DEVELOPMENT APPLICATION	22/02/2022	MBR	MBR	ArkExpress Design Pty Ltd
B	ISSUE FOR DEVELOPMENT APPLICATION	06/12/2022	MBR	MBR	L1, Suite 3, 233 Carriway Vale Road, Carriway Heights NSW 2186
C	COUNCIL COMMENTS	09/01/2023	MBR	MBR	Phone: 02 6704 4331
D	COUNCIL COMMENTS	13/07/2023	MBR	MBR	Email: www.arkexpressdesign.com.au
E	COUNCIL COMMENTS	16/08/2023	MBR	MBR	

Client: **Mr. Stephen McCullin**

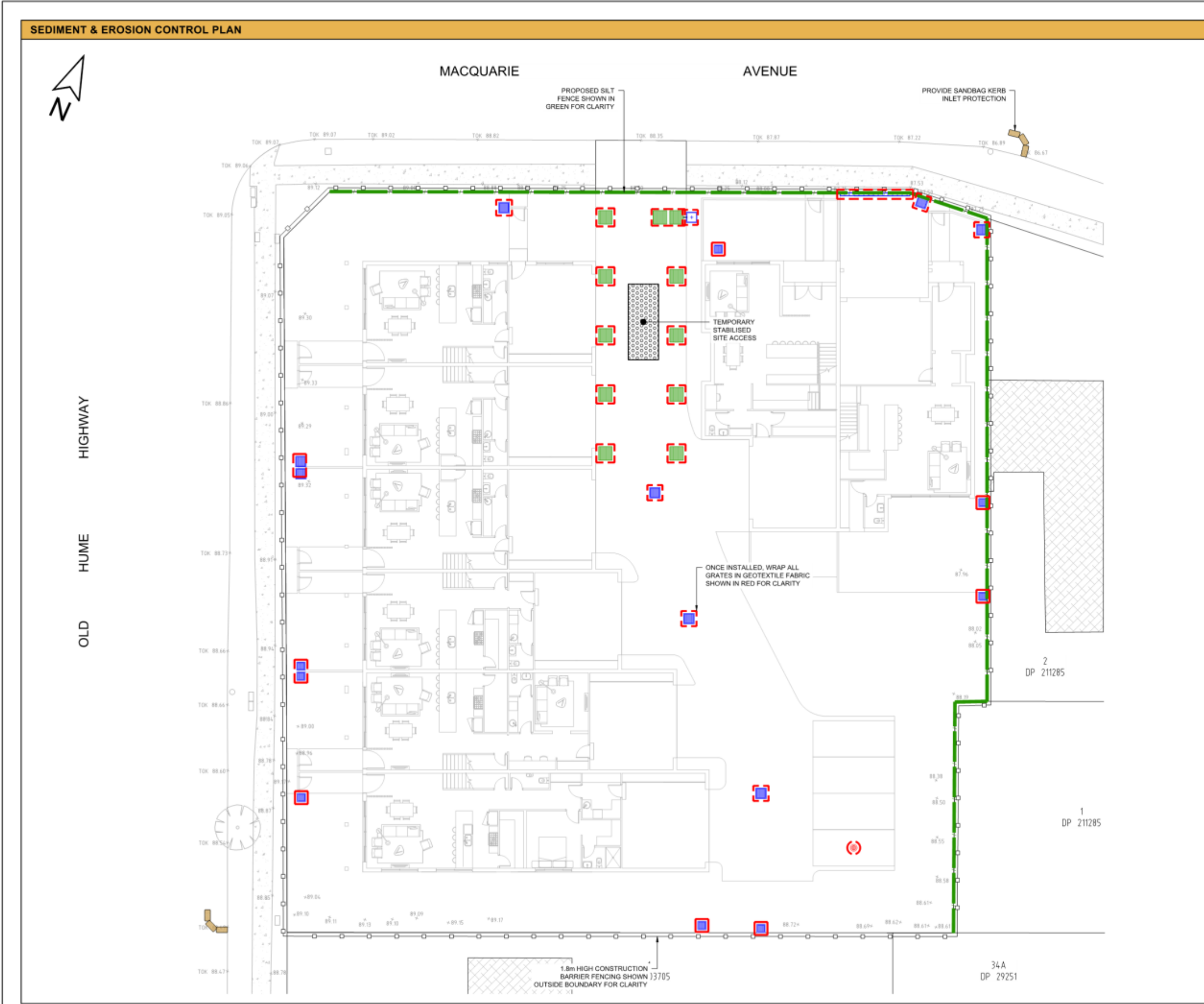
Scale: @ A1

SCALE: 1:125 @ A1

Project: **40-42 MACQUARIE AVENUE, CAMDEN NSW 2570**
PROPOSED TOWNHOUSE DEVELOPMENT
STORMWATER CONCEPT PLAN
 DEVELOPMENT APPLICATION

Drawing Title: **STORMWATER CONCEPT PLAN GROUND**

Project No: **21192**
 Draw No: **101**
 Rev: **E**



DIAL BEFORE YOU DIG NOTE



THE CONTRACTOR MUST CONTACT ALL SERVICES & MAINTAIN A SET OF 'DIAL BEFORE YOU DIG' DRAWINGS ON SITE AT ALL TIMES.

CONSTRUCTION SEQUENCE

1. INSTALL SEDIMENT FENCING & CUT DRAINS TO MEET THE REQUIREMENTS OF THE SEDIMENT & EROSION CONTROL PLAN. WASTE COLLECTION BINS SHALL BE INSTALLED ADJACENT TO THE SITE OFFICE.
2. CONSTRUCT STABILISED SITE ACCESS IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS.
3. REDIRECT CLEAN WATER AROUND THE CONSTRUCTION SITE.
4. INSTALL SEDIMENT CONTROL PROTECTION MEASURES AT ALL NATURAL & MAN-MADE DRAINAGE STRUCTURES. MAINTAIN UNTIL ALL THE DISTURBED AREAS ARE STABILISED.
5. CLEAR & STRIP THE WORK AREAS. MINIMISE THE DAMAGE TO THE GRASS & LOW GROUND COVER OF NON-DISTURBED AREAS.
6. ANY DISTURBED AREAS, OTHER THAN BUILDING PAD AREAS, SHALL IMMEDIATELY BE COVERED WITH SITE TOPSOIL WITHIN 7 DAYS OF CLEARING. BUILDING PAD AREAS SHALL BE COVERED WITH BITUMEN EMULSION AS SPECIFIED.
7. APPLY PERMANENT STABILISATION TO SITE (LANDSCAPING).

DUST CONTROL NOTES

1. PHYSICAL BARRIERS SHALL BE ERECTED AT RIGHT ANGLES & SHALL BE PLACED AROUND OR OVER DUST SOURCES TO PREVENT WIND FROM GENERATING DUST.
2. EARTHWORKS & SCHEDULING ACTIVITIES SHALL BE MANAGED TO COINCIDE WITH THE NEXT STAGE OF DEVELOPMENT TO MINIMISE THE AMOUNT OF TIME THE SITE IS LEFT TO CUT OR EXPOSED.
3. ALL MATERIALS SHALL BE STORED OR STOCKPILED AT THE BEST LOCATIONS.
4. THE GROUND SURFACE SHOULD BE DAMPENED SLIGHTLY TO PREVENT DUST FROM BECOMING AIRBORNE & SHOULD NOT BE WET ENOUGH TO PRODUCE RUN-OFF.
5. AT ALL TIMES, ALL VEHICLES CARRYING SOIL OR RUBBLE TO OR FROM THE SITE SHALL BE COVERED TO PREVENT THE ESCAPE OF DUST.
6. ALL EQUIPMENT WHEELS SHALL BE WASHED BEFORE EXITING THE SITE USING MANUAL OR AUTOMATED SPRAYERS & DRIVE - THROUGH WASHING BAYS.
7. GATES SHALL BE CLOSED BETWEEN VEHICLE MOVEMENTS & SHALL BE FITTED WITH SHADE CLOTH.
8. CLEANING OF FOOTPATHS & ROADWAYS SHALL BE CARRIED OUT DAILY.
9. ALL SPOIL & MATERIAL UNSUITABLE FOR USE IN LANDSCAPE AREAS SHALL BE REMOVED FROM SITE UPON COMPLETION OF WORKS.

SILT FENCE NOTES

1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH GALVANISED WIRE TIES, STAPLES OR ATTACHMENT BELTS.
2. POSTS SHOULD NOT BE SPACED MORE THAN 3.0m APART.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 150mm & FOLDED.
4. FOR EXTRA STRENGTH TO SILT FENCE, WOVEN WIRE (14mm GAUGE, 150mm MESH SPACING) TO BE FASTENED SECURELY BETWEEN FILTER CLOTH & POSTS BY WIRE TIES OR STAPLES.
5. INSPECTIONS SHALL BE PROVIDED ON A REGULAR BASIS, ESPECIALLY AFTER RAINFALL & EXCESSIVE SILT DEPOSITS REMOVED WHEN 'BULGES' DEVELOP IN SILT FENCE.
6. SEDIMENT FENCES SHALL BE CONSTRUCTED WITH SEDIMENT TRAPS & EMERGENCY SPILLWAYS AT SPACING NO GREATER THAN 40m ON FLAT TERRAIN DECREASING TO 20m SPACING ON STEEP TERRAIN.

STOCKPILE NOTES

1. PLACE STOCKPILES MORE THAN 2.0m (PREFERABLY 5.0m) FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS & HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT & ELONGATED MOUNDS.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2.0m IN HEIGHT.
4. WHERE THEY ARE TO BE PLACED FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED E.S.C.P. OR S.W.M.P. TO REDUCE THE C-FACTOR TO LESS THAN 0.1.
5. CONSTRUCT EARTH BANKS ON THE UPSTREAM SIDE TO DIVERT WATER AROUND STOCKPILES & SEDIMENT FENCES 1.0 TO 2.0m DOWNSTREAM.

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<p>MBR Consulting Engineers Pty Ltd 0424 711 117 info@mbrc consulting.com.au www.mbrconsulting.com.au PO Box 8288, Blacktown NSW 2148 ABN: 61 625 079 823</p>	<p>ALL RIGHTS RESERVED TO MBR CONSULTING ENGINEERS PTY LTD. NO PARTS OF THIS DOCUMENT MUST NOT BE COPIED OR ALTERED WITHOUT WRITTEN PERMISSION FROM MBR CONSULTING ENGINEERS PTY LTD.</p>	<p>ALL PLANS MUST BE PRINTED IN COLOUR & READ PRIOR TO CONSTRUCTION</p>	<p>Rev Description Date Design Check</p>	<p>Architect</p>	<p>Client Mr. Stephen McCullin</p>	<p>Scale @ A1 0 1 2 3 4 5 6 m SCALE 1:125 @ A1</p>	<p>Project 40-42 MACQUARIE AVENUE, CAMDEN NSW 2570 PROPOSED TOWNHOUSE DEVELOPMENT STORMWATER CONCEPT PLAN DEVELOPMENT APPLICATION</p>	<p>Drawing Title SEDIMENT & EROSION CONTROL PLAN</p>	<p>Project No. 21192 Dwg. No. 102 Rev. E</p>
			<p>A ISSUE FOR DEVELOPMENT APPLICATION 22/02/2022 MBR MBR</p> <p>B ISSUE FOR DEVELOPMENT APPLICATION 06/12/2022 MBR MBR</p> <p>C COUNCIL COMMENTS 09/06/2023 MBR MBR</p> <p>D COUNCIL COMMENTS 13/07/2023 MBR MBR</p> <p>E COUNCIL COMMENTS 16/08/2023 MBR MBR</p>	<p>ArkExpress Design Pty Ltd L1, Suite 3, 233 Carley Vale Road, Carley Heights NSW 2166 Phone: 02 8704 4331 Email: www.arkexpressdesign.com.au</p>					

OSD TANK DETAILS - PLAN VIEW

FOR OSD TANK STRUCTURAL DETAIL, REFER TO STRUCTURAL ENGINEER'S PLANS

900x900 CLASS C (HEAVY DUTY) HEEL PROOF HINGED GALVANIZED MILD STEEL GRATE FRAME FITTED WITH CHILDPROOF LOCKING DEVICES (TYP)

3mm S.S ORIFICE PLATE EPOXY & DYNABOLTED TO PIT WALL WITH MACHINED ORIFICE

Ø150 PVC INLET PIPE

Ø225 PVC OUTLET PIPE

PROPOSED 8 x 690mm CARTRIDGE STORMFILTER CHAMBER TO BE MIN 6.0m² (4.5m x 1.5m)

WSUD WEIR TO BE AT RL 87.59

PROPOSED 1700 x 900 SUMP SHOWN DASHED

IL 86.90, IL 86.50, IL 86.80, IL 87.00

OCEANGUARD PIT DETAILS - PIT 7

600x600 CLASS C (HEAVY DUTY) HEEL PROOF HINGED GALVANIZED MILD STEEL GRATE FRAME FITTED WITH CHILDPROOF LOCKING DEVICES.

SL 88.30

RL 87.85

270mm HIGH OCEAN GUARD FILTER

Ø150 PVC INLET PIPE AT INVERT IL 87.15

Ø150 PVC OUTLET PIPE AT INVERT IL 87.15

OCEAN PROTECT NOTES

- PRECAST STRUCTURE SUPPLIED WITH CORE HOLES TO SUIT OUTER DIAMETER OF NOMINATED PIPE SIZE / MATERIAL.
- IF THE PEAK FLOW RATE, EXCEEDS THE PEAK HYDRAULIC CAPACITY OF THE PRODUCT, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.
- PRECAST STRUCTURE SHALL MEET W80 WHEEL LOAD RATING ASSUMING A MAXIMUM EARTH COVER OF 2.0m & A GROUND WATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. CERTIFYING ENGINEER TO CONFIRM ACTUAL GROUNDWATER ELEVATION. PRECAST STRUCTURE SHALL BE IN ACCORDANCE WITH AS3600.
- ALL WATER QUALITY TREATMENT DEVICES REQUIRE PERIODIC MAINTENANCE AS OUTLINED IN THE OAM GUIDELINES.
- SITE SPECIFIC PRODUCTION DRAWING WILL BE PROVIDED ON PLACEMENT OF ORDER.
- ANY BACKFILL DEPTH, SUB-BASE, & OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS & SHALL BE SPECIFIED BY SITE CIVIL ENGINEER.
- CONTRACTOR TO PROVIDE ALL EQUIPMENT WITH SUFFICIENT LIFTING & REACH CAPACITY TO LIFT & SET THE STORMFILTER STRUCTURE (LIFTING DETAIL PROVIDED SEPARATELY).
- CONTRACTOR TO APPLY SEALANT TO ALL JOINTS & TO PROVIDE, INSTALL & GROUT INLET & OUTLET PIPES.

OSD CALCULATIONS

DEPTH (mm)	AREA (m ²)	CUMULATIVE VOLUME (m ³)
0	15.68	0
100	15.68	0.784
400	15.68	5.488
600	15.68	8.624
800	15.68	11.760
840	15.68	12.387

OCEANGUARD PIT DETAILS - PIT 8

600x600 CLASS C (HEAVY DUTY) HEEL PROOF HINGED GALVANIZED MILD STEEL GRATE FRAME FITTED WITH CHILDPROOF LOCKING DEVICES.

SL 88.40

RL 87.95

270mm HIGH OCEAN GUARD FILTER

Ø150 PVC INLET PIPE AT INVERT IL 87.25

Ø150 PVC OUTLET PIPE AT INVERT IL 87.25

OCEANGUARD PIT DETAILS - PIT 9

600x600 CLASS C (HEAVY DUTY) HEEL PROOF HINGED GALVANIZED MILD STEEL GRATE FRAME FITTED WITH CHILDPROOF LOCKING DEVICES.

SL 88.50

RL 88.25

270mm HIGH OCEAN GUARD FILTER

Ø150 PVC INLET PIPE AT INVERT IL 87.80

Ø150 PVC OUTLET PIPE AT INVERT IL 87.80

ORIFICE PLATE DETAILS

MINIMUM 10mm GALVANISED STEEL DYNABOLTS OR EQUIVALENT.

MINIMUM 3mm THICK STAINLESS STEEL PLATE.

SHARP EDGED MACHINE CUT HOLE TO REQUIRED DIAMETER.

EPOXY RESIN ORIFICE PLATE TO WALL & PROVIDE SILICON SEALANT AROUND THE EDGES OF THE PLATE.

Ø15mm x 150mm 'DYNABOLTS'

Ø225mm DISCHARGE LINE

Ø73mm ORIFICE DIAMETER

3mm STAINLESS STEEL PLATE

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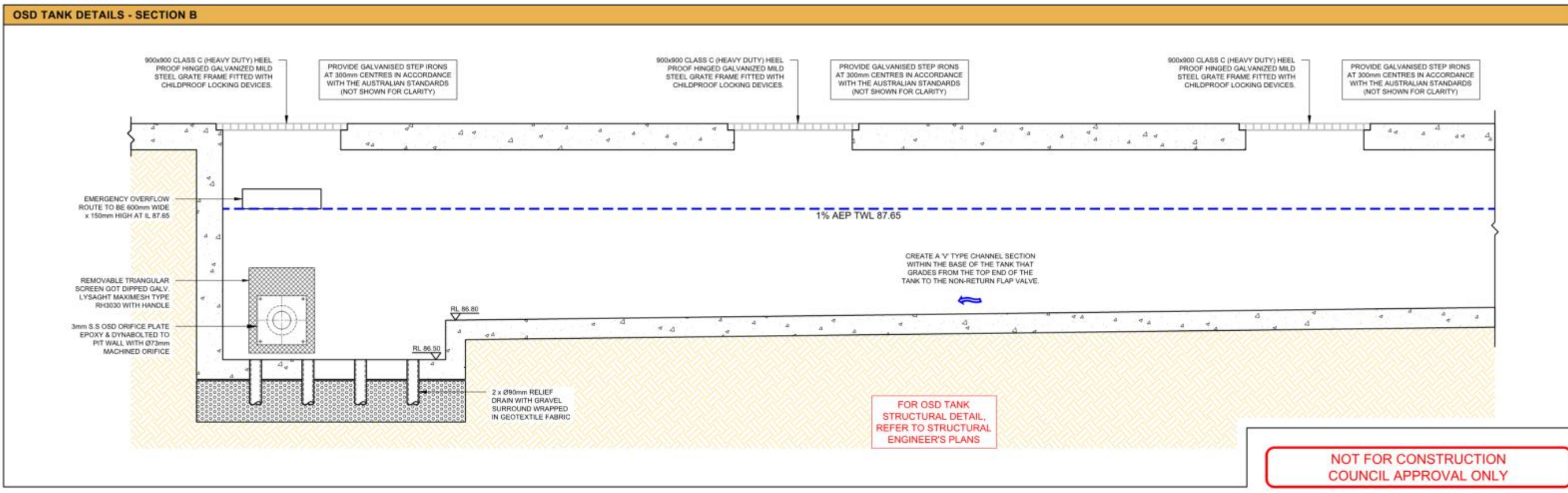
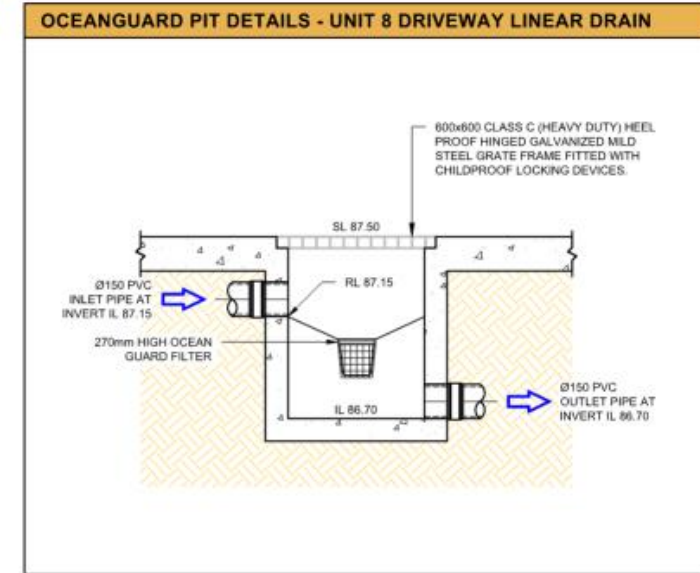
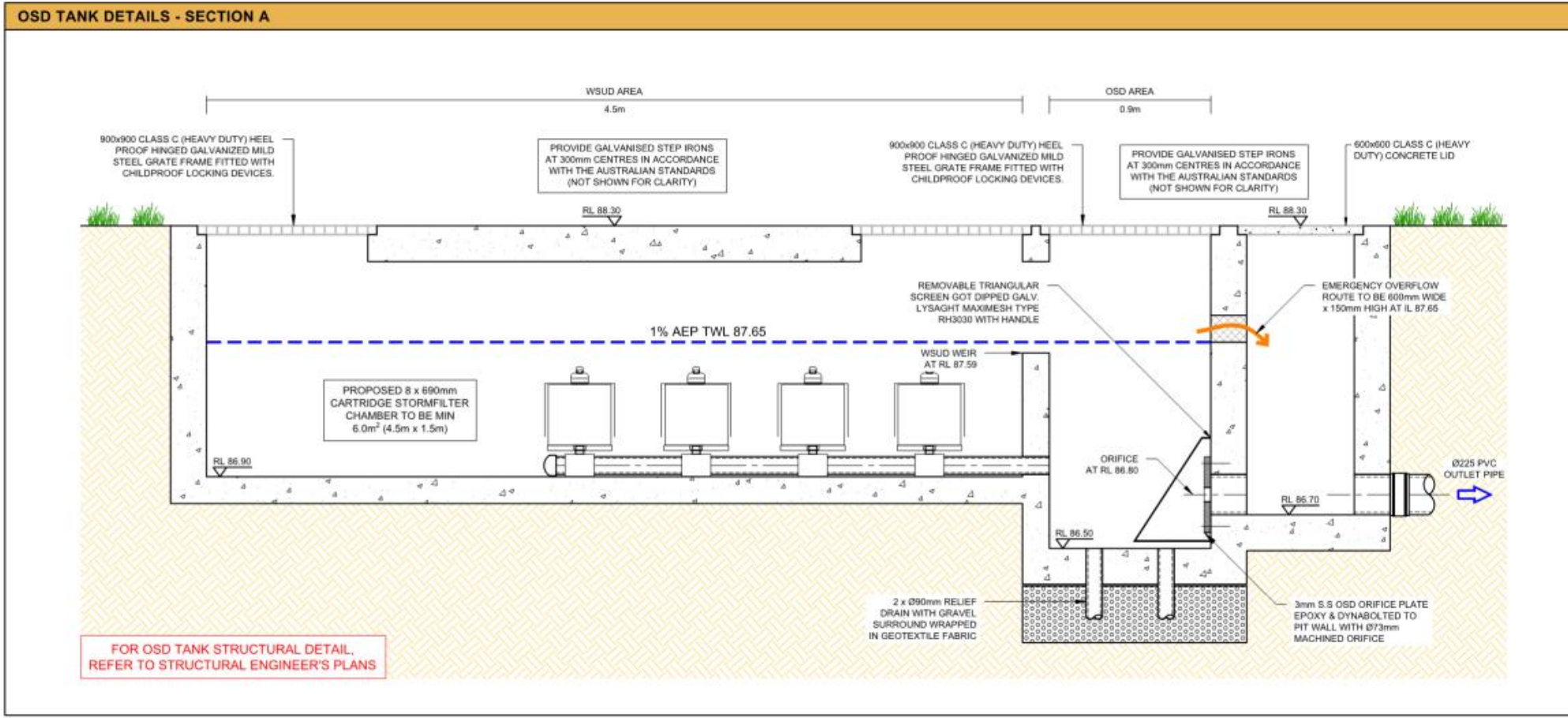
Client
Mr. Stephen McCullan

Scale @ A1

Project
40-42 MACQUARIE AVENUE, CAMDEN NSW 2570
PROPOSED TOWNHOUSE DEVELOPMENT
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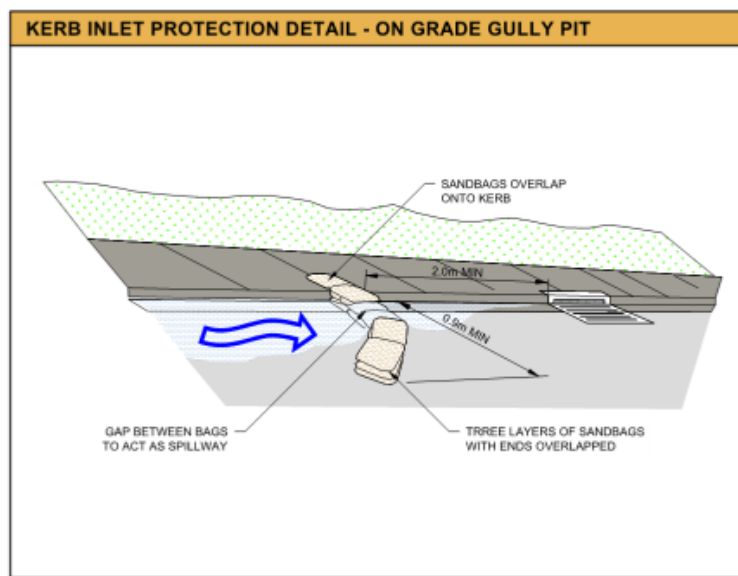
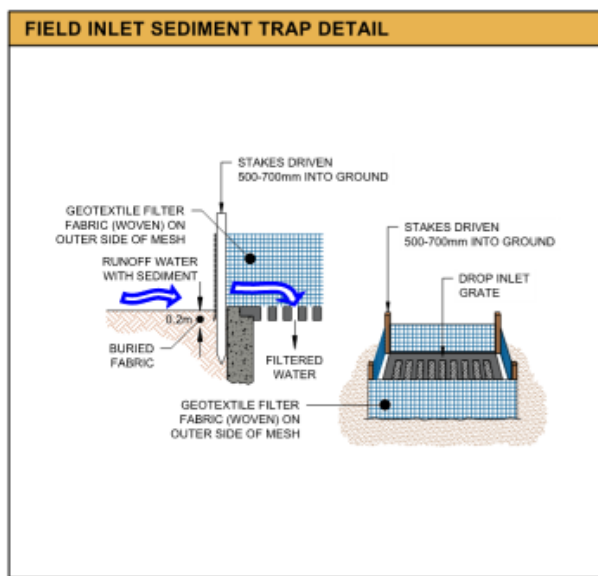
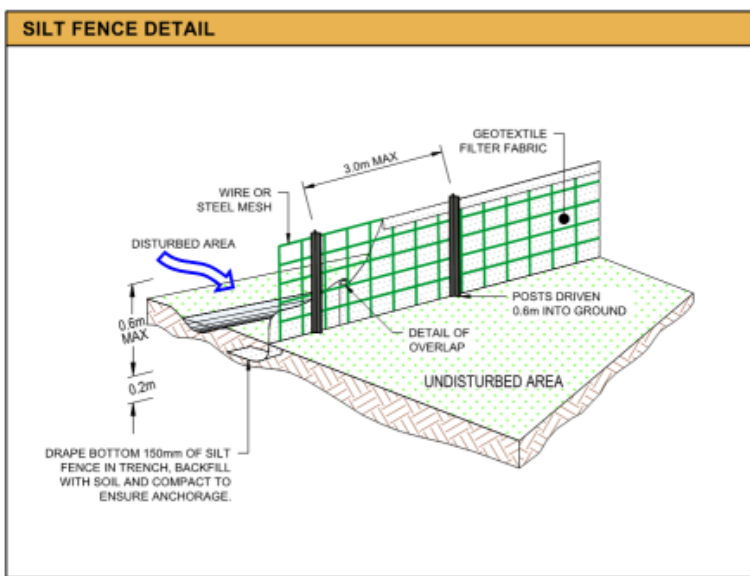
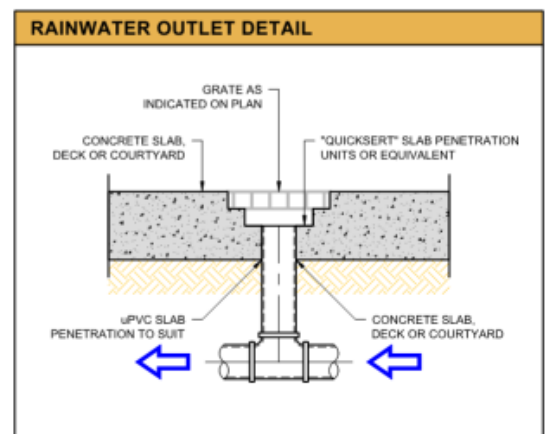
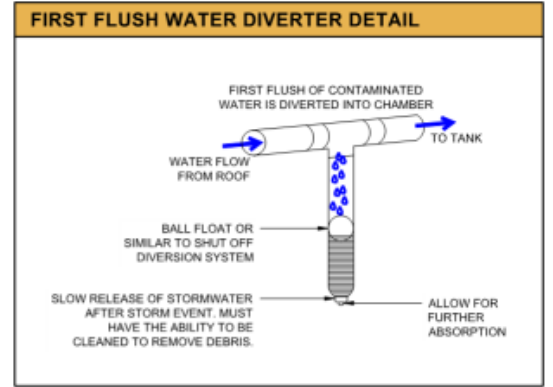
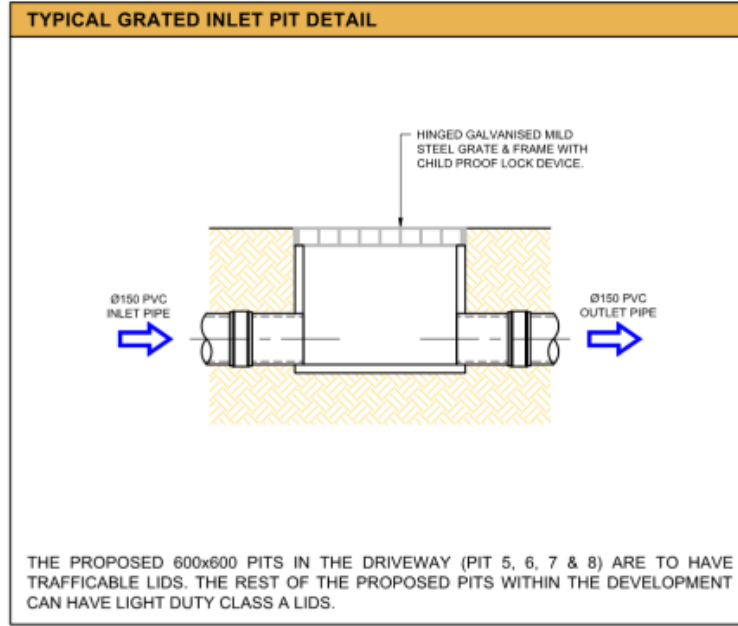
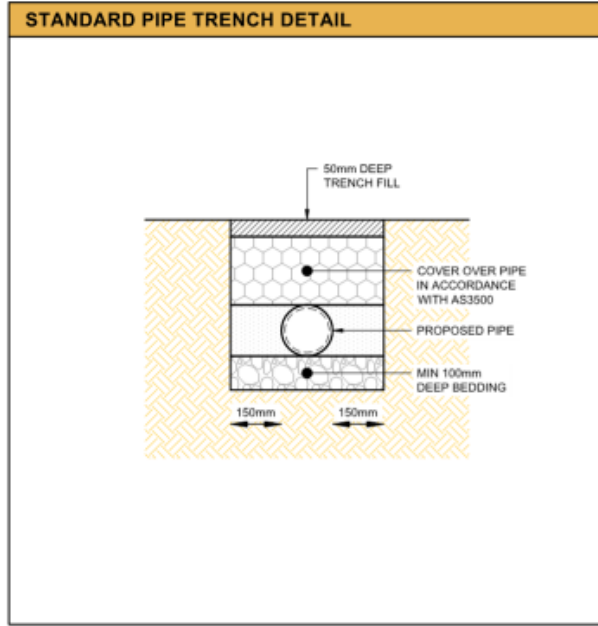
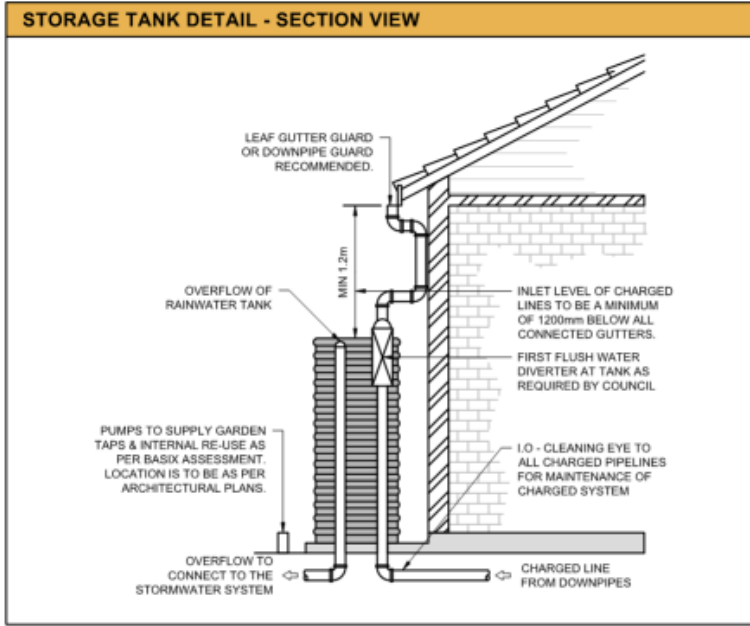
Drawing Title
OSD & WSUD DETAILS
& CALCULATION SHEETS
SHEET 2 OF 3

Project No. 21192
Dwg. No. 104
Rev. E

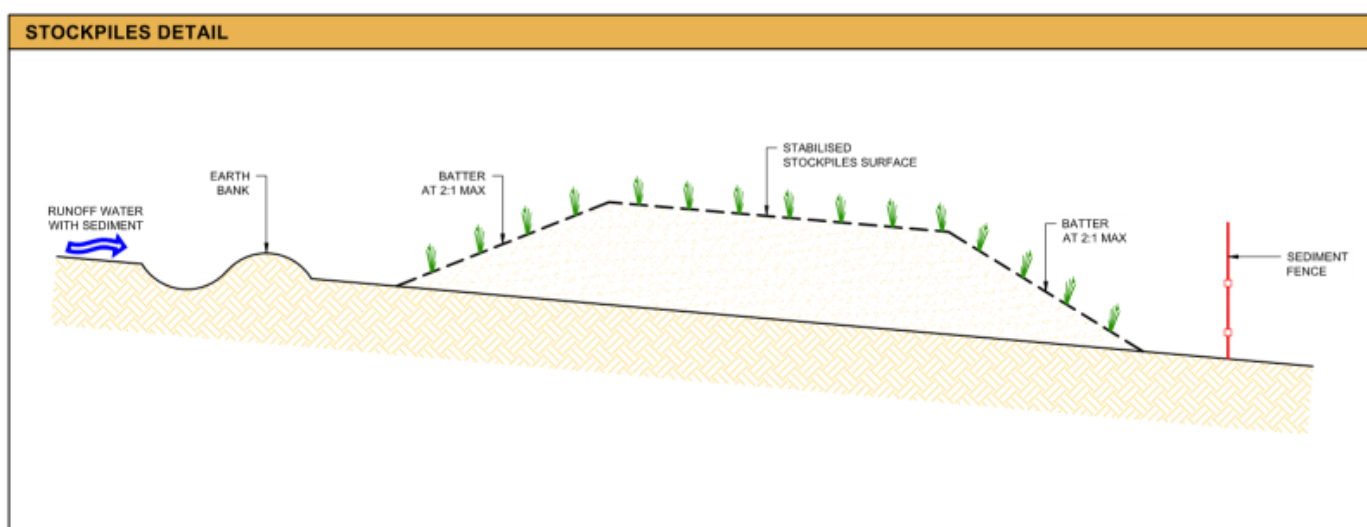
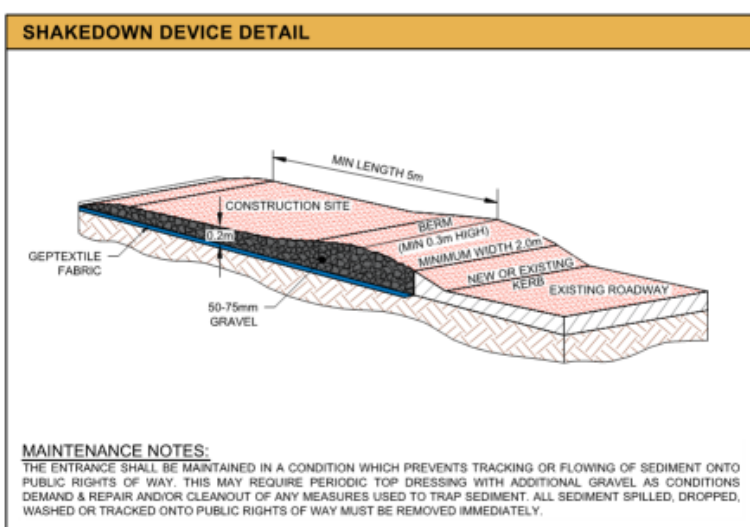


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Attachments for the Camden Local Planning Panel Meeting held on 17 October 2023 - Page 238



- ### STORAGE TANK NOTES
- TANK WATER TAPS SHALL BE MARKED 'RAINWATER NOT TO HUMAN CONSUMPTION'.
 - RAINWATER TANKS SHALL BE CONNECTED TO MAINS WATER SUPPLY AS BACK-UP.
 - THE PUMPS ARE TO BE INSULATED IN ACCORDANCE WITH COUNCIL POLICY.
 - PUMPS SHALL PROVIDE MINIMUM 150 kPa PRESSURE.
 - EACH TANK TO BE CONNECTED TO AN OUTDOOR TAP FOR IRRIGATION USE.
 - RAINWATER TANKS TO BE CLEANED OUT EVERY 6 MONTHS.
 - WATER TANK & ASSOCIATED STRUCTURE TO BE THE SAME COLOUR, OR A COLOUR COMPLEMENTARY TO THE DWELLING.
 - TOP TANK TO BE BELOW TOP OF NEAREST FENCE, OR 1.8m WHICHEVER IS LESS.
 - THE WATER TANK SHOULD BE LOCATED AT LEAST 450mm FROM ANY PROPERTY BOUNDARY. THE CLIENT IS RESPONSIBLE TO ENSURE COMPLIANCE WITH THIS IN THE INSTALLED STATE.
 - PLUMBING FROM THE WATER TANK IS TO BE KEPT SEPARATED FROM THE RETICULATED WATER SUPPLY SYSTEM.
 - TANK TO BE BUILT ON SELF-SUPPORTING BASE.
 - PROVIDE BACK-FLOW PREVENTION DEVICE AT MAINS WATER METER.
 - ROOF DRAINING TO TANK MUST NOT CONTAIN LEAD, TAR BASED PAINTS OR ASBESTOS.
 - WATER TO BE DRAWN FROM ANAEROBIC ZONE OF TANK.
 - TANK DETAILS SHOWN ARE A SUGGESTED CONFIGURATION ONLY. ANY MODIFICATION TO TANK VOLUME OR INLET & OUTLET LEVELS MUST BE APPROVED BY ENGINEER PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL JOINTS TO BE SOLVENT WELDED & ALL EXPOSED PIPE WORK TO BE PAINTED TO WITHSTAND EXTERNAL ELEMENTS.
 - FIRST FLUSH WATER DIVERTER AT TANK TO COMPLY WITH SYDNEY WATER & COUNCIL DCPS.
 - PUMPS TO MANUFACTURER SPECIFICATIONS.
 - RAINWATER TANK TO BE INSTALLED & MAINTAINED TO MANUFACTURER'S SPECIFICATIONS & TO COMPLY WITH ALL SYDNEY WATER GUIDELINES.
 - CLIENT TO BE RESPONSIBLE FOR MAINTENANCE SYSTEM OF CHARGED PIPELINES. DEBRIS ACCUMULATION SIGNIFICANTLY AFFECT SYSTEMS PERFORMANCE. MAINTENANCE PROGRAM ESSENTIAL.
 - STRUCTURAL DETAILS FOR TANK BASE BY MANUFACTURERS OR OTHERS.



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rev no.	details	signature	date
REV-A	FIRST ISSUE - DA	SZ	17.02.22
REV-B	ARCH CHANGES	SZ	10.03.22
REV-C	ARCH CHANGES	SZ	25.11.22
REV-D	ARCH CHANGES	SZ	05.12.22
REV-E	ARCH CHANGES	SZ	11.07.23

north point



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notes

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sussan zindo
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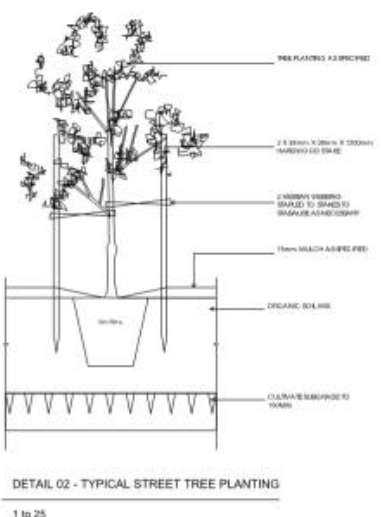
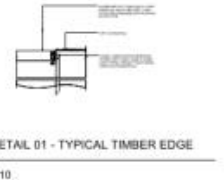
MR. STEPHEN MCCULLEN
C/O ARKEXPRESS

title

40-42 MACQUARIE AVE
CAMDEN
LANDSCAPE PLAN

date 120222 scale 1:100 original A1 designer SZ

project no. 22 02001 dwg no. L-01 rev no. E



SYMBOL	Botanical Name	Common Name	Container Size	Details	Total Quantity
TREES					
CP	CUPANIOPSIS ANACARDIODES	Tuckeroo	75L TR	Property tree - Native	4
ER	ELAEOCARPIS RETICULATIS 'BELLA DONNA'	Blueberry Ash	75L TR	Property tree - Native	6
WH	WATERHOUSIA FLORIBUNDA	Sweeper	75L TR	Property tree - Native	2
SHRUBS					
SZ	SYZYGIUM AUSTRALE 'SAN01'	Straight and Narrow	200MM	Hedge - Native	172
WF	WESTRINGEA HYBRID 'WES08'	Aussie Box	200MM	Low Hedge - Native	83
GRASSES/GROUNDCOVERS					
CS	CALLISTEMON SPP 'CNU15'	Sweet Burst	200MM	Shrub - Native	22
DC	DIANELLA 'CLARITY BLUE'	Clarity Blue	140MM	Grass - Native	1124
TS	TRACHELOSPERMUM JASMINOIDES 'FLAT MAT'	Star Jasmine	140MM	Climber/Groundcover	12
MP	MYOPORUM PARVIFOLIUM 'PARV01'	Yareens	140MM	Groundcover - Native	49

PLANT PALETTE



SPECIFICATION:

Preparation and Cultivation:
General:
 All builders rubble, spoil and excess materials to be removed from all areas prior to the commencement of planting. No substitute material is to be used without prior approval from the Superintendent.
Weed Eradication:
 All noxious plants, weeds and grasses on the site and within the planting areas shall be eradicated before the commencement of landscape works.
Cultivation of natural ground:
 All natural garden areas are to be excavated to a depth of 150mm. Existing top soil is to be stockpiled onsite for reuse. Stockpiled topsoil is to be free of any foreign and/or deleterious material. The resultant subgrade is to be hand cultivated to a depth of 300mm. Where cultivation intrudes into clay soils, gypsum is to be added at a rate of 0.25kg/sq m. A depth of 150mm topsoil to AS.4419 or site topsoil is to be added to the garden beds and thoroughly turned in and integrated into the cultivated subgrade prior to planting.

Planting:
 All plants used are to have been grown, selected and planted in accordance with Natspec specifications. Plant sizes are to be in accordance with the included plant schedule.

Planting Style:
 The planting style for this property uses only native plants used to create a planting style which is hardy and interesting and high impact style. The use of plants with interesting/textural foliage and flowers will greatly enhance the site.

Mulch:
Material: Australian Native Landscapes Hardwood Chips or similar.
 Mulch is to be free of deleterious and extraneous matter such as soil, weeds and sticks. Use organic mulches which are free of stones. To AS 4454-2003.
Application: Place organic mulch clear of plant base to a total depth of 75mm, dishing down around the base of the plant.

Gravel:
 ANL Nepean River Gravel 10-20mm set in between Natural stone pavers/tiles as shown on plan.

Irrigation:
 The client may choose to have an approved automated drip irrigation system installed to the garden beds prior to planting. The system must have a backflow prevention. Drip lines are to be placed less than 400mm apart for even water distribution. Irrigation to be selected and operated in line with current Sydney Water requirements. Hockcocks to be provided in common areas.

Stormwater:
 For further details please see provided detailed design in accompanying documents.

Turf:
 Sir Walter Buffalo.

Landscape Management Statement:
 All landscape works are to be maintained for a period of 12 months from the date of practical completion. This includes all watering, weeding, spraying and re-mulching necessary to achieve vigorous growth. Any defects which arise during this period are to be rectified. Any plants or areas of turf which fail during this period are to be replaced at no additional cost. Mulch is to be kept at specified depths. All planting is to be watered on a regular basis to maintain moisture levels required for optimum growth. All beds and areas are to be maintained in order to achieve a weed free growth.

rev no.	details	signature	date
REV-A	FIRST ISSUE - DA	SZ	17.02.22
REV-B	ARCH CHANGES	SZ	10.03.22
REV-C	ARCH CHANGES	SZ	25.11.22
REV-D	ARCH CHANGES	SZ	05.12.22
REV-E	ARCH CHANGES	SZ	11.07.23

north point

notes

THIS DRAWING IS NOT FOR CONSTRUCTION. CONCEPT ONLY.

DO NOT SCALE THIS DRAWING. ANY REQUIRED DIMENSIONS NOT SHOWN SHALL BE REFERRED TO THE LANDSCAPE ARCHITECT FOR CONFIRMATION.

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CAMDEN
LANDSCAPE PLAN

date	scale	original	designer
120222		A1	SZ
project no.	dwg no.	rev no.	
22 02001	L-02	E	

CLPP04**CLPP04**

SUBJECT: DISCLOSURES BY PANEL MEMBERS RETURNS - 2022/2023
FROM: Governance Officer – Panel and Committees
EDMS #: 23/533271

PURPOSE OF REPORT

The purpose of this report is to recommend that the Panel note the tabling of the Disclosures by Panel Members Returns for 2022/2023.

BACKGROUND

Under Part 4 of the Local Planning Panels Code of Conduct, a Panel Member must complete and lodge a 'Disclosures of Pecuniary Interests and Other Matters' form with the Panel Chair. Returns are required to be tabled at a meeting of the Panel then a subsequent Council meeting.

FINANCIAL IMPLICATIONS

This matter has no direct financial implications for Council.

CONCLUSION

The completed Disclosures by Panel Members Returns for 2022/2023 are tabled.

RECOMMENDED

That the Camden Local Planning Panel note the tabling of the Disclosures by Panel Members for 2022/2023.

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