



Camden Council

Attachments

Ordinary Council Meeting
26 July 2016

Camden Civic Centre
Oxley Street
Camden



ORDINARY COUNCIL

ATTACHMENTS - ORDINARY COUNCIL

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ORD01

Attachment 1

GENERAL INFORMATION	
BUILDING CERTIFICATE NUMBER:	719827LJ3
CONSTRUCTION CERTIFICATE NUMBER:	
SITE DETAILS	
LOT NUMBER:	3213
DP NUMBER:	1184392
SITE AREA:	42,200m ²
HOUSE AREAS (INCLUDES ALL EXISTING WALLS):	126,000m ²
GROUND FLOOR:	126,000m ²
CEILING:	126,000m ²
ALFRESKO:	15,070m ²
PATIO:	4,940m ²
DRIVEWAY/PATHS TO BOUNDARY:	21,860m ²
PROJECT DETAILS	
NO. OF BEDROOMS:	4
CONDITIONED FLOOR AREA:	126,000m ²
UNCONDITIONED FLOOR AREAS:	8,200m ²
ROOF AREA:	217,410m ²
UNCOVERED TERRACE/DECKING/STAIRS:	217,410m ²
GARDEN & LAWNS:	215,210m ²
STORMWATER	
RAINWATER TANK SIZE:	3000 litres
ROOF AREA CONNECTED TO TANK/WATER:	217,410m ²
RAINWATER USES:	GARDEN/WC
REMAINDER OF ROOF/WATER & OVERFLOW TO:	STREET
WATER	
WASHEN TAP FITTING RATING:	4 STAR
SHOWERHEAD RATING:	3 STAR+4.5 (litre per minute)
TOLLET RATING - dual flush (2/6 star):	3 STAR
BATHROOM TAP FITTING RATING:	3 STAR
THERMAL COMFORT/ENERGY	
EXTERNAL WALL U-VALUE:	0.07
ROOF U-VALUE:	0.10
GLAZED WALL U-VALUE:	1.0
GLAZED WALL INSULATION:	R1.5 BATT + SPRAY
WALL COLOUR:	DARK
WOODING MATERIAL:	META
ROOF INSULATION:	50mm MINIMUM BLANKET
CEILING INSULATION:	R1.5 BATT
AIR CONDITIONING INCLUDED:	YES - 1 PHASE
EDF:	42.5
HOT WATER SYSTEM:	36 LITRE GAS INSTANT
STAR RATING:	5
FLOOR OR LED LIGHTING TO: BODS/LIVING/MEALS/LAUNDRY	6000K
COOKING APPLIANCES:	6000K
PRIVATE OPEN SPACE	
REQUIRED:	80m ²
PROVIDED:	80m ²
LANDSCAPING	
REQUIRED:	30%
PROVIDED:	50.00%
RIDGE HEIGHT	
REQUIRED:	9.5m
PROVIDED:	8.40m
SITE COVERAGE	
REQUIRED:	42.00%
PROVIDED:	42.00%
CARPARKING	
REQUIRED:	2 SPACES
PROVIDED:	3 SPACES

AMENDMENTS:

ISSUE A: REAR SIDE SIZES SHOWN ON BED 3 AND 4. AMEND TO SHOW CORRECT DIMENSIONS. RELOCATE BATHROOM AND FITTING WINDOW WITH RELOCATE HEAL/GARAGE WALL AND CREATE A COLUMN TO COVER DOORS TO INSIDE OF STAIRS IN HALLWAY. VANTYI BATHROOM WALL NOW BEING TIED IN TO END OF BATHROOM. RELOCATE BATHROOM TO BE IN LINE WITH BATHROOM. FIRST FLOOR WESTERN WALL STEEPED IN DOWN. DOWN BATTERS TO CREATE AN INSULATING AIR POCKET.

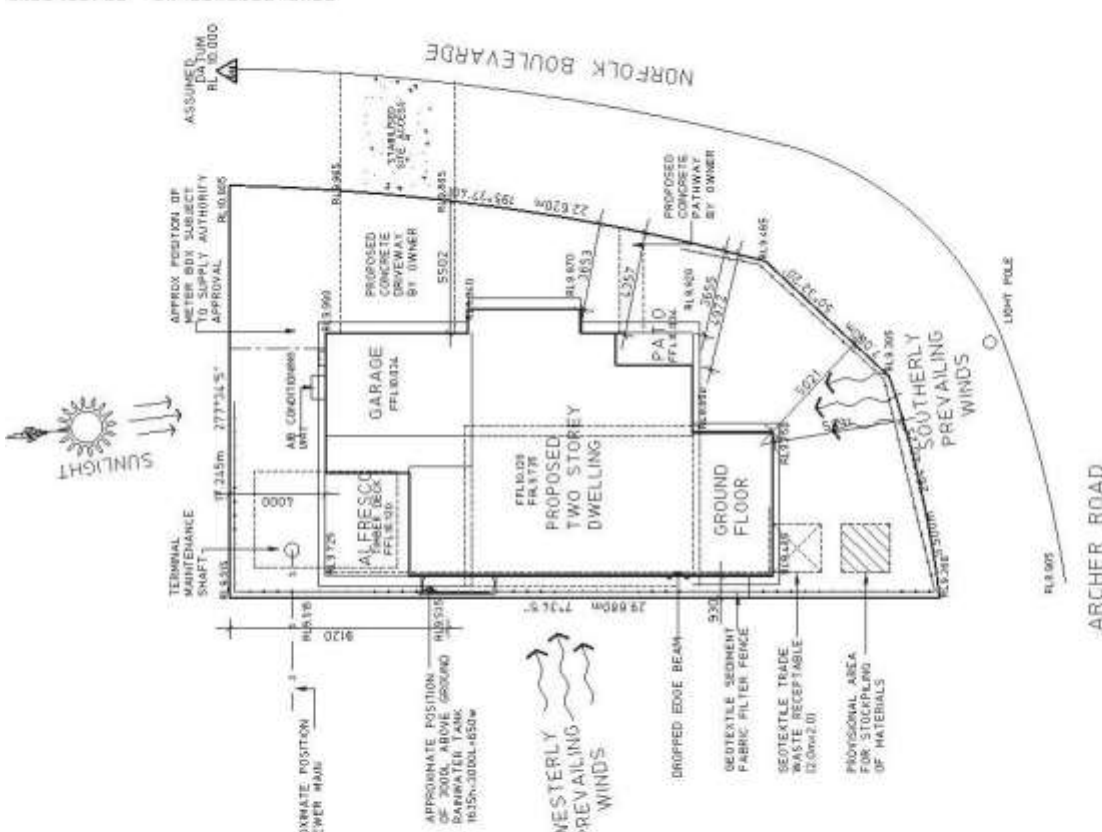
ISSUE B: AMEND GARAGE AND PATIO STEP OUT FROM 600mm TO 450mm. PUSH REAR WALL OF GARAGE BACK 250mm. AMEND GARAGE DOOR TO BE FORWARD ON SITE BY 10m.

ISSUE C: MOVE FRONT WALL OF GARAGE BACK 350mm. MOVE REAR WALL OF GARAGE BACK 250mm. EXTEND FRONT WALL OF LIVING OUT 1000mm WITH GARAGE REAR.

ISSUE D: ALL SITE AREA CALCULATIONS ADJUSTED ACCORDINGLY. NEW BUILDING CERTIFICATE - 719827LJ02.

ISSUE E: RELOCATE DOOR TO FACE ARCHER ROAD.

ISSUE F: BUILDING CERTIFICATE AMENDED ACCORDINGLY - 719827LJ03.



POSSIBLE BAS/BOS

DESIGN & BUILD
Making Dreams Reality

PH: 0407 699 871
kylieharmer@gmail.com

Designscape

PROPOSED DWELLING

CONSTRUCTION PLAN
ISSUE D

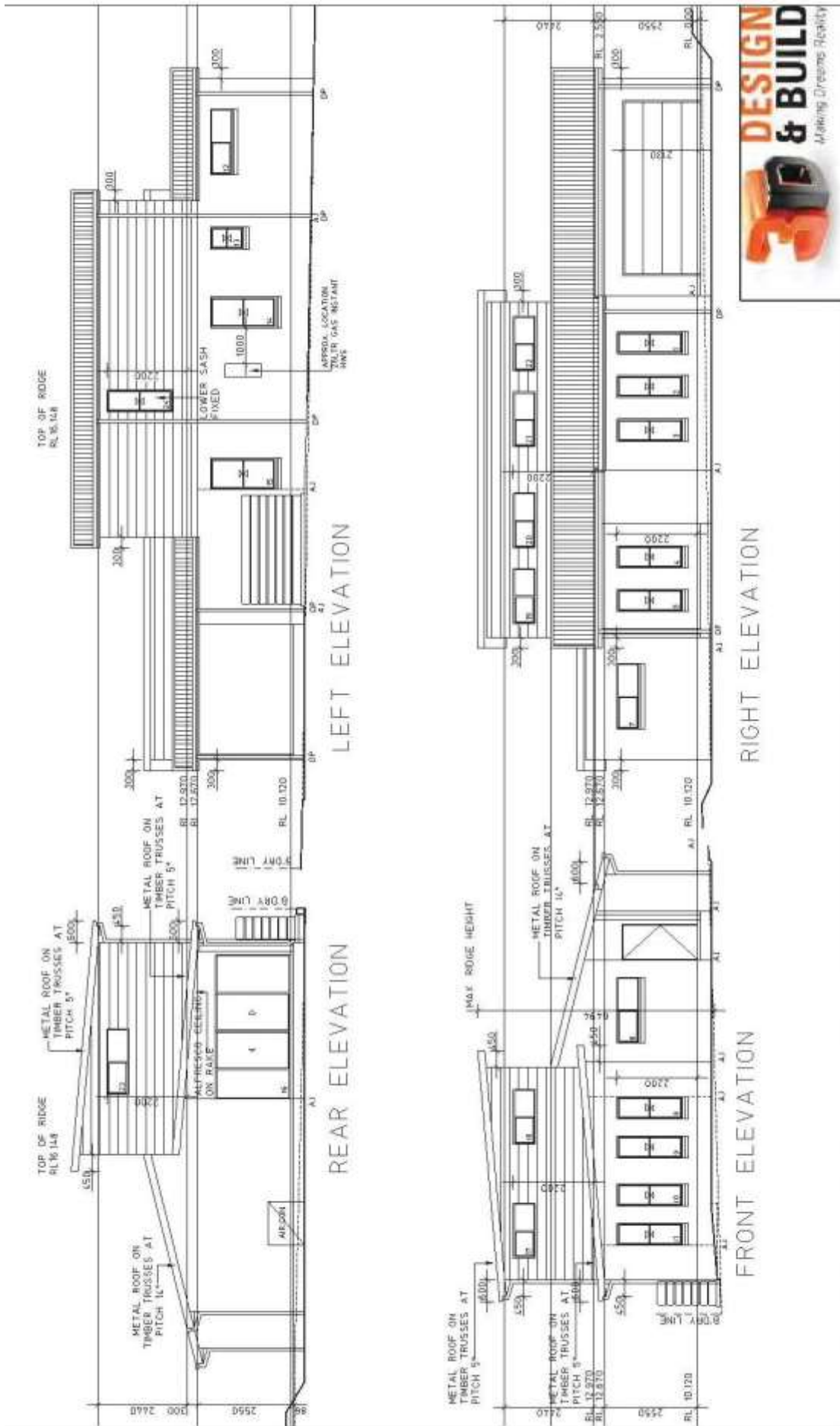
SITE PLAN

FOR: STEVE POHL
ADDRESS: LOT 5213 ARCHER ROAD
SPRING FARM

COUNCIL: CAMDEN

SCALE: 1:100
DP: 1184392
DATE: 28.06.16
PAGE: 1/5

ALL DIMENSIONS ARE APPROX ONLY
TOP FOR SITE





PH: 0407 699 871
 kylieharmer@gmail.com

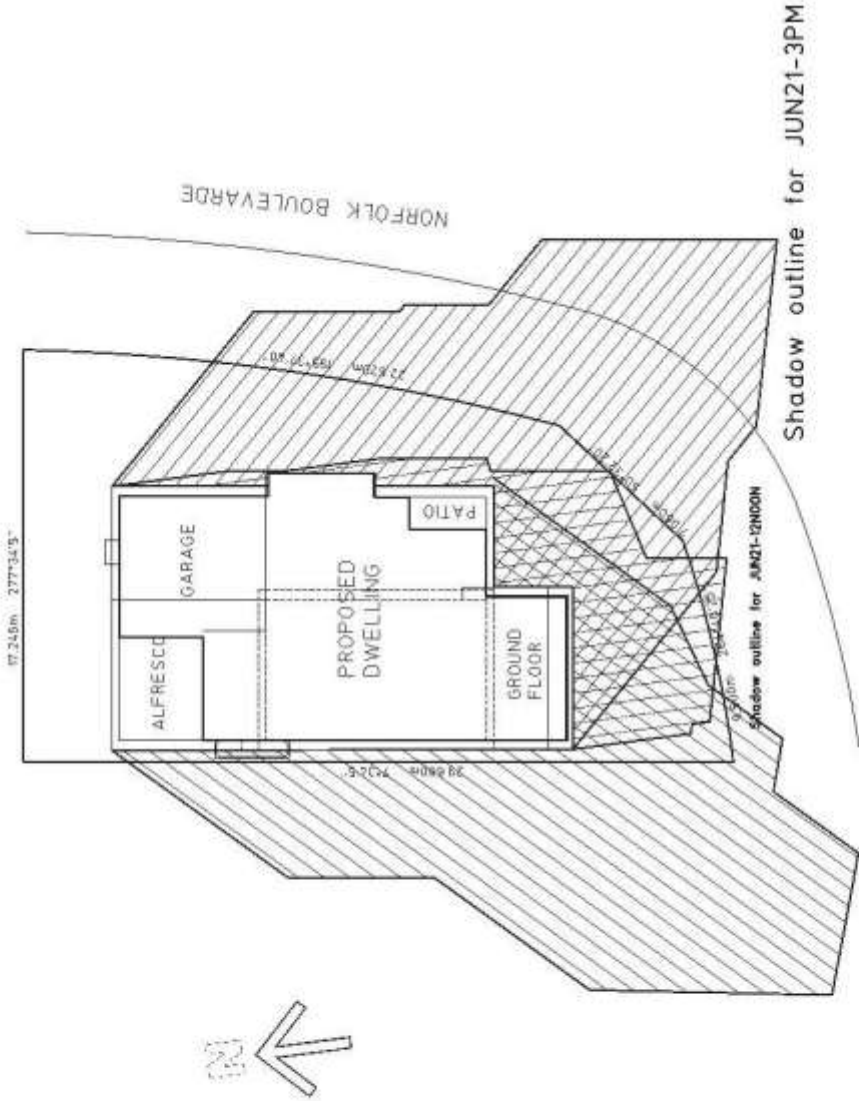


<p>PROPOSED DWELLING</p> <p>FOR: STEVE POHL ADDRESS: LOT 5213 ARCHER ROAD SPRING FARM</p> <p>COUNCIL: CAMDEN</p>	<p>CONSTRUCTION PLAN ISSUE D</p> <p>ELEVATIONS</p>
<p>SCALE: 1:100 DATE: 28/06/16 PAGE: 5/5</p> <p style="text-align: right;">ALL DIMENSIONS ARE APPROX ONLY UNLESS OTHERWISE STATED</p>	

ORD01

Attachment 1

AMENDMENTS:
 1. SUN TANK RELOCATED
 2. SUN TANK DIMENSIONS
 3. MOVE GARAGE AND PATIO STEP OUT FROM 810mm TO 1380mm
 4. HIGH REAR WALL OF GARAGE BACK 250mm
 5. MOVE WHOLE HOUSE FORWARD ON SITE BY 10m
 6. 2700mm - 850mm
 7. 2700mm - 850mm
 8. MOVE REAR BRICK WALL OF GARAGE BACK 225mm REMOVING ALFRESCO
 9. EXTEND FRONT WALL OF LIVING OUT 405mm
 10. RELOCATE PATIO FITTING BEAM TO LINE UP WITH GARAGE BEAM
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Designscape

PROPOSED DWELLING

FOR: STEVE POHL
 ADDRESS: LOT 5213 ARCHER ROAD
 SPRING FARM
 COUNCIL: CAMDEN

SCALE: 1:100
 DATE: 28.06.16
 PAGE: 1/1
ALL DIMENSIONS ARE APPROX. ONLY
 TOP TO SITE

SHADOWS

Details of Conditions:**1.0 - General Conditions of Consent**

The following conditions of consent are general conditions applying to the development.

- (1) **Approved Plans and Documents** - Development shall be carried out in accordance with the following plans and documentation, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
Issue D Page 1/5	Site Plan	Designscape	28 June 2016
Issue D Page 2/5	Floor Plan	Designscape	28 June 2016
Issue D Page 3/5	Floor Plan	Designscape	28 June 2016
Issue D Page 4/5	Section	Designscape	28 June 2016
Issue D Page 5/5	Elevations	Designscape	28 June 2016
Page 1/1	Drainage Plan	Designscape	28 June 2016

Document Title	Prepared by	Date
BASIC Certificate No. 715822S_03	Kylie Hammer	28 June 2016

- (2) **Modified Documents and Plans** - The development shall be modified as follows:
- a) Provide a schedule of colours to include a predominantly neutral palette of colours. Bright and highly reflective colours are to be avoided, except for architectural features. Multi-coloured roof tiles are not permitted.
- Amended plans or documentation demonstrating compliance shall be provided to the Certifying Authority and Council prior to the issue of a Construction Certificate.
- (3) **BASIX Certificate** - The applicant shall undertake the development strictly in accordance with the commitments listed in the approved BASIX certificate(s) for the development to which this consent applies.
- (4) **Building Code of Australia** - All building work shall be carried out in accordance with the BCA. In this clause, a reference to the BCA is a reference to that Code as in force on the date the application for the relevant Construction Certificate is made.
- (5) **Home Building Act** - Pursuant to Section 80A(11) of the *EP&A Act 1979*, residential building work within the meaning of the *Home Building Act 1989* shall not be carried out unless the PCA for the development to which the work relates:
- a) in the case of work for which a principal contractor has been appointed:
- i. has been informed in writing of the name and licence number of the principal contractor; and
 - ii. where required has provided an insurance certificate with the name of the insurer by which the work is insured under Part 6 of that Act.
- b) in the case of work to be carried out by an owner-builder;

- i. has been informed in writing of the name of the owner-builder; and
 - ii. if the owner-builder is required to hold an owner-builder permit under that Act; has provided a copy of the owner builder permit.
- (6) **Shoring and Adequacy of Adjoining Property Works** - If the approved development involves an excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, the person having the benefit of the consent shall, at the person's own expense:
- a) protect and support the adjoining building, structure or work from possible damage from the excavation; and
 - b) where necessary, underpin the building, structure or work to prevent any such damage.

This condition does not apply if the person having the benefit of the consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying

A copy of the written consent must be provided to the PCA prior to the excavation commencing.

2.0 – Prior to Issue of a Construction Certificate

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Structural Engineer's Details** - The piers/slabs/footings/structural elements shall be designed and certified by a suitably qualified structural engineer and shall take into consideration the recommendations of any geotechnical report applicable to the site. A statement to that effect shall be provided to the Certifying Authority.
- (2) **Building Platform** - This consent restricts excavation or fill for the purposes of creating a building platform. The building platform shall not exceed 2.0m from the external walls of the building. Where the external walls are within 2.0m of any property boundary, no parallel fill is permitted and a deepened edge beam to natural ground level shall be used. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
- (3) **Driveway Gradients and Design** - For all driveways that relate to development for the purposes of a dwelling house, the driveway gradient and design shall comply with AS 2890.1-2004 'Off street car parking' and:
 - a) the driveway shall comply with Council's Engineering Specifications;
 - b) the driveway shall be at least 1m from any street tree, stormwater pit or service infrastructure;
 - c) the level for the driveway across the footpath area shall achieve a gradient of 4%; and
 - d) a Public Road Activity approval must be obtained prior to the commencement of any works.

Details demonstrating compliance shall be provided to the Certifying Authority prior to issue of a Construction Certificate.

- (4) **Salinity (Dwellings & Outbuildings)** - The proposed dwelling, landscaping and associated works for the development shall comply with the requirements of the salinity management plan titled "Aggressiveness & Salinity Assessment 120 Springs Road Spring Farm, Prepared by SMEC Testing Services Pty Ltd, Project No. 16085/1101C, dated January 2012 (Report No. 12/0004)"

Alternatively, a site specific analysis including recommendations, prepared by a suitably qualified consultant and referencing Australian Standard AS2870-2011 and Council's Building in a Saline Prone Environment Policy shall be submitted to the Certifying Authority.

Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.

- (5) **Long Service Levy** - In accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986*, the applicant shall pay a long service levy at the prescribed rate to either the Long Service Payments Corporation or Council for any work that cost \$25,000 or more.

3.0 - Prior to Commencement of Works

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Notice of PCA Appointment** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 103 of the EP&A Regulation 2000. The notice shall include:
- a) a description of the work to be carried out;
 - b) the address of the land on which the work is to be carried out;
 - c) the registered number and date of issue of the relevant development consent;
 - d) the name and address of the PCA, and of the person by whom the PCA was appointed;
 - e) if the PCA is an accredited certifier, his, her or its accreditation number, and a statement signed by the accredited certifier consenting to being appointed as PCA; and
 - f) a telephone number on which the PCA may be contacted for business purposes
- (2) **Notice Commencement of Work** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 104 of the EP&A Regulation 2000. The notice shall include:
- a) the name and address of the person by whom the notice is being given;
 - b) a description of the work to be carried out;
 - c) the address of the land on which the work is to be carried out;

- d) the registered number and date of issue of the relevant development consent and construction certificate;
 - e) a statement signed by or on behalf of the PCA to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and
 - f) the date on which the work is intended to commence.
- (3) **Construction Certificate Required** - In accordance with the provisions of Section 81A of the *EP&A Act 1979*, construction or subdivision works approved by this consent shall not commence until the following has been satisfied:
- a) a Construction Certificate has been issued by a Certifying Authority;
 - b) a Principal Certifying Authority (PCA) has been appointed by the person having benefit of the development consent in accordance with Section 109E of the *EP&A Act 1979*;
 - c) if Council is not the PCA, Council is notified of the appointed PCA at least two (2) days before building work commences;
 - d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and
- the PCA is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
- (4) **Sign of PCA and Contact Details** - A sign shall be erected in a prominent position on the site stating the following:
- a) that unauthorised entry to the work site is prohibited;
 - b) the name of the principal contractor (or person in charge of the site) and a telephone number on which that person can be contacted at any time for business purposes and outside working hours; and
 - c) the name, address and telephone number of the PCA.
- The sign shall be maintained while the work is being carried out, and shall be removed upon the completion of works.
- (5) **Sydney Water Approval** - The approved development plans shall be approved by Sydney Water.
- (6) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book') and any Sediment and Erosion plans approved with this development consent.
- Soil erosion and sediment control measures shall be maintained during construction works and shall only be removed upon completion of the project when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).

4.0 - During Works

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Construction Hours** - All work (including delivery of materials) shall be restricted to the hours of 7.00am to 5.00pm Monday to Saturday inclusive. Work is not to be carried out on Sundays or Public Holidays.
- (2) **Compliance with BCA** - All building work shall be carried out in accordance with the requirements of the BCA.
- (3) **Retaining Walls** - The following restrictions apply to any retaining wall erected within the allotment boundaries:
 - a) retaining walls shall be constructed a minimum of 300mm from any property boundary to ensure all associated drainage and backfill remain wholly within the subject property;
 - b) adequate provisions shall be made for surface and subsurface drainage of retaining walls and all water collected shall be diverted to, and connected to, a stormwater disposal system within the property boundaries;
 - c) retaining walls shall not be erected within drainage easements; and
 - d) retaining walls shall not be erected in any other easement present on the land without the approval of the relevant authority benefited.
- (4) **Stormwater – Collection and Discharge Requirements** - The roof of the subject building(s) shall be provided with guttering and down pipes and all drainage lines, including stormwater drainage lines from other areas and overflows from rainwater tanks, conveyed to the (select option a, b, c or d):
 - a) street gutter;
 - b) drainage easement;
 - c) existing drainage system;
 - d) stormwater drainage is to be installed as per the approved hydraulic drainage plan. Stormwater must be clear of and not impact upon the effluent management area as shown on the approved sustainable effluent management plan.

Connection to the drainage easement or kerb shall only occur at the designated connection point for the allotment. New connections that require the rectification of an easement pipe or kerb shall only occur with the prior approval of Camden Council.

All roofwater shall be connected to the approved roofwater disposal system immediately after the roofing material has been fixed to the framing members. The PCA shall not permit construction works beyond the frame inspection stage until this work has been carried out.

- (5) **Works by Owner** - Where a portion of the building works do not form part of a building contract with the principal contractor (builder) and are required to be

completed by the owner, such works shall be scheduled by the owner so that all works coincide with the completion of the main building being erected by the principal contractor.

- (6) **Survey Report** - The building shall be set out by a registered land surveyor. A peg out survey detailing the siting of the building in accordance with the approved plans shall be provided to the PCA prior to the pouring of concrete.
- (7) **Easements** - No changes to site levels, or any form of construction shall occur within any easements that may be located on the allotment.

5.0 - Prior to Issue of an Occupation Certificate

The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Occupation Certificate Required**- An Occupation Certificate shall be obtained prior to any use or occupation of the development.
- (2) **Survey Certificate** - A registered surveyor shall prepare a Survey Certificate to certify that the location of the building in relation to the allotment boundaries complies with the approved plans or as specified by this consent. The Survey Certificate shall be provided to the satisfaction of the PCA.
- (3) **Footpath Crossing Construction** - A footpath crossing and driveway shall be constructed in accordance with this consent and the approved Construction Certificate prior to use or occupation of the development.
- (4) **Waste Management Plan** - The PCA shall ensure that all works have been completed in accordance with the approved waste management plan referred to in this development consent.

6.0 – Ongoing Use

The following conditions of consent are operational conditions applying to the development.

- (1) **Residential Air Conditioning Units** - The operation of air conditioning units shall operate as follows:
 - a) be inaudible in a habitable room during the hours of 10pm – 7am on weekdays and 10pm to 8am on weekends and public holidays; and
 - b) emit a sound pressure level when measured at the boundary of any neighbouring residential property, at a time other than those specified in (a) above, which exceeds the background (LA90, 15 minutes) by more than 5dB(A). The source noise level shall be measured as a LAeq 15 minute.

Reasons for Conditions:

- (1) To ensure that the development complies with statutory requirements including the *Environmental Planning and Assessment Act 1979*, the *Environmental Planning and Assessment Regulation 2000*, the *Building Code of Australia* and applicable Australian Standards.

- (2) To ensure that the development meets the aims, objectives and requirements of the environmental planning instruments, development controls plans, Council policies and Section 94 contribution plans that apply to the site and development.
- (3) To ensure that the development complies with the submitted plans and supporting documentation.
- (4) To ensure that the development will be constructed/operated in a manner that will minimise impacts upon the environment.

Advisory Conditions:

- (1) **Plan Compliance** – The development consent requires compliance with the approved plans and documents that form part of the approval. Specific conditions of consent are also to be complied with, and amendments to achieve compliance with conditions of the consent are permitted.

All other modifications to plans and documents need to be confirmed with either Council or the certifying authority for the development. Changes to a development may require formal modification via Section 96 of the *Environmental Planning and Assessment Act, 1979*.

- (2) **Shoring and Adequacy of Adjoining Property** – If the development involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the development consent must, at the person's own expense:

- protect and support the adjoining premises from possible damage from the excavation, and
- where necessary, underpin the adjoining premises to prevent any such damage.

This requirement does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to this condition not applying.

- (3) **Erection of Signs** – A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:
 - a) showing the name, address and telephone number of the Principal Certifying Authority (PCA) for the work;
 - b) showing the name of the 'principal contractor' (if any) for any building work and a telephone number on which that person may be contacted outside working hours; and
 - c) stating that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

This clause does not apply to building work carried out inside an existing building that does not affect the external walls of the building.

The PCA and principal contractor must ensure that signs required by this condition are erected and maintained.

Responsibility for Other Approvals / Agreements

The applicant is solely responsible for ensuring that all additional consents and agreements are obtained from other authorities, as relevant.

Appeals

The applicant has the right to appeal to the Land and Environment Court under Section 97 of the *Environmental Planning and Assessment Act, 1979*. The right to appeal is only valid for a development application within 6 months after the date on which the applicant received this notice.

Appeals – Third Party

A third party right to appeal to this development consent is available under Section 123, subject to Section 101, of the *Environmental Planning and Assessment Act, 1979*.

Determination Review

If you are an applicant and you are dissatisfied with the determination, you may within 6 months from the date of determination, request Council, in writing, to review the determination.

Legal Notices

Any advice or notice to the consent authority shall be served on the General Manager of Camden Council.



ORDINARY COUNCIL

ORD05

SUBJECT: SUBDIVISION TO CREATE 7 RESIDENTIAL LOTS, 1 RESIDUE LOT, CONSTRUCTION OF 7 TWO STOREY DWELLINGS AND ASSOCIATED GARAGES - 23-41 CAMDEN ACRES DRIVE, ELDERSLIE

FROM: Director Planning & Environmental Services
TRIM #: 16/126372

APPLICATION NO: DA1141/2015
PROPERTY ADDRESS: 23 - 41 Camden Acres Drive, Elderslie
APPLICANT: Matthew Waters

PURPOSE OF REPORT

The purpose of this report is to seek Council's determination of a development application (DA) for subdivision to create 7 residential lots, 1 residue lot, construction of 7 two storey dwellings and associated garages at 23-41 Camden Acres Drive, Elderslie.

The DA is referred to Council for determination as seventeen (17) objections from thirteen (13) property owners have been received in response to the proposed development.

The application when originally lodged and notified proposed the construction of 9 x two storey dwellings and 4 secondary dwellings. The majority of objections received were in response to the original proposal. Subsequent to discussions between the applicant and Council officers the proposal has been amended to delete 2 of the two storey dwellings and the 4 secondary dwellings. These amended plans were re-notified and 2 submissions were received in response.

SUMMARY OF RECOMMENDATION

That Council determine DA 1141/2015 for subdivision to create 7 residential lots, 1 residue lot, construction of 7 two storey dwellings and associated garages pursuant to Section 80 of the *Environmental Planning and Assessment Act 1979* by granting consent subject to the conditions contained in this report.

THE PROPOSAL

DA 1141/2015 seeks approval for subdivision to create 7 residential lots, 1 residue, construction of 7 two storey dwellings and associated garages.

Specifically the proposed development involves:

- Subdivision to create 7 residential lots measuring between 300m² and 337m²;
- Subdivision to create 1 residue lot measuring 684m²;
- Construction of 7 two storey brick veneer dwellings with tiled pitched rooves. Each dwelling contains four bedrooms.
- Construction of 7 double garages one for each dwelling;

This is the report submitted to the Ordinary Council held on 24 May 2016

Page 1



- Provision of 5 visitor car spaces within Lots 4281, 4282, 4283, 4284, 4285 and 4286;
- Creation of easements for access for all over the 5 visitor car spaces; and
- Associated landscaping and site works;

The value of the works associated with the development is \$2,275,000.

A copy of the proposed plans is provided as an attachment to this report.

THE SITE

The site is commonly known as 23-41 Camden Acres Drive, Elderslie and is legally described as Lot 428 DP 1106634.

The site measures 2831m² and is currently vacant. The site fronts Camden Acres Drive to west and adjoins a 6m wide laneway to the east. Condrion Circuit adjoins the site to the north and south.

The lot was created as a residue lot under DA 1405/2004 which was approved on 3 April 2006.



KEY DEVELOPMENT STATISTICS

The development has been assessed against the relevant planning controls and is generally compliant with the exception of one minor variation. Below is a summary of the key development statistics associated with the DA and any variations.

Camden LEP 2010			
	Standard	Proposed	Compliance
4.1 Lot Size	Semi-detached dwellings	300m ² .	Yes

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	Minimum Lot Size 200m ² Dwellings Minimum Lot Size 300m ² .		
4.3 Height	Maximum 9.5m	8.4m.	Yes
Camden DCP 2011			
	Standard	Proposed	Compliance
D2.3.1 Front Setback	Minimum 4.5m.	4.5m.	Yes
D2.3.1 Rear Setback	Minimum 2.5m.	2.5m.	Yes
D2.3.1 Side Setbacks	Minimum 0.9m.	Minimum side setback proposed 0.93m (Unit 1) Side setback does not apply for zero lot line dwellings	Yes
D2.3.1 Site Coverage	Ground Floor Maximum 50%. Upper Floor Maximum 30%.	Dwelling 1 – 42% Dwelling 2 – 42% Dwelling 3 – 42% Dwelling 4 – 41% Dwelling 5 – 44% Dwelling 6 – 43% Dwelling 7 – 39%. Dwelling 1 – 30% Dwelling 2 – 30% Dwelling 3 – 30% Dwelling 4 – 29% Dwelling 5 – 30% Dwelling 6 – 30% Dwelling 7 – 28%.	Yes Yes
D2.3.1 Landscaped Area	Minimum 30%.	All 7 residential lots provide over 30%.	Yes
D2.3.1 Solar Access	Solar Access to PPOS 2hrs between 9.00am and 3.00pm on 21 June.	All 7 residential lots provide in excess of 2hrs solar access to the PPOS.	Yes
D2.1.5 Private Open Space	Minimum 20%.	All 7 residential lots provide over 20% POS.	Yes
D2.21. Zero Lot Line	Two storey walls should not exceed 30% of the length of the corresponding boundary.	Units 1, 2, 3, 4, and 7 exceed 30%.	No – DCP Variation 1
B5 Car parking	2 car spaces per dwelling with 2 or more bedrooms.	2 car spaces provided for each dwelling plus 5 additional visitor	Yes

This is the report submitted to the Ordinary Council held on 24 May 2016 - Page 3



		spaces.	
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ASSESSMENT

Zoning and Permissibility

Zoning:	R1 General Residential.
Permissibility:	The proposed development proposes seven (7) dwellings including 4 semi-detached and 3 detached dwellings. A "dwelling" and a 'semi-detached dwelling" as defined by the LEP which is a permissible land use in this zone.

Environmental Planning and Assessment Act 1979 – Section 79(C) Matters for Consideration

State Environmental Planning Policy(s) - S79C(1)(a)(i)	<p>State Environmental Planning Policy 55 – <u>Remediation of land</u> Compliant with conditions recommended where necessary.</p> <p>State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004 -Compliant with conditions recommended where necessary.</p> <p><u>Deemed State Environmental Planning Policy No 20–Hawkesbury-Nepean River</u> Compliant with conditions recommended where necessary.</p>
Local Environmental Plan - S79C(1)(a)(i)	Camden LEP 2010 - Compliant with conditions recommended where necessary.
Draft Environmental Planning Instrument(s) - S79C(1)(a)(ii)	None applicable.
Development Control Plan(s) - S79C(1)(a)(iii)	Camden DCP 2011 - Generally compliant with one variation proposed as discussed below.
Planning Agreement(s) - S79C(1)(a)(iiia)	None.
The Regulations - S79C(1)(a)(iv)	Impose prescribed conditions.
Likely Impacts - S79C(1)(b)	No significant impacts.
Site Suitability - S79C(1)(c)	The site is suitable for development and the site attributes are conducive to development.
Submissions - S79C(1)(d)	Fifteen (15) submissions were received which are discussed in the Submissions section of this report.
Public Interest - S79C(1)(e)	The development is in the public interest.

Compliance with Plans or Policies

DCP Variation 1 – Zero Lot Line Wall

DCP Control

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Part D2.1.2 of the Camden DCP 2011 relates to zero lot line development and specifies that two storey walls should not exceed 30% of the length of the corresponding boundary.

Variation Request

A variation is required for Units 1, 2, 3, 4, and 7 as the length of the two storey walls exceed 30% of the length of the corresponding boundary as follows:

Unit 1 – 32%
 Unit 2 – 32%
 Unit 3 – 32%
 Unit 4 – 32%
 Unit 7 – 48%.

Refer to Attachment 2 for a plan showing the zero lot lines proposed.

Council Staff Assessment

Council staff have reviewed the above variation requested and recommend it be supported for the following reasons:

- The variation proposed is minor in nature especially for Units 1 to 4 with an exceedance of 2%.
- The subject site is irregular in shape and the depth of the lot varies from 33m in the centre of the site to 10m to the southern side of the allotment. The depth of the proposed lots directly relates to the shape of the allotment.
- Proposed lot 4288, due to the narrowing of the allotment to its southern portion, unit 7 does not meet the zero lot line control. The zero lot line control is to enable the efficient use of small allotments, the design of Lot 4288 is considered to meet the objective of this clause as it proposes an efficient dwelling and lot layout.
- The zero lot line control relates to protecting the internal amenity within the site, the length of the wall on the boundary does not result in any amenity impacts on the adjoining lot or any other properties.
- The length of wall will not be readily discernible from the public domain.
- The length of this wall does not result in a change in the density of development on this allotment.
- The proposed development fully complies with all other relevant controls.

Key Issues

The key issues associated with the DA are limited to the one DCP variation and submissions issues discussed in this report.

Submissions

The DA was publicly exhibited for 30 days in accordance with the DCP. The exhibition period was from 22 October 2015 to 20 November 2015. Thirteen (13) submissions were received (all objecting to the proposed development). The application was amended and re-notified to the all adjoining landowners and to those who lodged a submission to the original proposal. The application was re-notified for 14 days from 7 March 2016 to 21 March 2016. Two (2) additional submissions were received during that time.

This is the report submitted to the Ordinary Council held on 24 May 2016 - Page 5



The proposal was amended subsequent to the second notification period. A copy of the amended plans was circulated to all objectors. Two (2) additional submissions were received in response to the amended plans.

The following discussion addresses the issues and concerns raised in the submissions.

1. Adverse traffic and car parking impacts

Officer comment:

The proposed development provides a double car garage for each dwelling in accordance with the provisions of the Camden DCP 2011. The proposal provides 5 additional spaces for visitors (adjacent to dwellings 1-5 inclusive), the visitor car parking spaces are in excess of the DCP requirements. A total of 19 car spaces are proposed for 7 dwellings which is considered more than adequate reducing the demand on on-street parking.

Council's Traffic Unit has assessed the application and does not consider there will be any adverse traffic impacts in the locality. The existing road network adequately accommodates the additional traffic generated by 7 dwellings. Camden Acres Drive has a carriageway width of 7.2m which can accommodate two way traffic together with street car parking, if required. Council's Traffic Unit has advised there is no nexus to prohibit on street parking on Camden Acres Drive. On street parking highlights to drivers to slow down in residential areas which improves safety for drivers and pedestrians.

A condition of consent will require one way traffic movement and no stopping restrictions to be imposed in the existing laneway on completion of the development. This will allow through traffic and bin collection from the laneway. Any illegal parking in the laneway, if reported to Council, would be dealt with accordingly.

2. Overdevelopment of the site

Officer comment:

The original proposal which was initially notified included the construction of 9 dwellings and 3 secondary dwellings. The majority of the submissions were received as a result of the first notification. The amended development proposes 7 residential lots and the construction of 7 two storey dwellings which fully comply with the Camden LEP 2010 and are largely compliant with the controls of the Camden DCP 2011.

The minimum lot size for semi-detached dwellings in this area is 200m². The proposed semi-detached dwellings are on lots of 300m². The site is located within Area 2 as shown in Figure C12 of the Elderslie Indicative Layout Plan (ILP). **Refer to Attachment 1.** Area 2 is designated for small lot housing with rear lane car access and zero lot lines on one side in accordance with Part C6 of the Camden DCP 2011.

The proposed development is therefore not considered an overdevelopment of the site.

3. Privacy and overlooking

Officer comment:



There will be no privacy or overlooking issues either between the dwellings or into adjoining properties. The dwellings are setback between 4m and 17m from the rear boundary and further separated from the dwellings to the east by the 6m wide laneway. The upper floors of all 7 dwellings contain bedrooms and bathrooms only which are not considered areas of congregation and overlooking from these rooms is not considered to adversely impact privacy.

4. Acoustic impacts

Officer comment:

An acoustic report was not considered necessary to support this application in accordance with Council's Environmental Noise Policy. The seven (7) dwellings are not considered to generate any significant noise which will adversely impact the existing residential area.

5. Inappropriate development for the area/out of character

Officer comment:

Semi-detached and detached dwellings are permissible in the R1 General Residential zone. The development as proposed is in accordance with the minimum lot size and height restrictions as specified by the Camden LEP 2010 and fully complies with the setbacks, private open space, solar access, landscaping and car parking requirements for dwellings as specified in the Camden DCP 2011. The semi-detached double storey dwellings as proposed are consistent with the desired character of the area.

6. Presentation to the laneway

Officer comment:

The proposed development with garages fronting the laneway is in accordance the Camden DCP 2011. The laneway is existing and the intent of the laneway is to service rear loaded garages accessed off the laneway. This removes the garage dominance from the primary street frontage. The garages as proposed are setback 2.5m from the laneway in accordance with the DCP requirements.

7. Inadequate plans – no streetscape plan

Officer comment:

The proposal has been amended a number of times and plans have been provided to the objectors accordingly. A streetscape plan was provided to all objectors. The final plans submitted are deemed satisfactory by Council Officers.

8. Disturbance during construction

Officer comment:

A condition of consent will require access to the site to be gained via the existing rear laneway during construction. This will reduce any impact on traffic during construction.



9. Inconsistency with original development intention/covenant

Officer comment:

There are no restrictive covenants registered for this site.

Proposed Residue Lot

Proposed Lot 428 measures 684m² and is a sufficient size and depth to accommodate a built form which complies with the Camden LEP and DCP. Any future development of lot 428 will be subject to a future development application which will be processed in accordance with Council Policies and Procedures.

FINANCIAL IMPLICATIONS

This matter has no direct financial implications for Council.

CONCLUSION

The DA has been assessed in accordance with Section 79C(1) of the *Environmental Planning and Assessment Act 1979* and all relevant instruments, plans and policies. Accordingly, DA 1411/2015 is recommended for approval subject to the conditions contained in this report.

RECOMMENDED

That Council approve the development for subdivision to create 7 residential lots, 1 residue lot, construction of 7 two storey dwellings and associated garages at 23-41 Camden Acres Drive, Elderslie, subject to the conditions attached.

RESOLUTION

AMENDMENT

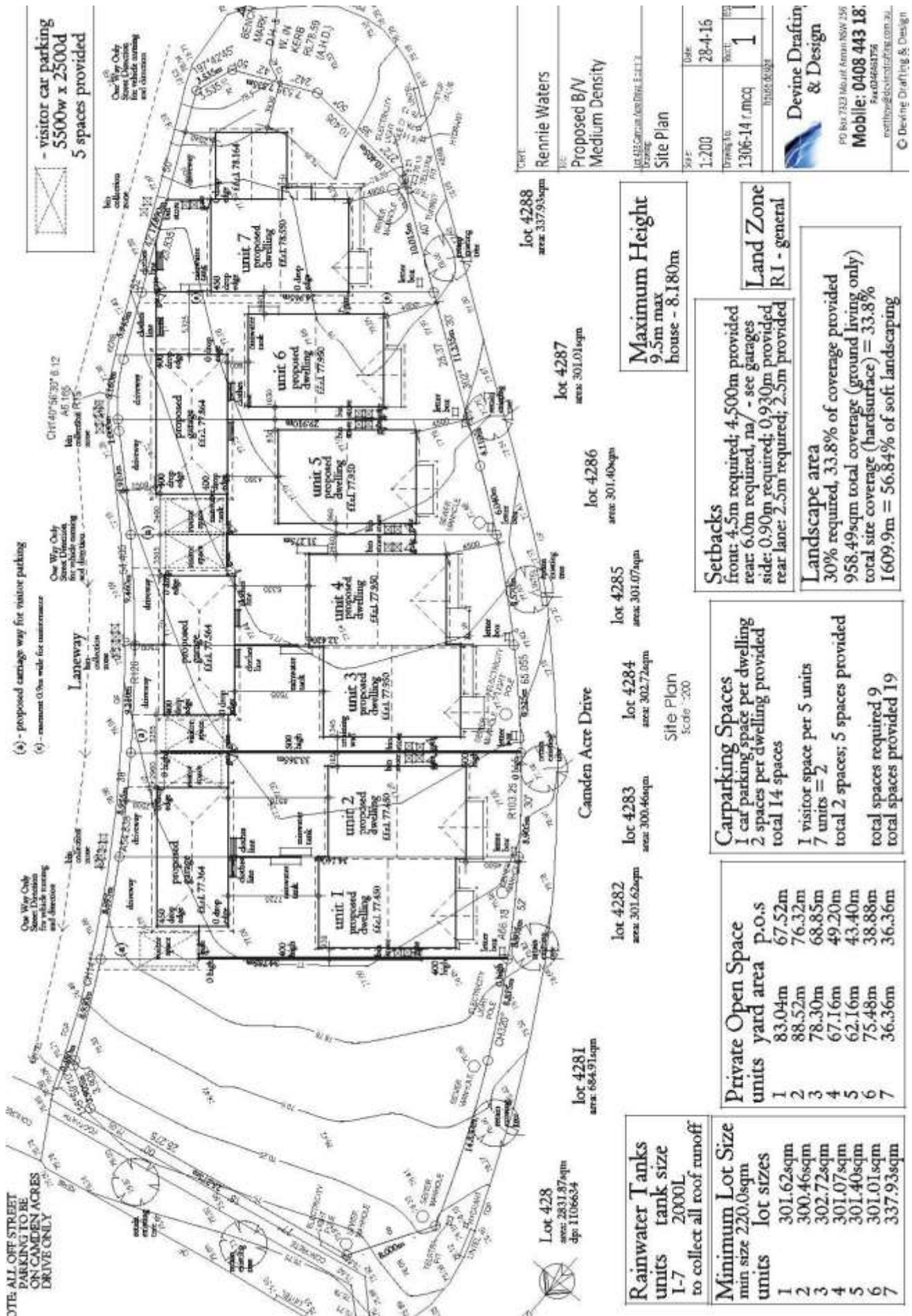
Moved Councillor Campbell, Seconded Councillor Fedeli that the item be deferred, a site inspection be held with Council's Traffic Engineer to be in attendance, and a further report be brought back to Council.

ATTACHMENTS

1. Elderslie ILP
2. Proposed Plans
3. Recommended Conditions
4. Zero Lot Line Plan
5. Floor Plans - *Supporting Document*
6. Public Exhibition and Submissions Map - *Supporting Document*
7. Submissions - *Supporting Document*

Elderslie ILP





(4) - proposed carriage way for visitor parking
 (6) - minimum 0.9m wide fire transverse

NOTE: ALL OFF STREET PARKING TO BE ON CAMDEN ACRES DRIVE ONLY

Lot 428
 area: 2831.87sqm
 dpo: 1106634

Lot 4281
 area: 684.91sqm

Lot 4282
 area: 301.62sqm

Lot 4283
 area: 300.46sqm

Lot 4284
 area: 302.72sqm

Lot 4285
 area: 301.07sqm

Lot 4286
 area: 301.40sqm

Lot 4287
 area: 301.01sqm

Lot 4288
 area: 337.93sqm

Client: Rennie Waters

Proposed: Proposed B/V Medium Density

Site Plan

Scale: 1:200

Date: 28-4-16

Drawn by: 1306-14 r.mcc

Check: 1

Project: 15168-002

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 PO Box 7333 Mount Korman NSW 256
Mobile: 0408 443 18
 Fax: 02 46481756
 ned@devine-drafting.com.au
 C Devine Drafting & Design

Maximum Height
 9.5m max
 house - 8.180m

Land Zone
 RI - general

Setbacks
 front: 4.5m required; 4.500m provided
 rear: 6.0m required, n/a - see garages
 side: 0.90m required; 0.930m provided
 rear lane: 2.5m required; 2.5m provided

Landscaping area
 30% required, 33.8% of coverage provided
 958.49sqm total coverage (ground living only)
 total site coverage (hardsurface) = 33.8%
 1609.9m = 56.84% of soft landscaping

Carparking Spaces
 1 car parking space per dwelling
 2 spaces per dwelling provided
 total 14 spaces

1 visitor space per 5 units
 total 2 spaces; 5 spaces provided
 total spaces required 9
 total spaces provided 19

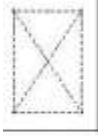
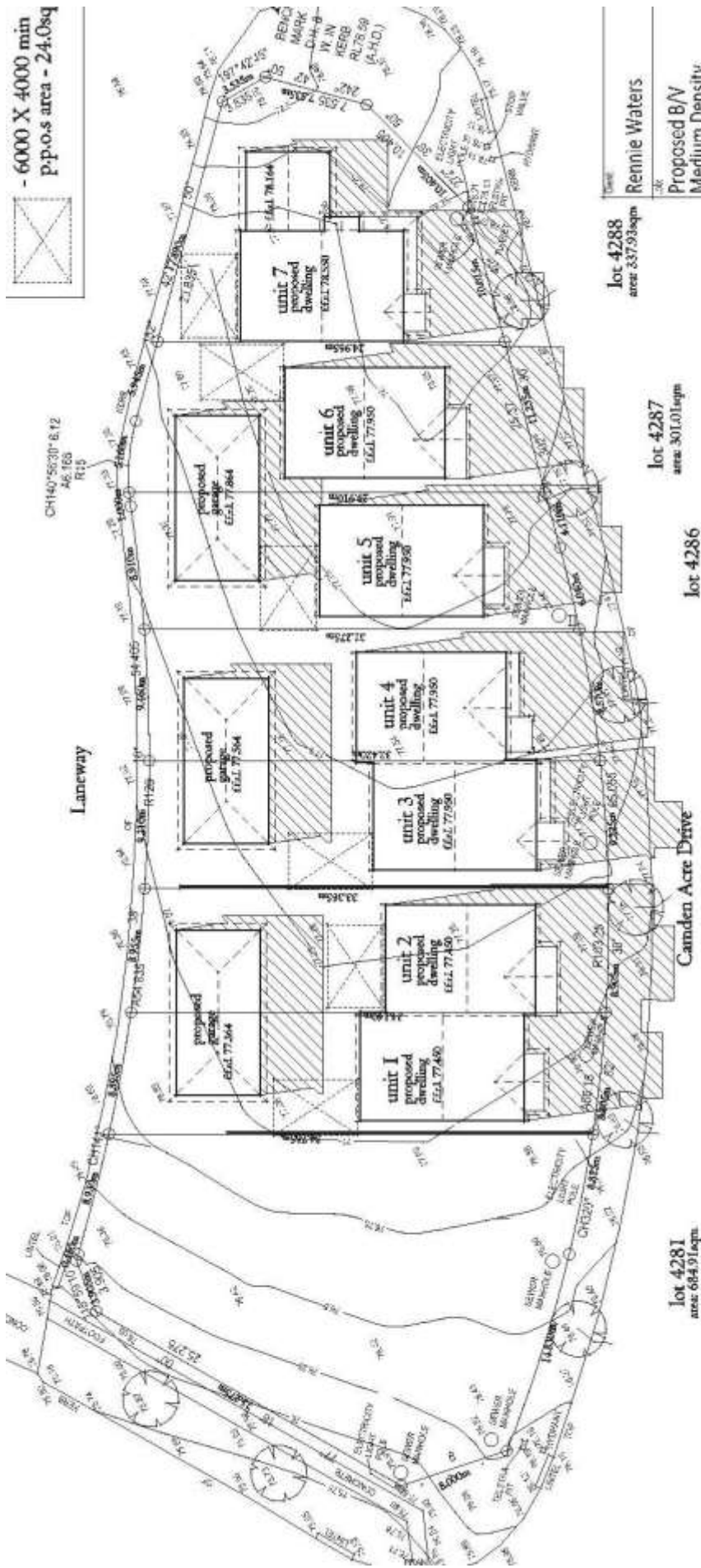
Private Open Space

units	yard area	p.o.s
1	83.04m	67.52m
2	88.52m	76.32m
3	78.30m	68.85m
4	67.16m	49.20m
5	62.16m	43.40m
6	75.48m	38.88m
7	36.36m	36.36m

Rainwater Tanks
 units 1-7
 tank size 2000L
 to collect all roof runoff

units	lot sizes	Minimum Lot Size min size 220.0sqm
1	301.62sqm	
2	300.46sqm	
3	302.72sqm	
4	301.07sqm	
5	301.40sqm	
6	301.01sqm	
7	337.93sqm	

- 6000 X 4000 min
p.p.o.s area - 24.0sq

Lot 4288
area: 237.93sqm

Lot 4287
area: 301.01sqm

Lot 4286
area: 301.40sqm

Lot 4285
area: 301.07sqm

Lot 4284
area: 302.72sqm

Lot 4283
area: 300.46sqm

Lot 4282
area: 301.62sqm

Lot 4281
area: 684.91sqm

Lot 428
area: 2831.87sqm
dp: 1106654

Shadow Diagram
June 21st - 9am
Scale 1:200

Lot 4288
area: 237.93sqm

Rennie Waters

Proposed B/V
Medium Density

Lot 428, Camden Acre Drive, Rennie Waters
State of Victoria

Shadow Diagram - 9am

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Drawing No:	1306-14 r.m.cq
Issue:	2
house finish	

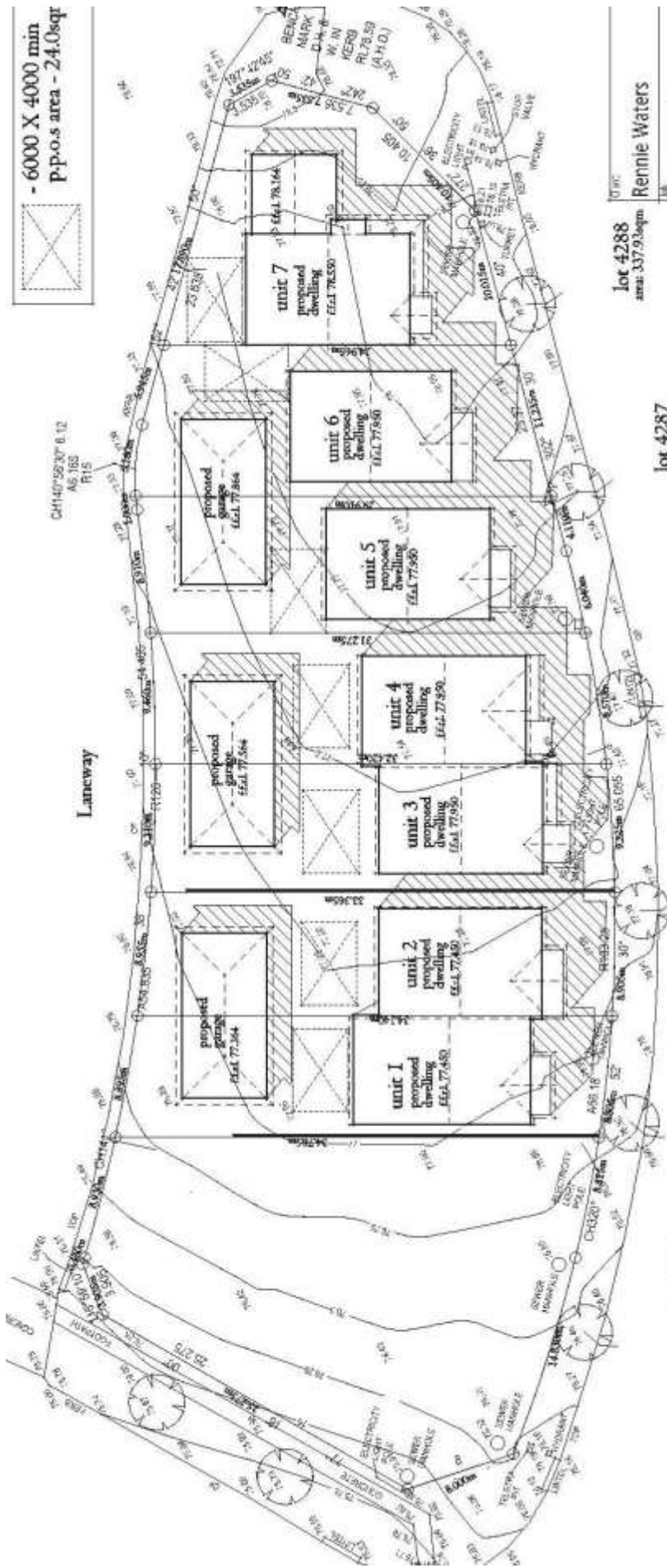
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Mobile: 0408 443 18
Fax: 0444 461 756
mailto:info@devinedrafting.com.au

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ORD02

Attachment 3



lot 4281
area: 684.91sqm

lot 4282
area: 301.62sqm

lot 4283
area: 300.46sqm

lot 4284
area: 302.72sqm

lot 4285
area: 301.07sqm

lot 4286
area: 301.40sqm

lot 4287
area: 301.01sqm

lot 4288
area: 337.93sqm

Rennie Waters

Proposed B/V
Medium Density

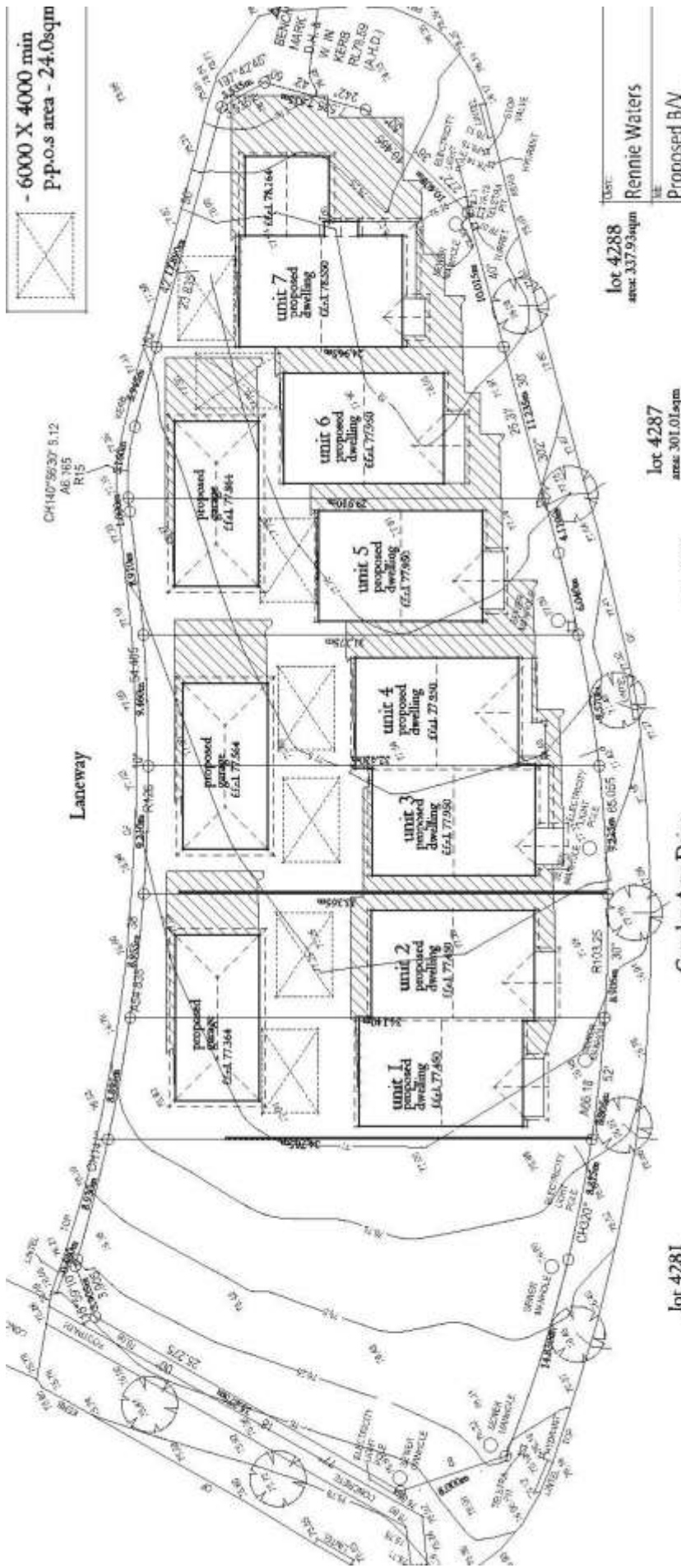
Shadow Diagram - 12pm

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Drawing No: 1305-14 r.mq
Sheet: 3

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PO Box 7333 Mount Aiton NSW 238
Mobile: 0408 443 18
Katie@devinedrafting.com.au
0408 443 136
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Shadow Diagram
June 21st - 12pm
Scale 1:200

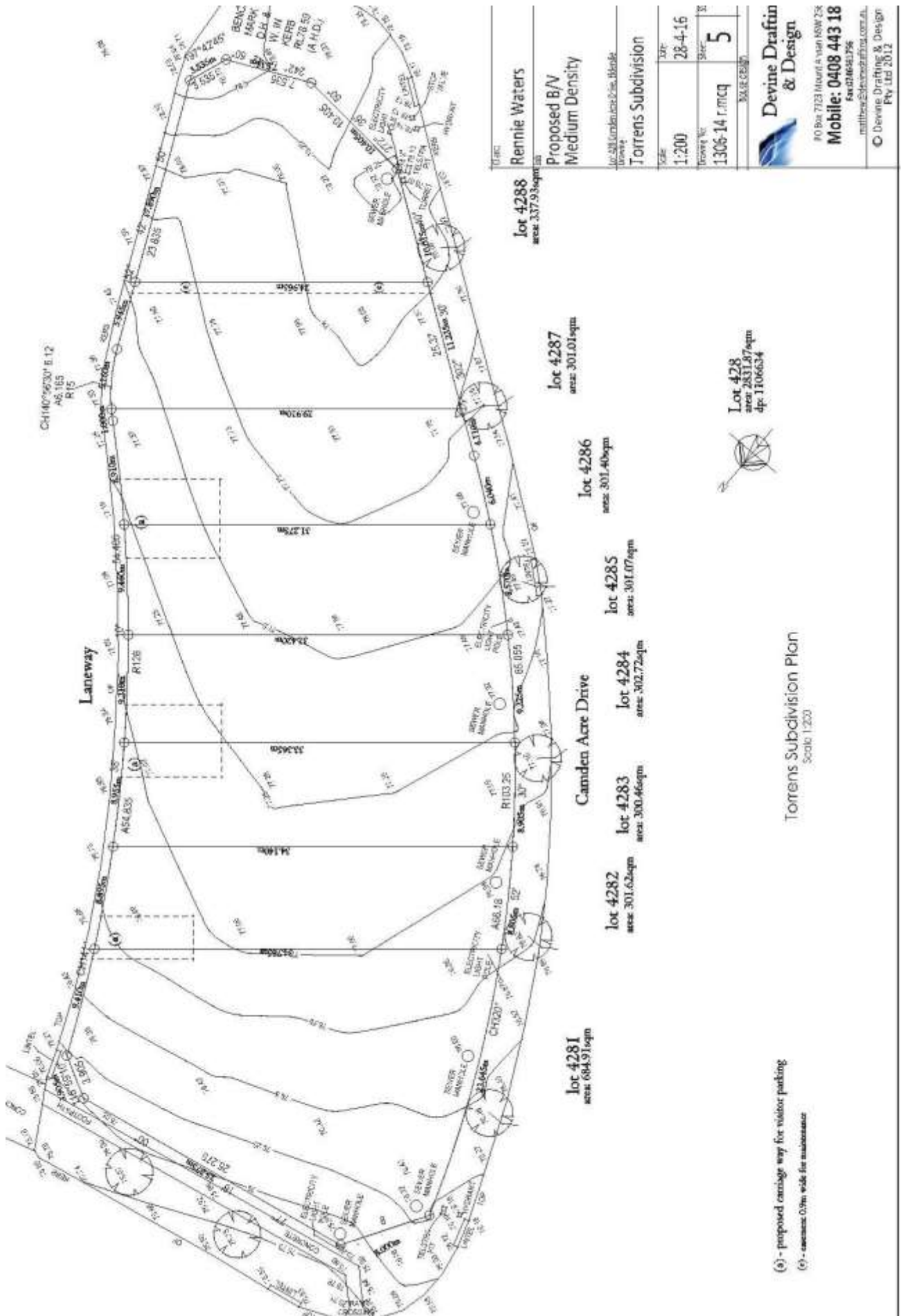


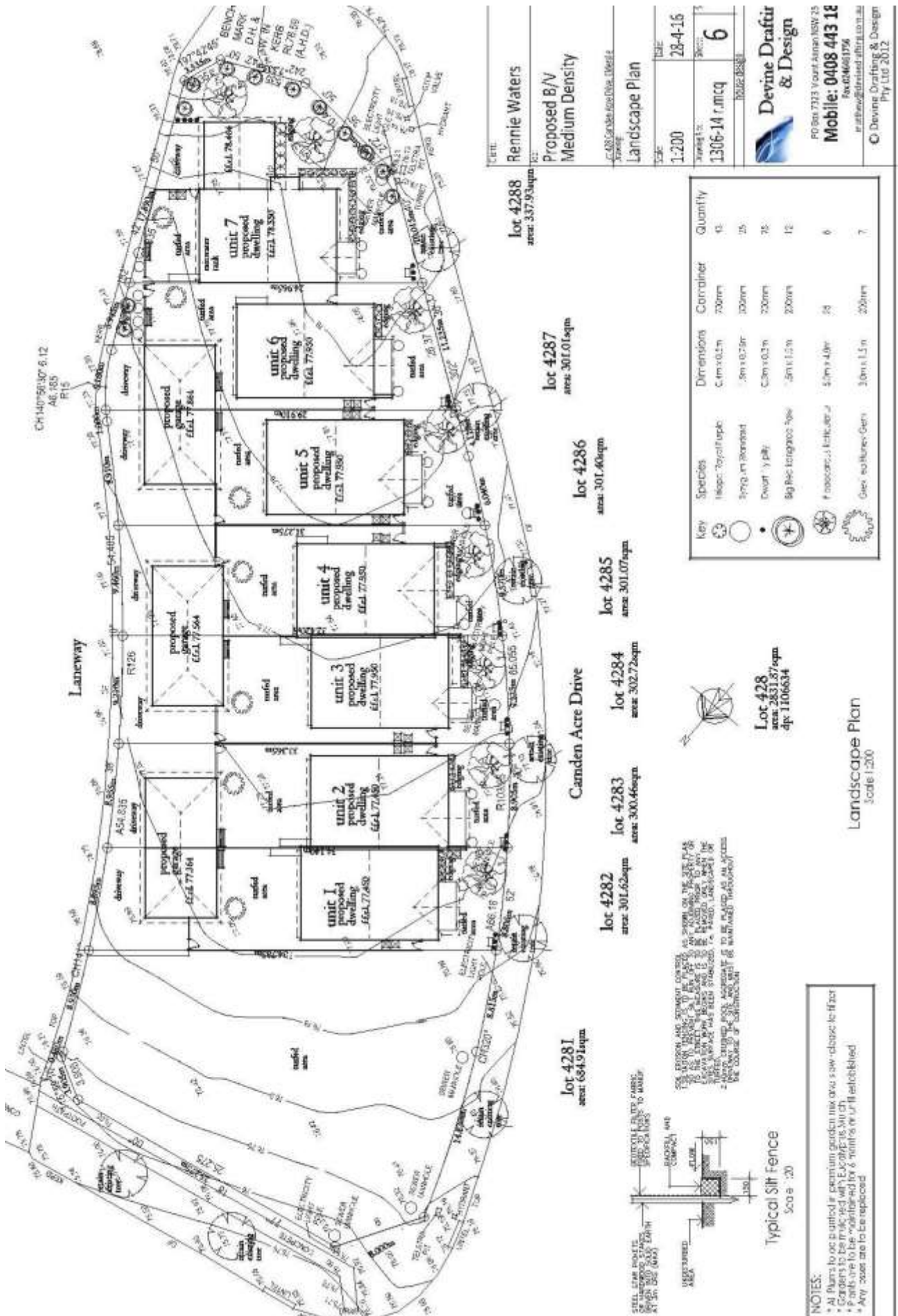


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USE:	Rennie Waters
PROPOSED:	Proposed B/V Medium Density
DATE:	18.03.2016
SCALE:	1:200
DATE:	28-4-16
NO. OF SHEETS:	4
TOTAL SHEETS:	1
<p>Devine Drafting & Design PO Box 7523 Mon. Avon NSW 156 Mobile: 0408 443 18 Fax: 02 4641 796 northse@devine.com.au © Devine Drafting & Design Pty Ltd 2012</p>	

Shadow Diagram
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 Scale 1:200





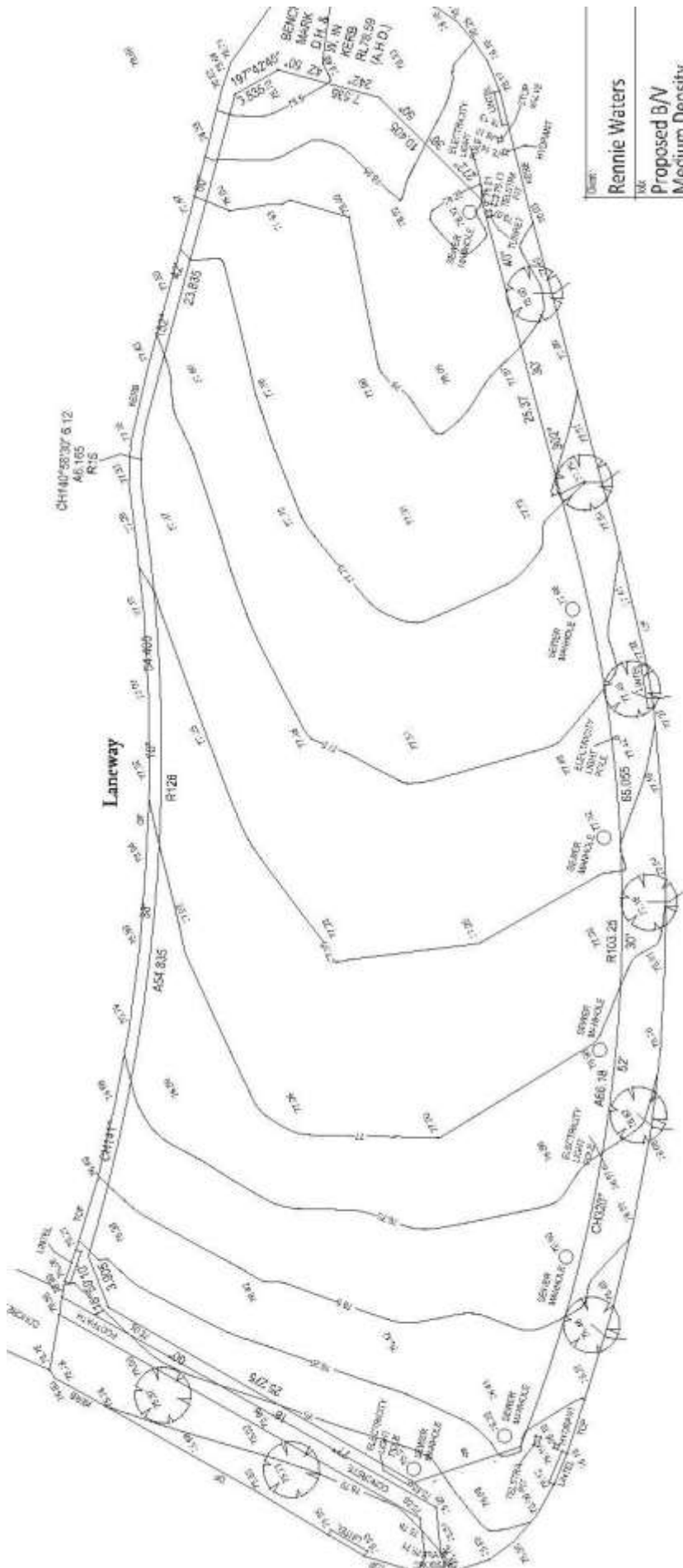


Attachment 3

ORD02

ORD02

Attachment 3

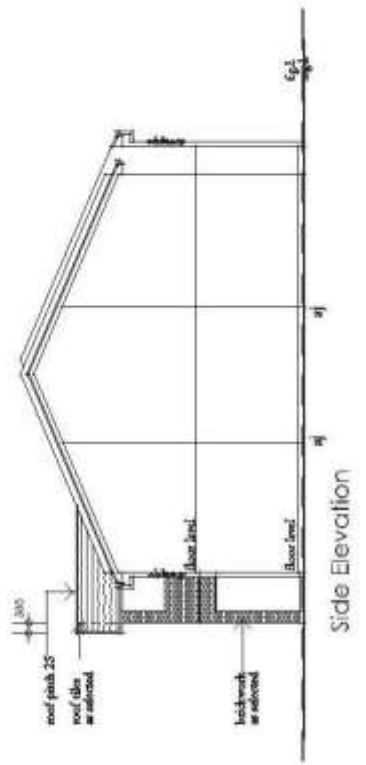
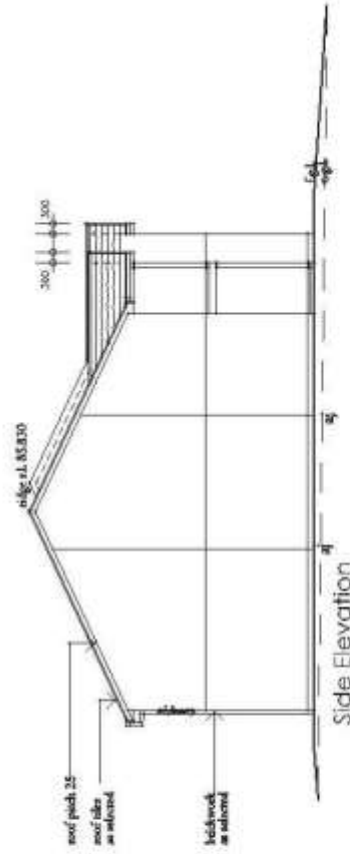
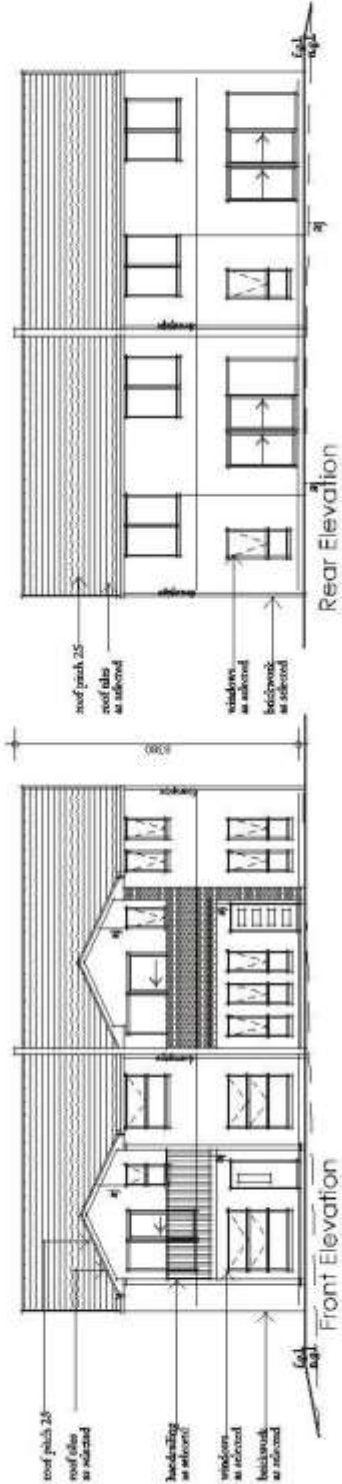


Lot 428
area 2831.87sqm
dp: 1106634

Existing Site Plan
scale 1:200

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Site: Proposed B/V Medium Density	
Project: Existing Site Plan	
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Drawn by: 1306-14 r.mcq	Sheet: 7
10/28/2016	

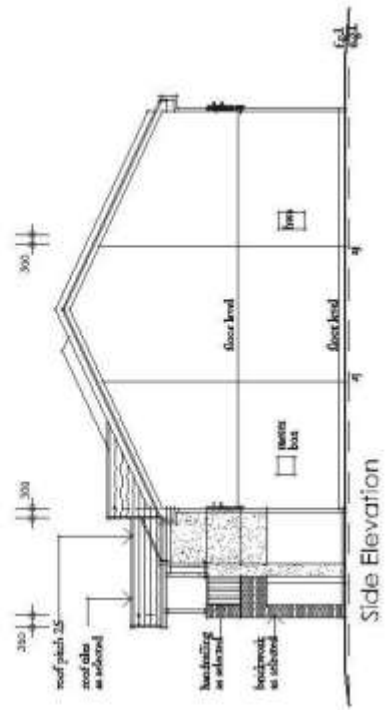
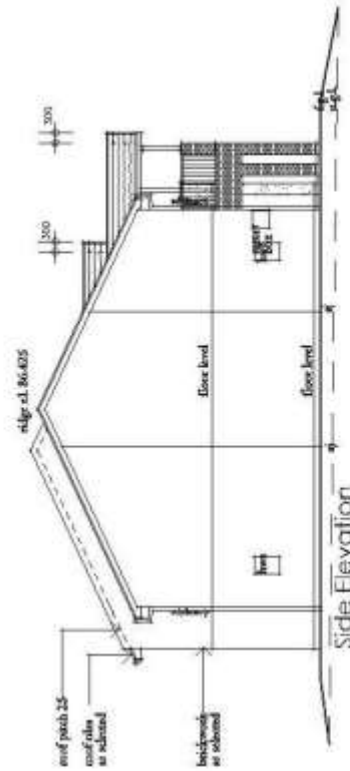
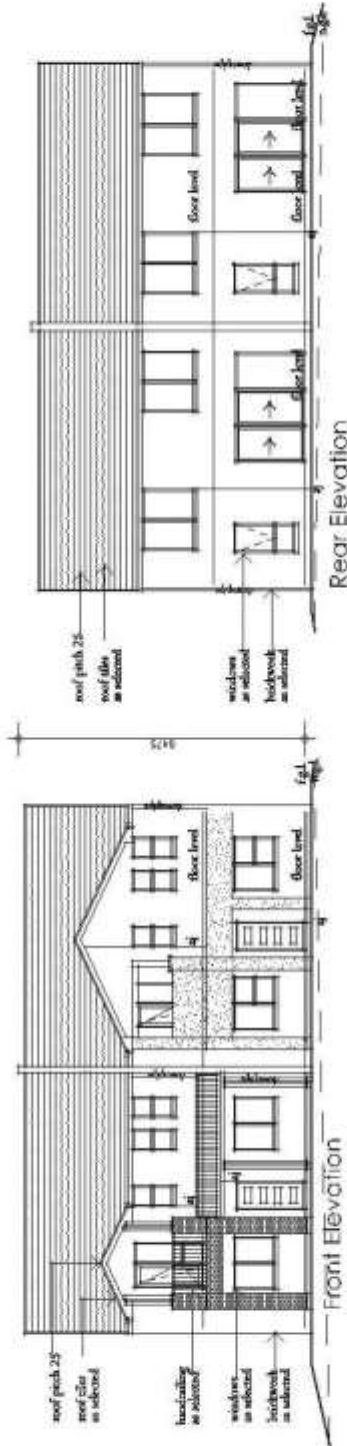
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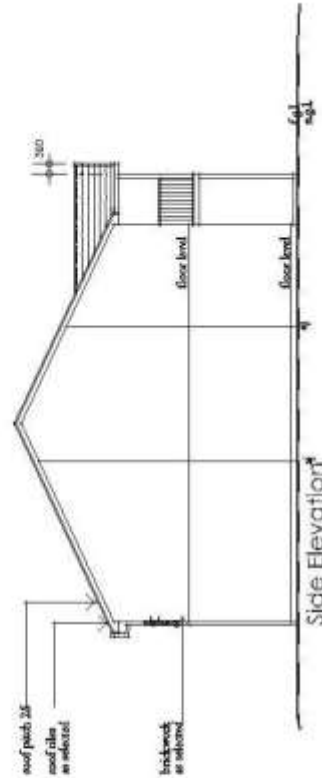
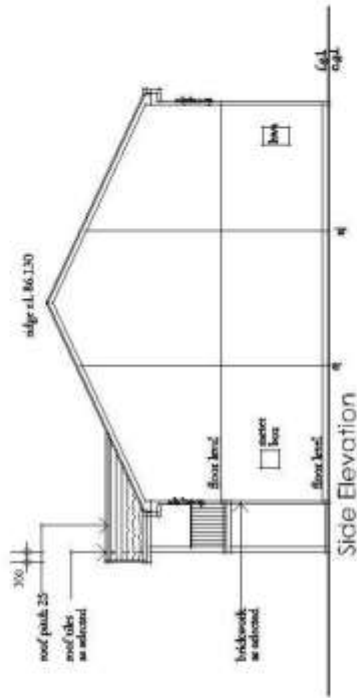
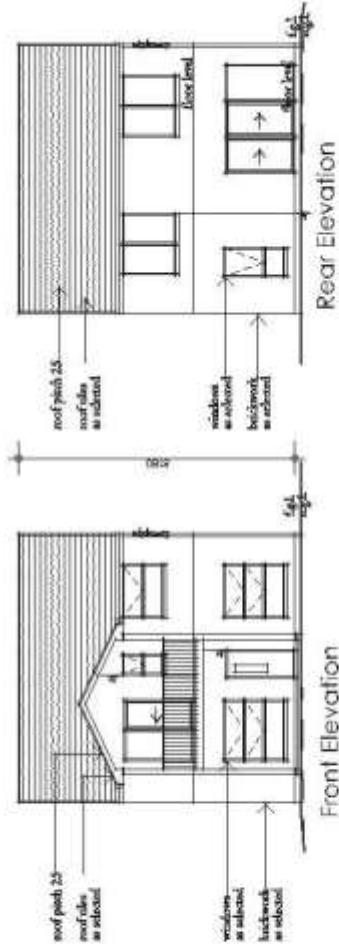
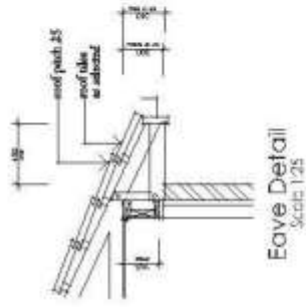
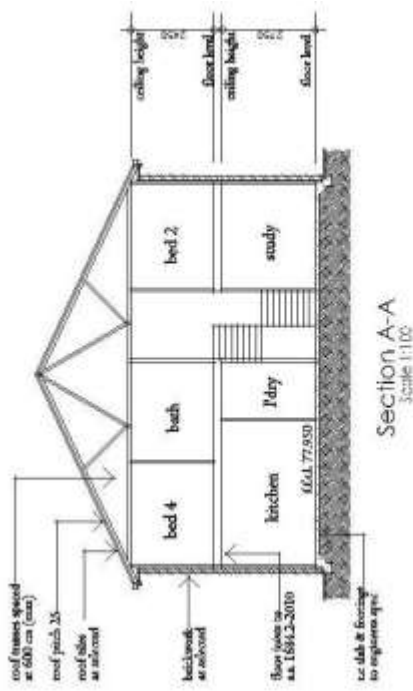
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Drawing No:	1306-14 r.mcq
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Date:	28-4-16
Sheet:	10 L
Issue:	house design
PO Box 7323 Mount Annan NSW 2567 Mobile: 0408 443 187 Fax: 0246461756 matthew@devinedrafting.com.au	
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Attachment 3

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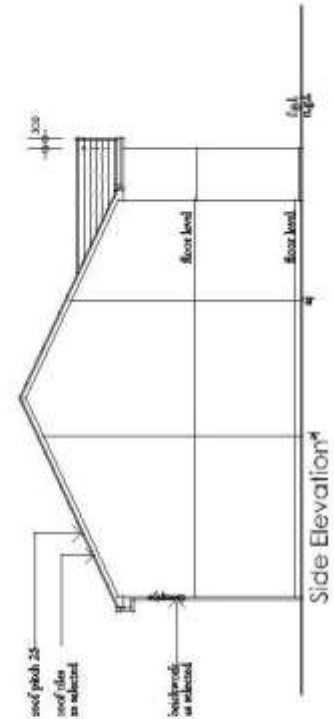
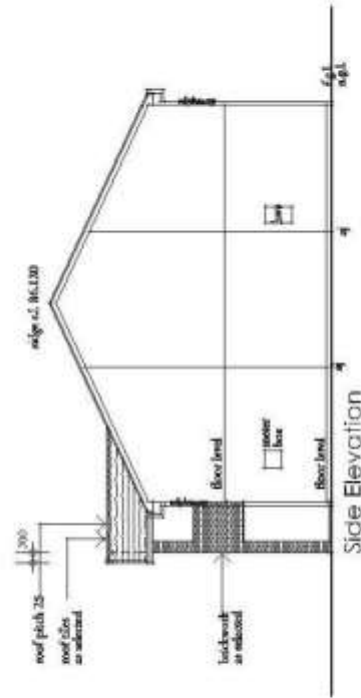
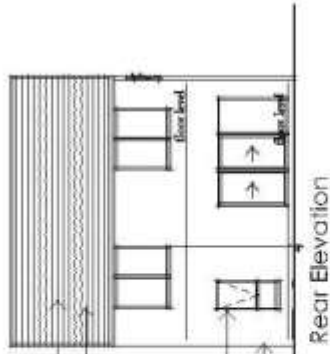
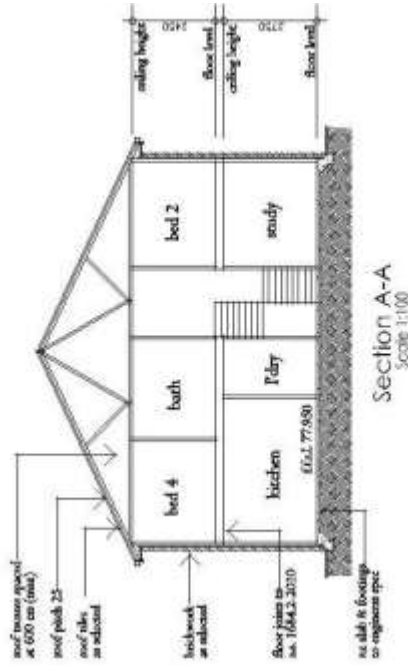
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Drawing No:	1306-14 r.mcq	Date:	28-4-16
Scale:	1:100	Sheet:	13 L
house design			
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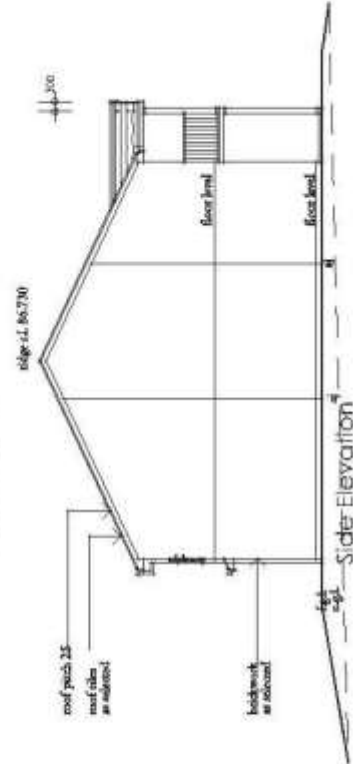
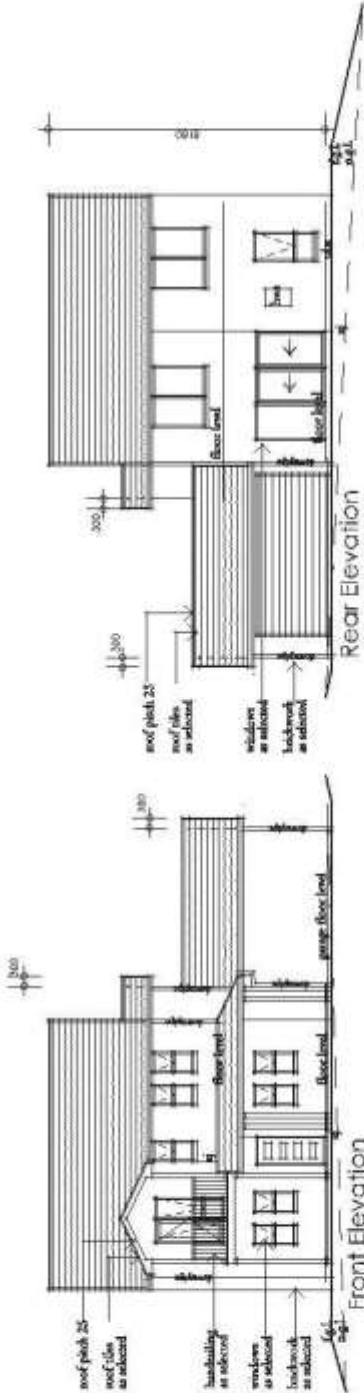
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Job: Proposed B/V Medium Density
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Drawing: Elevations

Scale:	Date:
1:100	28-4-16
Drawing No.:	Sheet:
1306-14 r.mcq	15 L
Issue:	
HOUSE DESIGN	

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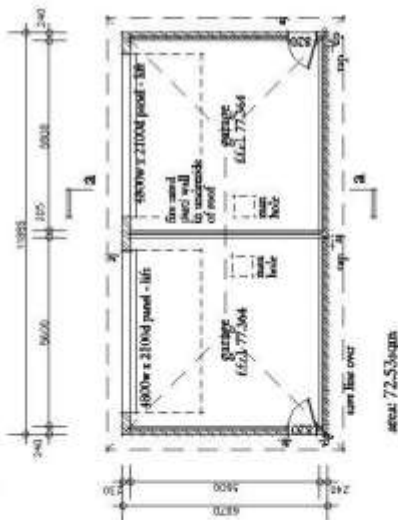


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Job:	Proposed B/V Medium Density Elevations
Location:	Lot 133 Camden Lane Drive, Elsterle
Scale:	1:100
Date:	28-4-16
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Sheet:	17
Project:	house design
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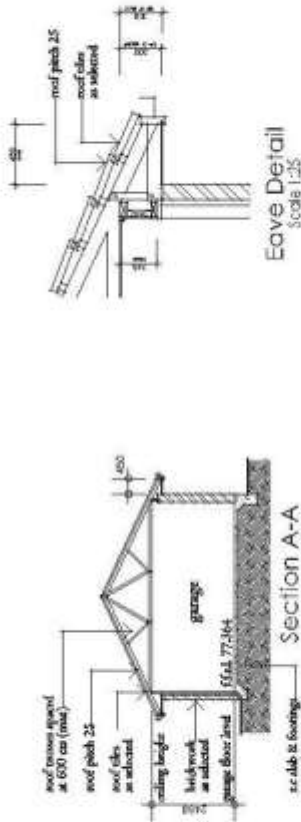


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Scale:	1:100	Date:	28-4-16
Drawing No.:	1305-14 r.mcq	Sheet:	20 L
House design			
 Devine Drafting & Design			
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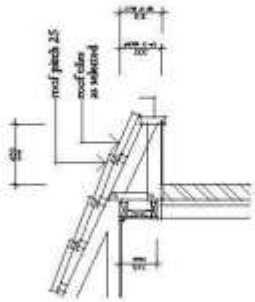
GARAGE 1/2



Floor Plan
Scale :100



Section A-A
Scale :100



Eave Detail
Scale 1:25

medium walls & dark roof colours

Granite guard fence barrier

Note - All Dimensions to be verified on site before commencement of work

No recessed downlights have been provided in the NATHERS rating

All windows and glazed doors to be single clear glass with minimum NFRC U 6.57 SHGC 0.74

Weatherstripping to all external & garage door

Construction to be in accordance with BCA and other relevant Australian Standards

Quick release hinges to be fitted to WC door

Insulation must be installed in accordance with NCC & relevant Australian standards

Soundcheck insulation to adjoining walls at per AS 1276.1 & BCA 3.8.6

21.5 Insulation to walls (exc. garage)

23.5 Insulation to ceilings (exc. garage)

21.5 Insulation to walls between house & garage (unit 1/2)

21.5 Insulation to ceiling/floor between primary floor & garage (GFI, 2.3)

21.5 Insulation to first floor where it extends past the lower floor

Client:	Rennie Waters
Job:	Proposed B/W Medium Density
Address:	Lot 428 Camden Acre Drive, Elderslie
Project:	Floor plan & Elevations
Scale:	1:100
Date:	28-4-16
Drawing No.:	1306-14 r.mcc
Sheet:	21 L
Project:	HOUSE DESIGN



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 Fax: 02 46461756
 matthew@devinedrafting.com.au
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GARAGE 3/4
area: 72.53sqm

medium walls & dark roof colours
Granite guard fence barrier

GARAGE 5/6
area: 72.53sqm

soundcheck insulation to adjoining walls as per AS 1272.1 & BCA 3.8.6
1.2 insulation to walls (exc. garage)
3.5 insulation to ceiling (exc. garage)
1.5 insulation to walls between house & garage (int. 1/9)
1.5 insulation to ceiling/floor between garage floor & garage (GF 1.23)
1.5 insulation to first floor where it extends past the lower floor

Notes:

- All Dimensions to be verified on site before commencement of work
- no recessed downlights have been included in the NatHERS rating
- All windows and glazed doors to be single clear glass with alum frame NFPCC U 6.57 SHGC 0.74
- Weatherstripping to all external & garage door
- Construction to be in accordance with BCA and other relevant Australian Standards
- Quick release hinges to be fitted to WC door
- Insulation must be installed in accordance with NCC & relevant Australian standards

Client: Rennie Waters
Job: Proposed B/V Medium Density
Site: Lot 4/8 Camden Mre Drive, Elderslie
DRAWING: Floor plan & Elevations
Scale: 1:100
Date: 28-4-16
Drawing No.: 1306-14 r.mcq
Sheet: 22 L
HOUSE DESIGN


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 PO Box 7323 Mount Annan NSW 2567
Mobile: 0408 443 187
 Fax: 0245461756
 matthew@devinedrafting.com.au
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Front Elevation Streetscape



Rear Elevation Streetscape

PROJECT	Rennie Waters
NO.	Proposed B/V Medium Density
DATE	1st 4th 2016 (Current Issue Date) 1st 2nd 2016
SCALE	Streetscape
DATE	28-4-16
NO.	1306-14 r.mccq
NO.	23
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RECOMMENDED CONDITIONS

- (1) **General Terms of Approval** - The General Terms of Approval from state authorities shall be complied with prior to, during, and at the completion of the development.

The General Terms of Approval are:

- Mine Subsidence Board – Stamped plans dated 3 May 2016.
- Rural Fire Service – Ref No. D15/3169 dated 24 May 2016.

- (2) **Approved Plans and Documents** - Development shall be carried out in accordance with the following plans and documentation, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
1306-13 Sheet 1	Site Plan	Devine Drafting & Design	28 April 2016
1306-13 Sheet 5	Subdivision Plan	Devine Drafting & Design	28 April 2016
1306-13 Sheet 6	Landscape Plan	Devine Drafting & Design	28 April 2016
1306-13 Sheet 8	Unit 1 & 2 Floor Plan	Devine Drafting & Design	28 April 2016
1306-13 Sheet 9	Unit 1 & 2 Upper Floor Plan	Devine Drafting & Design	28 April 2016
1306-13 Sheet 10	Unit 1 & 2 Elevations	Devine Drafting & Design	28 April 2016
1306-13 Sheet 11	Unit 3 & 4 Floor Plan	Devine Drafting & Design	28 April 2016
1306-13 Sheet 12	Unit 3 & 4 Upper Floor Plan	Devine Drafting & Design	28 April 2016
1306-13 Sheet 13	Unit 3 & 4 Elevations	Devine Drafting & Design	28 April 2016
1306-13 Sheet 14	Unit 5 Floor Plan	Devine Drafting & Design	28 April 2016
1306-13 Sheet 15	Unit 5 Elevations	Devine Drafting & Design	28 April 2016
1306-13 Sheet 16	Unit 6 Floor Plan	Devine Drafting & Design	28 April 2016
1306-13 Sheet 17	Unit 6 Elevations	Devine Drafting & Design	28 April 2016
1306-13 Sheet 18	Unit 7 Floor Plan	Devine Drafting & Design	28 April 2016

1306-13 Sheet 19	Unit 7 Upper Floor Plan	Devine Drafting & Design	28 April 2016
1306-13 Sheet 20	Unit 7 Upper Elevations	Devine Drafting & Design	28 April 2016
1306-13 Sheet 21	Garage 1 & 2	Devine Drafting & Design	28 April 2016
1306-13 Sheet 222	Garage 3, 4, 5 & 6	Devine Drafting & Design	28 April 2016
1306-13 Sheet 23	Streetscape	Devine Drafting & Design	28 April 2016

Document Title	Prepared by	Date
BASIX Certificate – 642114M_03	Devine Drafting & Design	28 April 2016

- (3) **Building Code of Australia** - All building work shall be carried out in accordance with the BCA. In this clause, a reference to the BCA is a reference to that Code as in force on the date the application for the relevant Construction Certificate is made.
- (4) **BASIX Certificate** - The applicant shall undertake the development strictly in accordance with the commitments listed in the approved BASIX certificate for the development to which this consent applies.
- (5) **Engineering Specifications** - The entire development shall be designed and constructed in accordance with Council's Engineering Specifications and the relevant DCP.
- (6) **Noxious Weeds Management** - Noxious weeds management shall occur in accordance with Camden Development Control Plan 2011.
- (7) **Waste Bin Collection Points** - A waste bin collection point that is clear from the positioning of driveways, tree plantings (or tree canopies), street lighting or other fixtures must be provided for each approved lot. This area is to be 3 metres long x 0.9 metres wide and provide a 3.9 metre clear vertical space to allow for the truck-lifting arm.
- (8) **Salinity Management for Construction of Residential Buildings and Landscaping** – all residential buildings and landscaping proposed to be constructed on "Lots 4281 - 4289." must be built in accordance with "Mandatory Building Requirements" contained within Camden Council's Policy – Building in Saline Prone Environments. Compliance with the policy must be demonstrated for any residential development application.
- (9) **Zero Lot Line Easement** - An easement for support and maintenance is required adjacent to all of the "zero" lot line walls.

- (10) **Home Building Act** - Pursuant to Section 80A(11) of the EP&A Act 1979, residential building work within the meaning of the Home Building Act 1989 shall not be carried out unless the PCA for the development to which the work relates:

in the case of work for which a principal contractor has been appointed;
has been informed in writing of the name and licence number of the principal contractor; and
where required has provided an insurance certificate with the name of the insurer by which the work is insured under Part 6 of that Act.

in the case of work to be carried out by an owner-builder;
has been informed in writing of the name of the owner-builder; and
if the owner-builder is required to hold an owner-builder permit under that Act; has provided a copy of the owner builder permit.

2.0 Prior to Issue of a Construction Certificate

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Civil Engineering Plans** - Civil engineering plans indicating drainage, roads, accessways, earthworks, pavement design, details of line-marking, traffic management, water quality and quantity facilities including stormwater detention and disposal, shall be prepared in accordance with the approved plans and Council's Engineering Design and Construction Specifications. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.

Note. Under the *Roads Act 1993*, only the Council can approve commencement of works within an existing road reserve.

- (2) **Dilapidation Report – Council Property** - A Dilapidation Report prepared by a suitably qualified person, including a photographic survey of existing public roads, kerbs, footpaths, drainage structures, street trees and any other existing public infrastructure within the immediate area of the subject site. Details demonstrating compliance shall be provided to the Certifying Authority prior to issue of a Construction Certificate.
- (3) **Traffic Management Plan** - A Traffic Management Plan (TMP) shall be prepared in accordance with Council's Engineering Specifications and AS 1742.3. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
- (4) **Special Infrastructure Contribution** - The applicant shall make a special infrastructure contribution (SIC) in accordance with the determination made by the

Minister administering the *EP&A Act 1979* under Section 94EE of that Act and as in force on the date of this consent. This contribution shall be paid to the DP&E. Evidence of payment of the SIC shall be provided to Council and the Certifying Authority.

- (5) **Section 94 Contributions – Monetary** - A contribution pursuant to the provisions of Section 94 of the *EP&A Act 1979* for the services and amounts detailed below.

Plan Name	Contribution Type	Indexed Rate	Amount Payable
Camden Contributions Plan 2011	Open Space, Recreation and Community Land.	\$5,321 per lot or dwelling	\$37,247.00
Camden Contributions Plan 2011	Open Space, Recreation and Community Facilities Works, Volunteer Emergency Services and Plan Preparation and Administration.	\$6,618 per lot or dwelling	\$46,326.00
Camden Contributions Plan 2011	Elderslie Local Component	\$27,778 per lot or dwelling	\$194,446.00
	Total		\$278,019.00

A copy of the Section 94 Contributions Plan may be inspected at Council's Camden office at 37 John Street, Camden or can be accessed on Council's website at www.camden.nsw.gov.au.

The amount of contribution payable under this condition has been calculated at the date of consent. In accordance with the provisions of the Contributions Plan, this amount shall be indexed at the time of actual payment in accordance with the applicable Index.

- (6) **Building Platform** - This consent restricts excavation or fill for the purposes of creating a building platform. The building platform shall not exceed 2.0m from the external walls of the building. Where the external walls are within 2.0m of any

property boundary, no parallel fill is permitted and a deepened edge beam to natural ground level shall be used. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.

- (7) **Traffic Management Plan** - A Traffic Management Plan (TMP) shall be prepared in accordance with Council's Engineering Specifications and AS 1742.3. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
- (8) **Soil, Erosion, Sediment and Water Management** - An Erosion and Sediment Control Plan (ESCP) shall be prepared in accordance with Council's Engineering Specifications. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
- (9) **Street Trees Protection Standards** - All existing Street Trees that may be impacted by this Development must be protected.

The protection installed must comply with the Australian Standard AS4970-2009 Protection of Trees on Development Sites.

In the event that a Street Tree is to be unavoidably impacted by the Development works, then approval must be sought from the Consent Authority (i.e. Camden Council) to relocate or replace the Street Tree.

Any relocations or replacements needed to the Street Trees, their garden bed surrounds, tree guards or root guard barriers, are to be completed with the same type, species, plant maturity, materials and initial installation standards and the works and successful establishment of the trees completed prior to the issue of the Construction Certificate.

- (10) **Structural Engineer's Details** - The piers/slabs/footings/structural elements shall be designed and certified by a suitably qualified structural engineer and shall take into consideration the recommendations of any Geotechnical Report applicable to the site. A statement to that effect shall be provided to the Certifying Authority.

3.0 - Prior to Commencement of Works

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Construction Certificate Required** - In accordance with the provisions of Section 81A of the EP&A Act 1979, construction or subdivision works approved by this consent shall not commence until the following has been satisfied:
 - a) a Construction Certificate has been issued by a Consent Authority;
 - b) a Principal Certifying Authority (PCA) has been appointed by the person having benefit of the development consent in accordance with Section 109E of the EP&A Act 1979;

- c) if Council is not the PCA, Council is notified of the appointed PCA at least two (2) days before building work commences;
 - d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and
 - e) the PCA is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
- (2) **Notice of PCA Appointment** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 103 of the EP&A Regulation 2000. The notice shall include:
- a) a description of the work to be carried out;
 - b) the address of the land on which the work is to be carried out;
 - c) the registered number and date of issue of the relevant development consent;
 - d) the name and address of the PCA, and of the person by whom the PCA was appointed;
 - e) if the PCA is an accredited certifier, his, her or its accreditation number, and a statement signed by the accredited certifier consenting to being appointed as PCA; and
 - f) a telephone number on which the PCA may be
- (3) **Notice Commencement of Work** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 104 of the EP&A Regulation 2000. The notice shall include:
- a) the name and address of the person by whom the notice is being given;
 - b) a description of the work to be carried out;
 - c) the address of the land on which the work is to be carried out;
 - d) the registered number and date of issue of the relevant development consent and construction certificate;
 - e) a statement signed by or on behalf of the PCA to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and the date on which the work is intended to commence.
- (4) **Sign of PCA and Contact Details** - A sign shall be erected in a prominent position on the site stating the following:
- a) that unauthorised entry to the work site is prohibited;

- b) the name of the principal contractor (or person in charge of the site) and a telephone number on which that person can be contacted at any time for business purposes and outside working hours;
- c) the name, address and telephone number of the PCA.

The sign shall be maintained while the work is being carried out, and shall be removed upon the completion of works.

- (5) **Site is to be Secured** - The site shall be secured and fenced to the satisfaction of the PCA. All hoarding, fencing or awnings (associated with securing the site during construction) is to be removed upon the completion of works.

An awning is to be erected that would sufficiently prevent any substance from the construction work falling onto public property. The work site shall be kept lit between sunset and sunrise if it is likely to be hazardous to persons on public property.

- (6) **Performance Bond** - Prior to commencement of works a performance bond of \$5,000 must be lodged with Camden Council in accordance with Camden Council's Engineering Construction Specifications.
- (7) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book') and any Sediment and Erosion plans approved with this Development Consent.

Soil erosion and sediment control measures shall be maintained during construction works and shall only be removed upon completion of the project when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).

- (8) **Public Liability Insurance** - The owner or contractor shall take out a Public Liability Insurance Policy with a minimum cover of \$20 million in relation to the occupation of, and works within, public property (i.e. kerbs, gutters, footpaths, walkways, reserves, etc) for the full duration of the proposed works. Evidence of this Policy shall be provided to Council and the Certifying Authority.
- (9) **Construction Management Plan** – A Construction Management Plan that includes construction waste, dust, soil and sediment and traffic management, prepared in accordance with Council's Engineering Design Specification, shall be provided to the PCA.
- (10) **Sydney Water Approval** - The approved development plans shall be approved by Sydney Water.
- (11) **Restriction on Camden Acres Drive** – Prior to the commencement of works, 'No Stopping' signage must be introduced on the western side of Camden Acres Drive between the two intersections with Condron Circuit (in the order of 165 metres in extent), subject to the concurrence of the Local Traffic Committee.

+

4.0 - During Works

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Unexpected Finds Contingency (General)** - Should any suspect materials (identified by unusual staining, odour, discolouration or inclusions such as building rubble, asbestos, ash material, etc) be encountered during any stage of works (including earthworks, site preparation or construction works, etc), such works shall cease immediately until a qualified environmental specialist has been contacted and conducted a thorough assessment.

In the event that contamination is identified as a result of this assessment and if remediation is required, all works shall cease in the vicinity of the contamination and Council shall be notified immediately.

Where remediation work is required, the applicant will be required to obtain consent for the remediation works.

- (2) **Erosion and Sedimentation Control** - Soil erosion and sedimentation controls are required to be installed and maintained for the duration of the works. The controls must be undertaken in accordance with version 4 of the Soils and Construction – Managing Urban Stormwater manual (Blue Book).
- (3) **Fill Material** - Importation and/or placement of any fill material on the subject site, a validation report and sampling location plan for such material must be provided to and approved by the Principal Certifying Authority.

The validation report and associated sampling location plan must:

- a) be prepared by a person with experience in the geotechnical aspects of earthworks, and
- b) be endorsed by a practising engineer with Specific Area of Practice in Subdivisional Geotechnics, and
- c) be prepared in accordance with:

Virgin Excavated Natural Material (VENM):

- i) the Department of Land and Water Conservation publication "Site investigation for Urban Salinity", and
- ii) the Department of Environment and Conservation - Contaminated Sites Guidelines "Guidelines for the NSW Site Auditor Scheme (Second Edition) - Soil Investigation Levels for Urban Development Sites in NSW".

- d) confirm that the fill material:
 - i) provides no unacceptable risk to human health and the environment;
 - ii) is free of contaminants;
 - iii) has had salinity characteristics identified in the report, specifically the aggressiveness of salts to concrete and steel (refer Department of Land and Water Conservation publication "Site investigation for Urban Salinity");
- iv) is suitable for its intended purpose and land use; and
- v) has been lawfully obtained.

Sampling of VENM for salinity of fill volumes:

- e) less than 6000m³ - 3 sampling locations,
- f) greater than 6000m³ - 3 sampling locations with 1 extra location for each additional 2000m³ or part thereof.

For e) and f) a minimum of 1 sample from each sampling location must be provided for assessment.

Sampling of VENM for Contamination and Salinity should be undertaken in accordance with the following table:

Classification of Fill Material	No of Samples Per Volume	Volume of Fill (m ³)
Virgin Excavated Natural Material	1 (see Note 1)	1000 or part thereof

Note 1: Where the volume of each fill classification is less than that required above, a minimum of 2 separate samples from different locations must be taken.

- (4) **Location of Stockpiles** - Stockpiles of soil shall not be located on / near any drainage lines or easements, natural watercourses or water bodies, footpath or roadway without first providing suitable protective measures adequate to protect these water bodies. All stockpiles of contaminated materials shall be suitably covered to prevent dust and odour nuisance.
- (5) **Disposal of Stormwater** - Water seeping into any site excavations is not to be pumped into the stormwater system unless it complies with relevant EPA and ANZECC standards for water quality discharge.
- (6) **Site Management Plan** - The following practices are to be implemented during construction:

- a) stockpiles of topsoil, sand, aggregate, spoil or other material shall be kept clear of any drainage path, easement, natural watercourse, kerb or road surface and shall have measures in place to prevent the movement of such material off site;
 - b) builder's operations such as brick cutting, washing tools, concreting and bricklaying shall be confined to the building allotment. All pollutants from these activities shall be contained on site and disposed of in an appropriate manner;
 - c) waste shall not be burnt or buried on site, nor shall wind blown rubbish be allowed to leave the site. All waste shall be disposed of at an approved waste disposal depot;
 - d) a waste control container shall be located on the site;
 - e) all building materials, plant, equipment and waste control containers shall be placed on the building site. Building materials, plant and equipment (including water closets), shall not be placed on public property (footpaths, roadways, public reserves, etc);
 - f) toilet facilities shall be provided at, or in the vicinity of, the work site at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet shall:
 - i) be a standard flushing toilet connected to a public sewer; or
 - ii) have an on-site effluent disposal system approved under the *Local Government Act 1993*; or
 - iii) be a temporary chemical closet approved under the *Local Government Act 1993*.
- (7) **Survey Report** - The building shall be set out by a registered land surveyor. A peg out survey detailing the siting of the buildings in accordance with the approved plans shall be provided to the PCA prior to the pouring of concrete.
- (8) **Construction Hours** - All work (including delivery of materials) shall be restricted to the hours of 7.00am to 5.00pm Monday to Saturday inclusive. Work is not to be carried out on Sundays or Public Holidays.
- (9) **Noise** - All work shall not give rise to an 'offensive noise' as defined in the *Protection of the Environment Operations Act (1997)*.
- All work shall comply with the requirement of the NSW Industrial Noise Policy and the Environment Protection Authority' Environmental Noise Manual.
- (10) **Traffic Management Plan Implementation** - All construction traffic management procedures and systems identified in the approved Construction Traffic Management Plan shall be introduced during construction of the development to ensure safety and to minimise the effect on adjoining pedestrian and traffic systems.
- (11) **Offensive Noise, Dust, Odour and Vibration** - All work shall not give rise to offensive noise, dust, odour or vibration as defined in the *Protection of the Environment Operations Act 1997* when measured at the property boundary.
- (12) **Soil, Erosion, Sediment and Water Management – Implementation** - All requirements of the Erosion and Sediment Control Plan or Soil and Water

Management Plan shall be maintained at all times during the works and any measures required by the plan shall not be removed until the site has been stabilised.

- (13) **Excavation and Backfilling** - All excavations and backfilling associated with this development consent shall be executed safely, and be properly guarded and protected to prevent them from being dangerous to life or property, and in accordance with the design of a suitably qualified structural engineer.

If an excavation extends below the level of the base of the footings of a building on an adjoining allotment, the person causing the excavation shall:

- a) preserve and protect the building from damage; and
- b) if necessary, underpin and support the building in an approved manner; and
- c) give at least seven (7) days notice to the adjoining owner before excavating, of the intention to excavate.

The principal contractor, owner builder or any person who needs to excavate and undertake building work, shall contact "Dial Before You Dig" prior to works commencing, and allow a reasonable period of time for the utilities to provide locations of their underground assets.

This condition does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

- (14) **Construction Noise Levels** – Noise levels emitted during construction works shall be restricted to comply with the construction noise control guidelines set out in Chapter 171 of the NSW EPA's Environmental Noise Control Manual. This manual recommends;

Construction period of 4 weeks and under:

The L10 level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 20 dB(A).

Construction period greater than 4 weeks:

The L10 level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 10 dB(A).

- (15) **Compliance with BCA** - All building work shall be carried out in accordance with the requirements of the BCA.
- (16) **Construction Access** – Construction vehicles must not directly access the site from Camden Acres Drive. Construction vehicles must not obstruct traffic flow on Camden Acres Drive.

5.0 - Prior to Issue of an Occupation Certificate

The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Occupation Certificate Required** - An Occupation Certificate shall be obtained prior to any use or occupation of the development.
- (2) **Footpath Crossing Construction** - A footpath crossing and driveway shall be constructed for each dwelling in accordance with this consent and the approved Construction Certificate prior to use or occupation of the development.
- (3) **Visitor Parking** – The 5 visitor car spaces must be cleared marked or sign posted as "Visitor Car Parking".
- (4) **Restriction on Laneway** – 'No Stopping' signage must be erected on the laneway subject to approval from the local traffic committee.

6.0 – Ongoing Use

The following conditions of consent are operational conditions applying to the development.

- (1) **Residential Air Conditioning Units** - The operation of air conditioning units shall operate as follows:
 - a) be inaudible in a habitable room during the hours of 10pm – 7am on weekdays and 10pm to 8am on weekends and public holidays;
 - b) emit a sound pressure level when measured at the boundary of any neighbouring residential property, at a time other than those specified in (a) above, which exceeds the background (LA90, 15 minutes) by more than 5dB(A). The source noise level shall be measured as a LAeq 15 minute; and
 - c) not discharge any condensate or moisture onto the ground surface of the premises or into stormwater drainage system in contravention of the requirements of the *Protection of the Environment Operations Act 1997*.

7.0 - Prior to Issue of a Subdivision Certificate

The following conditions of consent shall be complied with prior to the issue of a Subdivision Certificate.

- (1) **Requirement for a Subdivision Certificate** - The application for subdivision certificate(s) shall be made in accordance with the requirements of Clause 157 of the Environmental Planning & Assessment Regulation 2000.
- (2) **Subdivision Certificate** - The issue of a Subdivision Certificate is not to occur until all conditions of this development consent have been satisfactorily addressed and all engineering works are complete, unless otherwise approved in writing by the PCA.

- (3) **Services** - Certificates and/or relevant documents shall be obtained from the following service providers and provided to the PCA:
- a) Energy supplier – Evidence demonstrating that satisfactory arrangements have been made with the energy supplier to service the proposed development.
 - b) Telecommunications – Evidence demonstrating that satisfactory arrangements have been made with a telecommunications carrier to service the proposed development.
 - c) Water supplier – Evidence demonstrating that satisfactory arrangements have been made with a water supply provider to service the proposed development.
- (4) **Show Easements/Restrictions on the Plan Of Subdivision** - The developer shall acknowledge all existing easements and/or restrictions on the use of the land on the final plan of subdivision.
- (5) **Burdened Lots To Be Identified** - Any lots subsequently identified during construction of the subdivision as requiring restrictions shall also be suitably burdened.
- (6) **Section 88B Instrument** - The applicant shall prepare a Section 88B Instrument for approval by the PCA which incorporates the following easements, positive covenants and restrictions to user where necessary:
- (a) Easement for services.
 - (b) Right of carriageway for visitor parking spaces.
 - (c) Restriction as to user creating an easement for support and maintenance 900mm wide adjacent to the "zero" lot line wall.
 - (d) The plan of subdivision shall identify the building footprints of proposed lots 4282, 4283, 4284, 4285 and creation of party wall easements for the affected lots.
- (7) **Surveyor's Report** - Prior to the issue of the Subdivision Certificate a certificate from a registered surveyor must be provided to the PCA, certifying that all drainage lines have been laid within their proposed easements. Certification is also to be provided stating that no services or accessways encroach over the proposed boundary other than as provided for by easements as created by the final plan of subdivision.
- (8) **Subdivision Certificate** – Prior to the issue of a Subdivision Certificate for the development, the dwellings must be constructed.
- (9) **Street Trees Repair or Replacement** - During any development works relating to this Consent, the Applicant is responsible to ensure that any Street Trees, their tree guards, protective bollards, garden bed surrounds or root barrier installations which are disturbed, removed, or damaged must be restored or replaced at the time the damage or disturbance occurred.

ORD02

Any repairs, relocations or replacements needed to the Street Trees, their garden bed surrounds, tree guards or root guard barriers, are to be completed with the same type, species, plant maturity and materials and the works and successful establishment of the trees completed prior to the issue of the Subdivision Certificate.

Attachment 4

TRIM Ref: 16/202027
Contact: Tom Allen
Phone: 02 4645 5005

ORD02

Thursday, 14 July 2016

RE: Camden Acres Drive Traffic Issues

I am writing to advise about traffic issues on Camden Acres Drive, further to representation from the community and the community meeting that took place on 17 June 2016.

As you'll appreciate the Camden Acres sub-precinct is nearing full development, with approximately 200 dwellings at the current time. It is acknowledged that there is currently only one access to the wider road network (Lodges Road) via Camden Acres Drive. The current peak hour traffic generation adjacent to the proposed new development is at 23-41 Camden Acres Drive assessed to be up to 150 trips. This is below the advisable environmental goal of 200 trips for a local road and well below the maximum recommended 300 peak hour trips (RMS Guide to Traffic Generating Development). The proposed development would cause a slight increase in the number of trips.

The precinct planning allows for an additional precinct access via Liz Kernohan Drive (to Camden Valley Way and Lodges Road) which is predicted to significantly reduce peak hour trips on Camden Acres Drive, with traffic flows at the Lodges Road intersection likely to be less than 100 vehicles. Investigations have commenced for the construction of the extension of Liz Kernohan Drive to Camden Valley Way, with the works programmed for commencement in 2018, subject to land acquisition.

Camden Acres Drive has been constructed in accordance with relevant development controls with a carriageway width of 7.2 metres and a verge width on the development frontage of 3.5 metres to accommodate utility services. With a parked vehicle on one side of the road this would leave a width of 5 metres which would facilitate two cars passing each other in accordance with relevant standards.

The proposed development has included 5 off street parking spaces over and above the development controls which would significantly reduce the prevalence of on street parking. However, some on street parking would still be envisaged if the development proceeded and it is considered that this could be satisfactorily accommodated on Camden Acres Drive. If parking were to be prohibited on both sides of Camden Acres Drive some displacement of parking to side streets is likely, impacting on localised residential amenity. It is further noted that parked vehicles on Camden Acres Drive would provide a calming effect on through traffic, resulting in reduced vehicle speeds.

Attachment 5

ORD02

In view of the above, and taking into consideration representations on the proposed development, it is considered reasonable that parking be restricted on one side of the road. It is therefore being recommended as a condition of content that stopping is prohibited on the opposite (reserve) side to the proposed development to facilitate some on street parking adjacent to the residences. This practice has recently been employed at similar locations to facilitate potential access for Bushfire vehicles to the adjacent reserve.

It is further noted that Council officers are arranging to meet representation of residents to discuss existing traffic concerns in the precinct which do not have material bearing on the current Development Application.

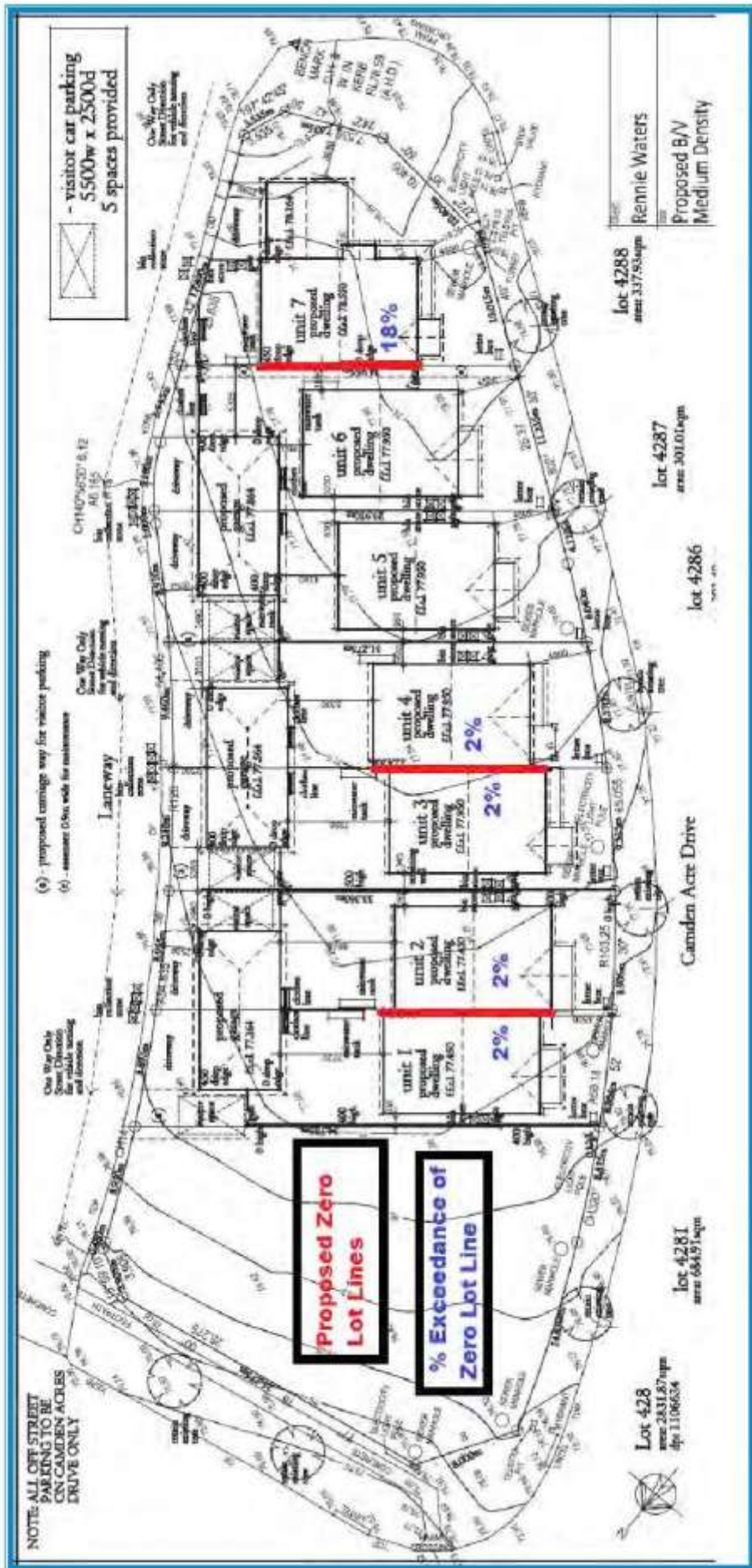
Yours sincerely



Dick Webb
Manager Infrastructure Planning

Attachment 5

Zero Lot Line Plan





**CAMDEN COUNCIL
PLANNING PROPOSAL**

Amendment No. 27 - 121 Raby Road, Leppington

Version 3

July 2016

Amendment 27 – 121 Raby Road, Leppington

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Executive Summary

The site is located on the eastern boundary of the Camden Local Government Area (LGA) in an area of rural land located to the north of Raby Road, east of Sydney Catchment Authority's (now known as WaterNSW) Water Supply Channel, and abutting the LGA boundary with Campbelltown Council to the east.

The site is zoned RU2 Rural Landscape under the Camden Local Environmental Plan 2010 (Camden LEP 2010). The Planning Proposal seeks to rezone the site to R5 Large Lot Residential to allow large lot residential development at the site.

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1.0 Introduction

The site is currently zoned RU2 Rural Landscape under the Camden LEP 2010. This Planning Proposal seeks commencement of the statutory process to rezone the site to R5 Large Lot Residential, and provides a justification for the rezoning.

It is envisioned that the redevelopment would provide large residential lots suitable for development with detached dwelling houses of one (1) and two (2) storeys in height that would complement denser urban redevelopment on nearby sites and in the South West Priority Area more broadly.

At the meeting of 10 September 2013, Council considered a report on a Planning Proposal to rezone the subject site to R5 - Large Lot Residential. Council subsequently resolved to forward the Planning Proposal to the Department of Planning and Environment (DPE) for Gateway Determination.

The Gateway Determination was issued from the DPE on 18 November 2013 (see Appendix 3) and further revised on 29 June 2016 (see Appendix 4). In accordance with the Gateway Determination, Council was required to consult with a number of public agencies. The Gateway Determination required a number of specialist studies be completed; the findings of the studies are detailed later in this report.

On 22 March 2016, Council resolved to publicly exhibit the Planning Proposal and draft DCP amendments for a period of 28 days and to require a further report detailing the outcomes of the exhibition, should there be unresolved submissions.

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2.0 Site Description and Context

2.1 Overview

This Section describes the location of the site, existing development on the land, the current planning framework, and the relationship of the area to the draft South West Subregional Strategy.

2.2 Site Locality

The area that is the subject of this Planning Proposal is shown in Figure 1.



Figure 1: Location of Subject Site (Source: Google Maps)

The subject site is located on the eastern boundary of the Camden Local Government Area (LGA) in an area of rural land located to the north of Raby Road, east of the Water NSW (Previously Sydney Catchment Authority's) Water Supply Channel, and abutting the LGA boundary with Campbelltown Council.

2.3 Site Context

2.3.1 Outline

The character of the area surrounding the site is predominantly rural and semi-rural in character. However, the area is undergoing significant change, having been identified as a location for significant urban growth. The site is located in close proximity to the South West Priority Growth Area (refer to Figure 2 below) and lands that are not in the Growth Area but similarly being considered for urban redevelopment. Urban development of land has begun in the Turner Road Precinct which is located approximately 2.5km to the south west of the site.

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Figure 2: South West Growth Centres Structure Plan (Source: Metropolitan Strategy – A City of Cities)

Lands to the west of the site at Camden Lakeside have been identified by Camden Council as an urban release area. This site includes areas zoned for residential development. To the north of the site is Emerald Hills release area, includes residential housing and a local centre. The Emerald Hills site is separated from the site by the Water NSW Water Supply Canal which runs along the northwest boundary of the site. To the east of the site is rural land zoned Environmental Protection and located in Campbelltown LGA. To the immediate south of the site on the southern side of Raby Road is a parcel of RU2 zoned land that is used as a Seventh Day Adventist conference centre.

Further from the site to the north and west are lands that are in the process of being developed as part of the South West Priority Growth area, including the Leppington Major Centre located approximately 3.5km to the north of the site, including the new Leppington Railway Station.

Furthermore, there is land to the southwest that has been zoned for urban development for a mix of urban and rural residential development such as the ECB/Gledswood/East Side lands.

In future, lands to the north, west and south of the site are likely to include a range of urban uses in addition to residential development such as business generating/employment land, schools, recreation and community facilities.

The changing nature of the landscape around the site is demonstrated in Figure 3 which identifies the key surrounding sites which are detailed as follows.

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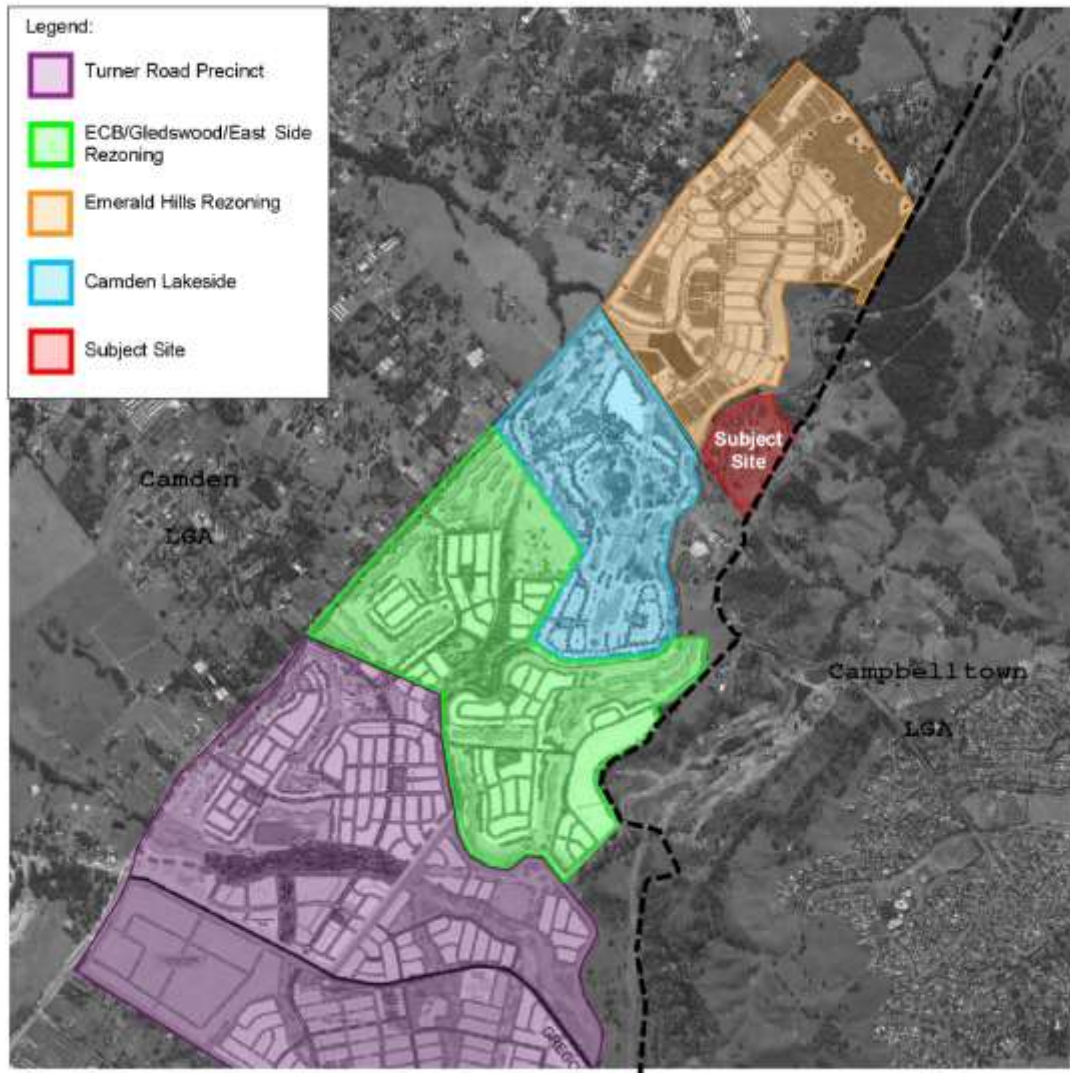


Figure 3: Subject Site Context (Source: Six Viewer, Gregory Hills & The Hermitage Masterplans and Emerald Hills Urban Design Vision)

2.3.2 Emerald Hills

Located to the immediate north of the site and on the northern corner of Raby Road and Camden Valley Way, opposite the Camden Lakeside site, is a site known as Emerald Hills, 1100-1150 Camden Valley Way, Leppington.

The Emerald Hills estate has an area of approximately 151 hectares and was rezoned recently to deliver approximately 1200 dwellings.

Emerald Hills is proposed to include a range of lands uses including up to 1200 dwellings with a mix of housing types, a local shopping centre, open space, environmental protection zones, and riparian corridor improvements. The proposed local centre is located within 1km of the majority of the site.

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The Emerald Hills Development Vision identifies a mix of hill side lots and detached housing lots adjacent to the Water NSW Water Supply Canal, which separates the Emerald Hills site from the subject site.

2.3.3 Camden Lakeside

Immediately to the west the site on the southern side of Raby Road is the existing Camden Lakeside Golf Course site. This site is identified as an urban release area under the Camden LEP 2010 and was rezoned in 2006 to accommodate approximately 380 dwellings around the golf course as part of a golf course estate development.

The redevelopment of this is to include new road linkages running north south that will accommodate future public transport links.

2.3.4 El Caballo Blanco/Gledswood/East Side Rezoning

The El Caballo Blanco/Gledswood/ East Side rezoning is located to the south of the Camden Lakeside site. The site is a precinct of approximately 160 hectares of former tourist park, rural and rural residential holdings. This precinct has recently been rezoned to accommodate approximately 860 dwellings, a golf course, and the restoration of the State Heritage listed Gledswood House.

2.3.5 Turner Road Precinct South West Priority Growth Area

The Turner Road Precinct is located approximately 2.5km south west of the site. The Precinct was rezoned in December 2007 and was one of the first precincts released within the South West Priority Growth Area. The Precinct has an area of approximately 536 hectares and will accommodate approximately 4,000 dwellings, 96 hectares of employment land, a town centre and open space and recreational facilities.

The Precinct comprises three main parts, being the Dart West/Marist Brother joint venture release area known as Gregory Hills, an employment lands area at the junction of Gregory Hills Drive and Camden Valley Way, and thirdly the Hermitage release area being developed by Sekisui House. Construction has commenced within all three areas, delivering key infrastructure, employment lands, a town centre and dwellings.

2.4 The Site

The land that is the subject of the Planning Proposal is located within the Camden Council LGA. The land is owned by T. Simonetta & Co Pty Ltd and comprises three (3) allotments of land that has a real property description of Lots 1, 2 and Common Property in SP37300, and is commonly known as 121 Raby Road, Leppington ('the site').

The site is roughly diamond shaped and sits on the west side of a north-south ridgeline that makes up the western side of the Camden/Campbelltown LGA boundary. The ridge line to the east of the site traverses the adjoining rural property within the area known as 'the Scenic Hills' area of Campbelltown LGA. The site has an area of 16.78 hectares and is approximately 350m wide by 500m long.

The site is dominated by a pronounced ridge that runs north/south along the eastern edge of the site and which is approximately 50-100 metres west of the Camden/Campbelltown LGA

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boundary. The site slopes down from the east towards the Water NSW Water Supply Canal that runs along the western boundary.

There are no significant water courses on the site, although two small creek depressions are identifiable. There are four (4) small farm dams on the site.

Built features on the site include two large single and two storey residential dwellings. There is an access driveway from each of the houses that extends down to Raby Road. There are no other significant structures on the site. The unbuilt parts of the site are characterised by fenced paddocks covered with pasture grasses with a scattering of remnant eucalypts of Cumberland Plain Woodland, mowed lawns, and areas of landscaped garden.

The eastern boundary of the site is traversed by the Jemena gas easement, which has a combined width of approximately 24m and run the length of the site in a north-south direction.

Whilst the current context of the site is one of a rural character, it is evident from the context described in Section 2.3 that the site is located within an area undergoing significant change with urban release area developments and rezoning essentially surrounding the site to the northwest and south.

The site has existing frontage to Raby Road. Raby Road is identified as a key collector road in the draft South West Subregional Strategy, and has been earmarked for upgrades. The proximity of the site to utilities, services and public transport will be greatly enhanced by the adjoining Emerald Hills development in close proximity the site.

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Figure 4: Aerial view of the site (outlined in red) (Source: Six Viewer)

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Figure 5: View of the site looking north from the Raby Road entrance



Figure 6: View looking north from SE corner of the site

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Figure 7: View looking south along eastern gas easement from NE corner of site



Figure 8: View looking west from centre of the site

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3.0 Statutory Framework

3.1 Zoning

The site is currently zoned RU2 Rural Landscape under the provisions of the Camden LEP 2010 (refer to Figure 9).

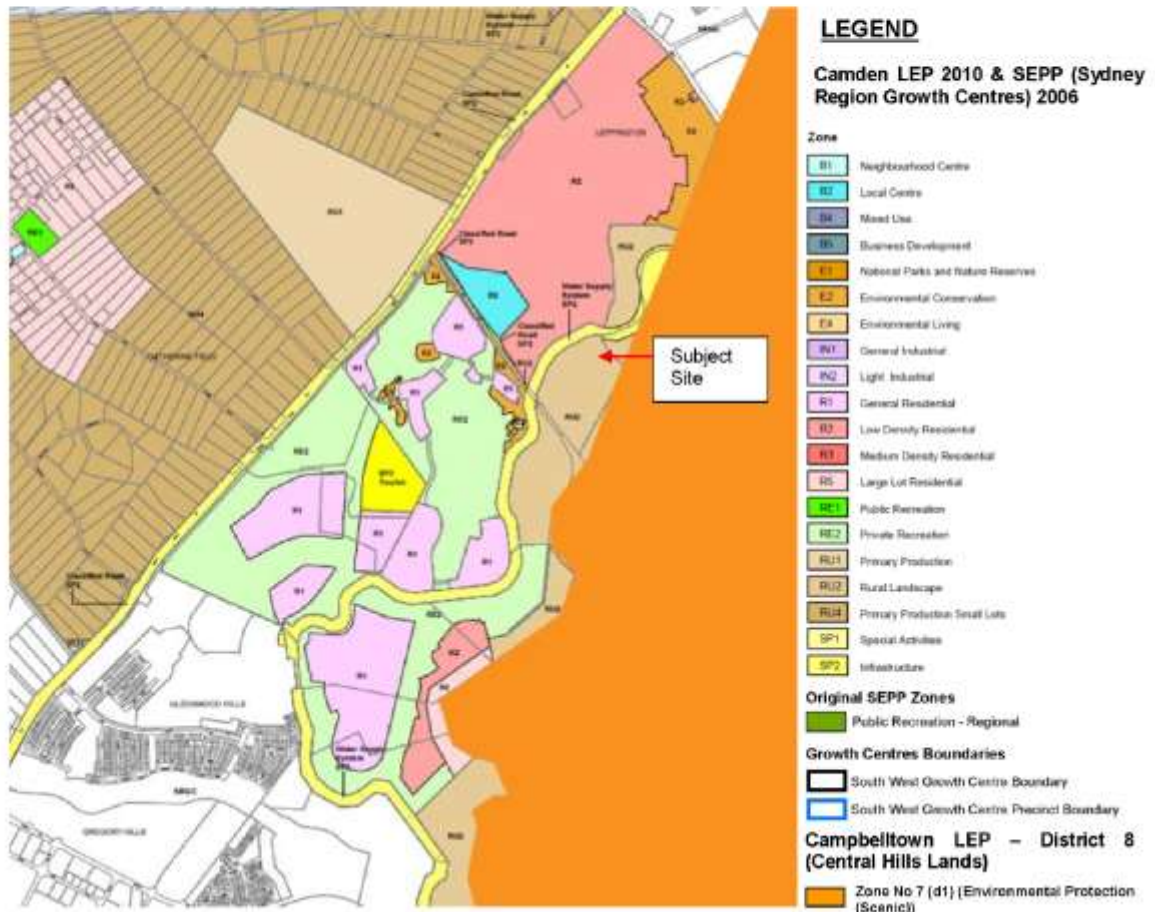


Figure 9: Zoning Extract from Camden LEP 2010, Campbelltown LEP 2015 and the Growth Centres SEPP

The zoning map at Figure 9 demonstrates that the site is located in close proximity to existing R2 general residential zones in the Camden Lakeside site to the west of the site. North of the site is the Emerald Hills site which is proposed to be zoned for a mix of R2 Residential, E2 Environmental, B1 Neighbourhood Centre, RE1 Public Recreation and E4 Environmental Living. Land to the east of the site is zoned 7(d1) (Environmental Protection (Scenic)) pursuant to Clause 8 of the Campbelltown Local Environmental Plan—District 8 (Central Hills Lands).

Prior to the gazettal of the Turner Road Precinct under the Growth Centres SEPP, this area was zoned 7(d) Environmental Protection (Scenic Hills) which stretched westward to Camden Valley Way.

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3.2 Other Controls

A building height restriction of 9.5 metres currently applies to the site. A minimum lot size of 40 hectares applies to the site.

The site is located adjacent to a state heritage item being the Upper Canal, Sydney water supply system.

4.0 The Planning Proposal

4.1 Objectives and Intended Outcomes

The objective of this Planning Proposal is to enable the redevelopment of the land at lots 1, 2 and Common Property of SP37300 (121 Raby Road, Leppington) for large lot residential development.

The Strata Scheme in SP37300 would be extinguished to create two Torrens Title allotments over the existing two residences. The proposal would allow for an approximate density of 1.8-2 dwellings per hectare.

An Indicative Layout Plan for the site has been prepared following the completion of the specialist studies (see Figure 10).

The objectives of the Proposal are to:

- Protect the scenic and landscape character of the area, particularly when viewed from public land such as the key arterial roads;
- Achieve orderly development having regard to the site's opportunities and constraints that integrates neighbouring sites and provides a transition between higher density residential zones and environmental protection zones;
- Plan a residential development that is sympathetic and complementary to the scenic qualities of the surrounding 'scenic hills' topography, with any built environments largely subservient to this landscape;
- Create a desirable place for all ages and a wide range of household types;
- Optimise the use of infrastructure; and
- Provide diversity in housing choice.

The intended outcome of the Planning Proposal is to rezone the site to permit large lot residential land uses that complement the denser residential areas anticipated on adjacent and nearby sites.

It is intended that the Planning Proposal would form part of an amendment to the Camden LEP 2010.

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Figure 10: Indicative Layout Plan

4.2 Explanation of Provisions

The amendments proposed to Camden LEP 2010 include a suite of controls that would facilitate the redevelopment of the site. The zoning controls would allow for large lot residential development on sites that sit within the context of the topography and existing and proposed vegetation.

Building height controls would restrict development to a maximum of two storeys. Lot size controls will ensure the density of development maximises tree retention and landscaping and provides a transition to the adjoining Environmental Protection zone.

The proposed controls include the following:

- Amend the Land Zoning Map to show R5 Large Lot Residential
- Retain the Building Height control of 9.5m on the Height of Buildings Map over the site;

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- Amend Lot Size Map to show a minimum lot size of 4,000m² over the site.

There are no other provisions that are required to be amended. The amendments will facilitate approximately 30 additional large residential lots.

The proposed amendments to the Camden LEP 2010 are also supported by site specific DCP controls which relate to visual landscape. A copy of the draft DCP amendments post exhibition are provided as Appendix 6 to this Planning Proposal.

4.3 Justification

This section addresses the need for the rezoning, identifies the background studies undertaken, details why the Planning Proposal is the best approach, and identifies what the community benefits will be.

4.3.1 Section A – Need for the Planning Proposal

Is the planning proposal a result of any strategic study or report?

Acoustic

The Acoustic Assessment prepared by PKA Acoustic Consulting assesses the traffic noise levels likely to be experienced at the future residential lots within the development, taking into account the upgrade and projected traffic levels of Raby Road. The report is provided as Attachment 2.

The report recommends that an appropriate acoustic barrier will be required along and returning down the sides of the Raby Road frontage. This is likely to take the form of an earth bund. Seven lots will also require acoustic-rated architectural treatments to be incorporated into the dwelling designs as well as the provision of alternative ventilation.

These recommendations are designed to comply with the internal noise criteria recommended by Camden Council's DCP 2011 and Environmental Noise Policy 2008.

Visual Landscape

Two Visual Impact Assessments were completed for the site; one by JMD Design in March 2013, and the other by Distinctive Living Design in October 2015. Both were peer reviewed by Betteridge Consulting, trading as MUSEcape. The assessments explored the visual impact of future development when viewed from 16 key public and private viewpoints including Raby House, Scenic Hills (in the Campbelltown LGA) and Gledswood Homestead. The visual impact assessments and peer reviews are provided as Attachments 7 and 8.

While the report identifies the development is visible from some viewpoints, visual impact on the existing rural residential character of the area is considered acceptable. Development controls proposed for landscaping, street lighting and building materials will mitigate the visual impact of development on the site. The development controls are detailed in Appendix 6 to this report.

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Traffic

TRAFFIX Traffic & Transport Planner undertook a Traffic Impact Assessment of the site in January 2016. The report is provided as Attachment 1.

Under the current South-West Growth Centre Road Network Framework, Raby Road is proposed to function as a sub-arterial road (non-classified regional road). Roads and Maritime Services (RMS) have been consulted regarding the widening of Raby Road. Following these discussions, a road reservation of 34.5m was agreed to be provided on the northern side of Raby Road. A site specific DCP control (Section 88B instrument) is proposed to ensure no structures are to be constructed within the proposed road reserve.

Access to the site is proposed by way of a new priority controlled (seagull) intersection to Raby Road as an interim arrangement until such time that Raby Road is reconstructed as a future sub-arterial road (subject to RMS concurrence). The sight lines have been assessed and are compliant with Austroads Guidelines. In the longer term, access to the site will be restricted to left-in/left-out only. Following gazettal of the Planning Proposal, a notation will be placed on the Section 149(5) certificates to indicate access to the site after completion of upgrade works to Raby Road will be restricted to left-in/left-out only.

Site Investigation (contamination)

A Preliminary Site Investigation was undertaken by Douglas Partners, dated 13 October 2015. The report is provided as Attachment 6.

This investigation comprised a review of site history information, a site walkover, and the excavation of 17 test pits and laboratory analysis of selected soil samples. It also included sampling and analysis of soil and sediment from within four dams located within the site. The report was prepared with reference to current NSW Environmental Protection Authority endorsed guidelines.

The investigation has shown that there is a low to moderate potential for contamination based on the nature of each identified Areas of Environmental Concern. It is considered the potential contamination is from uncontrolled filling from unknown origins and the use of pesticides on the site from former agricultural use.

In response to these results, Douglas Partners conclude the site could be rendered compatible with the proposed residential subdivision, subject to further investigation and possible remediation.

Further detailed investigations will occur to satisfy SEPP 55 at the Development Application stage.

Salinity

Douglas Partners carried out a Salinity Investigation and Management Plan for the site, dated 13 October 2015. The report is provided as Attachment 5. The investigation consisted of excavation of test pits, laboratory testing of selected samples, engineering analysis and reporting.

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The outcome of the investigation indicates the site is slightly-moderately saline. Testing shows that the materials within the site are slightly-mildly aggressive to steel and concrete. In addition, shallow soils were sodic to highly sodic.

The soils are naturally occurring features of the local landscape and are not considered significant impediments to the proposed development, provided appropriate remediation or management techniques are employed. Recommendations by Douglas Partners include bulk earthworks management strategies, civil construction and service installation strategies for roads, drainage and services, and a comprehensive salinity investigation at the construction stage to provide more detailed recommendations for individual residential lots.

Bushfire

Australian Bushfire Protection Planners (ABPP) Pty Limited undertook a bushfire constraints assessment of the site in September 2015. The report is provided as Attachment 4.

The Bushfire Assessment identifies that the vegetation on the site is likely to be removed as a result of the development. Category 2 Bushfire Prone Land is identified as occurring in the CPW on the northern adjoining property. It is proposed to have 26 metre Asset Protection Zones (APZs) for BAL 29 Construction on the northern most lots. Additionally, fire trails are proposed on these northern most lots.

The northern most lots are large enough to accommodate the 26 metre APZs and fire trails. The full detailed consideration of APZs and Australian Standards to be met in regards to Bushfire Attack Levels will be required to be undertaken at Development Application stage.

Aboriginal Archaeological and Cultural Heritage Assessment

Dominic Steele Consulting Archaeology (DSCA) prepared an Aboriginal Archaeological and Cultural Heritage Assessment, dated 28 September 2015. The report is provided as Attachment 3.

Inspections of the site identified no Aboriginal archaeological sites or objects located within the area. However a Potential Archaeological Deposit (PAD) was recorded and assessed to have low archaeological (scientific) significance until further geoarchaeological investigations are undertaken.

Therefore no objections to the proposal have been identified on Aboriginal archaeological grounds and the following are recommended:

- Recognition of the legal requirements and automatic statutory protection provided to Aboriginal 'objects' and 'places' under the terms of the *National Parks and Wildlife Act of 1974* and the advice and recommendations that have been provided by the Tharawal Local Aboriginal Land Council and the Cubbitch Barta Native Title Claimants Aboriginal Corporation that are appended to this report; and
- Formal consultation processes as set out in the Office of Environment and Heritage (OEH) *Aboriginal Consultation Requirements 2010* that may require future OEH Aboriginal Heritage Impact Permit (AHIP) approvals for the site should be initiated at the Development Application stage. Consultation with Aboriginal communities is required

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under Part 8A of the *National Parks and Wildlife Regulation 2009* and is to be conducted in accordance with the *OEH Aboriginal Heritage Consultation Requirements for Proponents 2010* where AHIPs are sought.

Ecological Assessment

Lesryk Environmental Consultants produced a Flora and Fauna Assessment, dated May 2014. The report is provided as Attachment 11. No threatened flora species were identified on the site. The vegetation on the western part of the site is identified as native open grassland with scattered native trees and is assessed as conforming to Cumberland Plain Woodland (CPW) – derived native grassland as defined under the *Threatened Species Conservation Act 1995* (TSC Act). Lesryk finds that the vegetation is highly degraded and does not play an important ecological role in connecting to surrounding remnants. Lesryk has undertaken a 7 part-test under the TSC Act and the *Environment Protection and Conservation Act 1979* and has identified there will be no significant impact if the vegetation is removed.

No threatened fauna species were identified on site, with the habitat being of low quality and disconnected. There are a low number of hollow-bearing trees which are identified to be retained where possible and if they are removed it is recommended that compensatory nest boxes be provided.

The remnant vegetation principally in the northern part of the site has been mapped on Council's Environmentally Sensitive Land Maps as low condition vegetation with scattered canopy trees less than 10% canopy. This concurs with Lesryk assessment that the vegetation is highly degraded and not of ecological significance. At the Development Application stage a 7 part-test will still be required to be undertaken. Whilst the remnant vegetation is of low quality, at the Development Application stage, an assessment should be undertaken of the tree and tree hollow loss.

Stormwater Management and Flood Assessment

A Stormwater Management and Flood Assessment Report was prepared by Stefani Group dated May 2015. The report is provided as Attachment 9. The proposed stormwater management strategy has satisfied the water quantity and quality requirements of Council with the provision of detention and bio retention.

Open Space and Community Facilities Assessment

A Open Space and Community Facilities Assessment Report was prepared by GLN Planning dated May 2015. The report is provided as Attachment 10. The report considered the likely demand for social infrastructure based on the anticipated dwelling yield of an additional 30 rural residential dwellings at the site. The report was satisfied that the social infrastructure demand is minor and incremental; and therefore will not necessitate a requirement to enlarge existing or planned facilities.

Summary of Specialist Studies

The Planning Proposal process is the most appropriate means to apply planning controls to the parcel of land. The Planning Proposal process would deliver revised planning controls for

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the site while also responding to the broader strategic issues of the Metropolitan Plan and the South West Subregion Draft Subregional Strategy.

Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

The Planning Proposal is considered the best option as it will allow the redevelopment of the site in a manner that is compatible with surrounding development and also takes into consideration the site constraints. The Planning Proposal is considered to be the best method of achieving renewal of landuse at the site which is sympathetic with adjoining lands.

4.3.2 Section B – Relationship to Strategic Planning Framework

Is the planning proposal consistent with the objectives and actions contained within the applicable regional or sub-regional strategy (including the Sydney Metropolitan Strategy and exhibited draft strategies)?

Plan for Growing Sydney

A Plan for Growing Sydney was released by the NSW Government in December 2014. This new document supersedes the draft Metropolitan Plan for Sydney 2036 – A Plan for Sydney's future plan which was released in December 2010.

The Sydney metropolitan area will face increasing pressure over the next twenty years with the projected increase in population of 1.6 million people, requiring 664,000 more dwellings and 689,000 more jobs by 2031. These pressures require careful and integrated land use and infrastructure planning and mechanisms for delivery. A Plan for Growing Sydney is the NSW Government's response to these pressures. The plan provides a strategy for accommodating Sydney's future population growth over the next 20 years and a framework for delivering investment and jobs growth, particularly for the Western Sydney region.

The proposed rezoning is appropriate in the context of the location. The locality is undergoing a significant transformation as rural uses are replaced by urban development. Large scale urban redevelopment is planned, and has commenced, in the nearby South West Priority Growth Area. This is supported with significant infrastructure upgrades including the Camden Valley Way upgrade and the construction of the new south west rail link to the future Leppington Strategic Centre and Leppington Railway Station.

Draft South West Subregional Strategy

The Metropolitan Strategy divides Sydney into sub-regions and the Department of Planning and Infrastructure (now Department of Planning and Environment) has maintained the subregional strategies in draft form. The subject site is located within the South West Subregion.

The Subregional Strategies are designed to assist Councils with the preparation of their LEPs. The Draft Subregional Strategy was released for exhibition in December 2007 and is still in draft.

The key directions and targets identified in the South West Subregion Draft Subregional Strategy of relevance to the precinct include:

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C1.2 Apply Sustainability Criteria for New Urban Development

An assessment of the proposal against the Sustainability Criteria was previously provided in Appendix 4 of the original Planning Proposal, dated March 2013. As this assessment is no longer a requirement, it has not been included in this version of the document.

SW C1.3.1 – South West councils to plan for sufficient zoned land to accommodate their government area housing targets through their Principal LEPs

The Draft Subregional Strategy identifies an additional 10,274 dwellings between 2004 and 2031, comprising 1,584 additional infill dwellings and 8,690 greenfield dwellings (excluding the South West Priority Growth Area). The rezoning of the site could contribute to the achievement of these dwelling targets without the loss of existing dwelling stock.

SW C2.1.1–South West councils to ensure the location of new dwellings improves the subregions performance against the target for the State Plan Priority E5

The action requires that South West councils ensure that 80% of new housing is located within 30 minutes by public transport of a Strategic Centre. The site will achieve this being in proximity to existing public transport routes on Raby Road and a future public transport corridor that will extend through the Emerald Hills, Camden Lakeside and East Side sites which will provide access to Campbelltown to the south-east, which is designated as a Strategic Centre under the Strategy and is approximately 7kms to the south-east of the site, and the future Leppington Major Centre 3kms to the north.

SW C2.3.4 – South West councils to provide for an appropriate range of residential zonings to cater for changing housing needs.

The proposal seeks rezoning to R5 Large Lot Residential zones and would complement surrounding areas of that are proposed for other residential densities, consistent with these directions under the draft South West Subregional Strategy.

Is the planning proposal consistent with the local council's Community Strategic Plan, or other local strategic plan?

Council adopted "Camden 2040 – A Strategic Plan for Camden" in 2010. Camden 2040 was prepared as a strategic response to the large-scale urban and population growth that has been planned for the area under the State Government's Metropolitan Strategy. It emphasises that with growth will bring new opportunities and facilities that have not previously been available, but needs to be managed actively and effectively in order to deliver quality places and lifestyles for the people of the Camden area, as well as protecting and enhancing the important history and character of the area that is so highly valued.

The rezoning of the site as proposed will provide additional housing opportunities in a location that, once surrounding development is completed, will have good access to a local centre and public transport to both town and strategic centres, while also being consistent with the Sustainability Criteria for new urban development. The large lot zoning will allow for the protection of the visually prominent ridgeline that characterises the eastern boundary and would allow for the retention of significant areas of vegetation and non-built up land. In this respect the rezoning would help to satisfy the demand for housing in the region while helping

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to maintain key elements of the current rural character of the area. In this respect the rezoning would not conflict with the Strategic Plan.

Is the planning proposal consistent with applicable state environmental planning policies?

The relevant State Environmental Planning Policies and deemed State Environmental Policies have been addressed at Appendix 1 to this report.

The consideration of these State Environmental Planning Policies and deemed SEPPs has identified that the Planning Proposal would not conflict with any of these Policies.

Is the planning proposal consistent with applicable Ministerial Directions (S117 Directions)?

The s117 directions applicable to the Planning Proposal have been addressed at Appendix 2 of this report.

The Planning Proposal would be consistent with all relevant Directions, within the exception of Direction 1.2 Rural Lands.

Direction 1.2 seeks to protect the agricultural production value of rural land. This Proposal seeks to rezone a RU2 Rural Landscape to a large lot residential zone, which is inconsistent with this direction.

The Camden Rural Lands Study 2000 includes details of agricultural land classification ranking. The site is classified as 'Class 3 - Grazing land suited to occasional cropping'. Class 3 land is not suited to horticulture and can support productive grazing systems. Notwithstanding this, the proposal is considered acceptable for the following reasons:

The site is effectively isolated by anticipated neighbouring urban development, which may limit the agricultural production value of the site due to issues such as potential land use conflict. The site would be only three small rural zoned sites located within Camden LGA between Leppington in the north and the future Gregory Hills Drive to the south, one of which is similarly the subject of a rezoning application.

The site is already used predominantly for rural residential purposes only, and is currently occupied by two large rural residential dwellings within landscaped grounds.

The Ministerial Direction for rural lands seeks to protect the agricultural production value of rural land. Officers have reviewed this direction and believe any inconsistency is of a minor nature. The subject land currently has two dwellings located on an 16ha property. The land is not actively utilised for agricultural production purposes. Rezoning of this land for residential purposes would therefore result in minimal impact on the agricultural production value of this land.

4.3.3 Section C – Environmental, Social and Economic Impact

Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

The majority of the site is currently cleared grassland. The site slopes down towards the eastern boundary. It is considered that there are no critical habitats or threatened species located on the site which would be impacted by the proposal.

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No threatened fauna species were identified on site, with the habitat being of low quality and disconnected. There are a low number of hollow-bearing trees which are identified to be retained where possible and if they are removed it is recommended that compensatory nest boxes be provided.

The remnant vegetation principally in the northern part of the site has been mapped on Council's Environmentally Sensitive Land Maps as low condition vegetation with scattered canopy trees less than 10% canopy. This concurs with Lesryk assessment that the vegetation is highly degraded and not of ecological significance. At the Development Application stage a 7 part-test will still be required to be undertaken. Whilst the remnant vegetation is of low quality, at the Development Application stage, an assessment should be undertaken of the tree and tree hollow loss.

Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?

The site is not flood prone.

There are minimal environmental effects as a consequence of the Planning Proposal as the site is essentially cleared grassland. A bushfire assessment has been prepared which shows that bushfire can be appropriately managed (Attachment 4).

How has the planning proposal adequately addressed any social and economic effects?

Social Effects

The Planning Proposal will provide an opportunity for the redevelopment of the site for land uses and activities commensurate with the surrounding locality. The Proposal would allow the redevelopment of the site to accommodate approximately 32 residential dwelling allotments.

The proposed increase in residential density for the land and subsequent increased residential population would place a minor additional demand on social services and open space. The immediate locality will be well serviced with open space and recreational opportunities. The number of additional dwellings in this case is insignificant in the context of other development proposed in the area and unlikely to lead to any discernible impact on community facilities earmarked to be constructed in the surrounding urban release areas. Any minor impacts on community facilities could be managed through Council's normal collection of section 94 contributions. Contributions would also be levied toward the provision of State public infrastructure.

The provision of greater housing choice and diversity would have a positive impact for the community, particularly given that the site is located in close proximity to future services and major employment lands.

The above sections of this Planning Proposal demonstrate that the proposed rezoning accords with the relevant strategic planning framework and is likely to result in a net community benefit.

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Economic Effects

The rezoning to allow for a large lot residential development at the site will result in positive economic effects. The Planning Proposal will potentially result in short and medium term employment opportunities related to construction activities that can be expected with the residential development upon rezoning.

Additionally, the rezoning will provide increased housing supply and diversity in a location with good access to nearby major employment centres. Although incremental, the economic impacts of having a stable and diverse housing supply in close proximity to employment hubs are considered positive.

4.3.4 State and Commonwealth Interests

Is there adequate public infrastructure for the planning proposal?

The site is located adjacent to Raby Road, which provides adequate access to service the proposed residential use. Raby Road is proposed to function as a sub arterial road in the future. As discussed above, the site would be serviced by public transport.

The site is located immediately adjacent to the proposed urban development of Emerald Hills and it is envisaged that services provided for surrounding development could be adapted to cater for development at site given that a relatively small number of lots are proposed. The rezoning and subsequent redevelopment of the site would be based upon sound principles for utilising and supporting existing community investment in infrastructure and services.

The rezoning proposed in this Planning Proposal offers opportunities to utilise and support the facilities due to be delivered in the neighbouring release areas, and the Planning Proposal would not place unacceptable demands on existing or proposed public infrastructure.

Any additional community infrastructure generated by the redevelopment of the site would be covered by the s94 developer contributions relevant to the site.

What are the views of State and Commonwealth public authorities consulted in accordance with the Gateway Determination?

As part of the public exhibition process, the Planning Proposal and draft DCP amendments were referred to a number of public agencies in accordance with the gateway determination. The following public agencies were consulted:

- Sydney Catchment Authority (now 'WaterNSW');
- Sydney Water;
- Endeavor Energy;
- Transgrid;
- Jemena;
- APA Group;
- Roads and Maritime Services;
- Rural Fire Service;
- Office of Environment and Heritage;
- NSW Resources and Energy; and

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- Campbelltown City Council.

4.5 Mapping

The following maps will need to be amended:

- Land Zoning Map _016 to show R5 – Large Lot Residential
- Lot Size Map _016 to show W – 4000sqm

4.6 Community Consultation

In accordance with Council's resolution, the draft Planning Proposal and draft DCP were exhibited from 5 April until 3 May 2016. The exhibition period was subsequently extended until 18 May 2016.

A notification was placed in the local newspaper, with the exhibition material available on Council's website and available at Council's Customer Service Centres and Libraries. A letter was also sent to land owners in the vicinity of the subject site inviting comment on the proposal.

As a result of the exhibition, fifteen submissions were received including four objections from the community and two objections from public agencies (eleven submissions in total were received from public agencies).

Public Agency Responses

Campbelltown City Council

The submission made by Campbelltown City Council objects to the draft Planning Proposal. The key issues identified include removal of the spatial buffer and transition area between the Campbelltown and Camden LGA's. Campbelltown Council is also concerned the draft DCP did not adopt a key recommendation from the visual impact assessment. The submission also requests that Council consider a larger minimum lot size of 10,000m², to reduce impacts on the spatial buffer.

While objecting to the proposal, the submission notes that the visual impact on the Scenic Hills is not significant, however, will result in the further erosion of landscape character and critical sense of place.

Officer Response

The visual impact assessment demonstrates that there will be a minor impact on the Scenic Hills. Council officers have reviewed the draft DCP and the visual impact assessment and have made an amendment to the draft DCP to include the planting of a 10m wide vegetated buffer along the perimeter of the site. This requirement will be enforced by a covenant to be imposed on the individual lots.

Council officers have also considered the request to increase in the minimum lot size (to 10,000m²). Officers do not consider that an increase in minimum lot sizes will result in an

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improved visual outcome or protection of the spatial buffer between Camden and Campbelltown.

Department of Industry – Resources and Energy Division

The Department's Resources and Energy Division has reiterated its objection to the draft Planning Proposal based on the site's importance for future coal and coal seam gas exploration.

Officer Response

Council officers made numerous efforts to liaise with the Department's Resources and Energy Division in an attempt to resolve the objection. Following a meeting with the DPE it was agreed that the matters raised in the submission are a state policy matter and therefore need to be discussed between the relevant stakeholder agencies. DPE has indicated its support for Council to proceed with the draft Planning Proposal.

Summary of other Submissions

Below are is summary of the key issues and officers responses to other submissions.

1. Unacceptable visual impacts on the Scenic Hills and surrounding rural lands

A number of submissions identified concerns with the potential visual impacts as a result of developing the site for residential purposes. In particular concerns were raised on the impact of views from the Scenic Hills.

Officer Response

The Landscape and Visual Assessment report prepared by Distinctive Landscapes and Musescape, (November 2015) concludes that the proposed development will either have no visual impact on views from sensitive viewing points, or its impact will be attenuated by distance and can be mitigated by development controls.

The Landscape and Visual Assessment reports concludes that once the recommended vegetated buffer screen located adjacent to the boundaries of the site has matured, the site will be largely screened from view from adjacent roads and developments.

The proposed control to be inserted into the draft DCP has been amended (post exhibition) to require the planting of a 10m wide vegetated buffer screen adjacent to the boundaries of site. The buffer will incorporate upper, middle and lower canopy plantings from the Cumberland Plain Woodland vegetation community.

This draft DCP control, along with other DCP controls will further mitigate the visual impact of the proposed development on its surrounds.

2. Missing information in the Visual Impact Assessment

Concern was raised with regards to the Visual Impact Assessment not including a key viewpoint within the Scenic Hills from the historic homestead Varroville. In addition to

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missing viewpoints, concerns were raised that the visual impact assessment did not include the impacts of future utility structures.

Officer Response

Council officers were advised by the proponent that they were unable to gain access to the Varroville property to undertake view analysis. In lieu of gaining access a detailed cross section taken from Varroville towards the site was prepared. This cross section shows that no residential development will be visible from the homestead.

With regards to consideration of future utility structures the visual impact assessment does consider key infrastructure such as street lights and recommends that street lights have hoods or other appropriate design treatment to minimise light spill. This control is included in the draft DCP.

Other utility structures such as the security fence required to be erected along the Water NSW (Sydney Water) canal have not been considered as part of the Visual Impact Assessment. However it is noted that the canal is on the western side of the ridgeline and will not be visible from the Scenic Hills.

3. Concerns that the recommendations of the visual impact assessment are not translated into the draft DCP

Submissions identified concerns that the draft DCP prepared for the subject site did not adopt all of the recommendations of the visual impact assessment.

Officer Response

Council officers have reviewed the draft DCP and the recommendations of the visual impact assessment. As a result of this review it is proposed to amend the proposed control in the draft DCP to require a 10m wide (minimum) vegetated buffer screen, incorporating upper, middle and lower canopy plantings from the Cumberland Plain Woodland vegetation community, to be planted.

A Vegetation Management Plan (VMP) must be submitted with the first subdivision DA that specifies the necessary buffer screen plantings and ongoing maintenance requirements. A covenant will also be registered on the title of the lots requiring compliance with the VMP. Planting works as per the VMP must be completed prior to the release of the Subdivision Certificate for the relevant lots.

4. Cumulative impacts of rezoning

Submissions raised concerns that the proposed rezoning will add to the ongoing cumulative impact on the scenic and rural vistas from the Scenic Hills.

Officer Response

As part of considering any Planning Proposal, Council is required to consider each site on its merit. The proposal is supported by a suite of specialist studies that analyse the potential impacts of developing the site for large lot residential development. The specialist studies identify that there is minimal impact of developing the subject land.

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Council officers therefore do not believe this draft Planning Proposal will create cumulative impacts that will lead to further rezonings.

5. Impacts and reliance on services in the Campbelltown LGA

Concerns were raised that the proposed development would utilise services provided by Campbelltown City Council and not Camden Council.

Officer Response

The Open Space and Community Facilities Assessment Report prepared by GLN Planning dated May 2015 identifies that future residents will be able to access local services from within the Camden LGA. The report does identify that residents may access regional services located within the adjacent Campbelltown LGA, however this is considered acceptable as the subject site is located within the catchment for regional services from Campbelltown.

6. Inconsistent with State Government Policy

Concerns have been raised with regards to the proposal being inconsistent with a number of State Government policies. The submissions identify inconsistencies with:

- 117 Ministerial Direction – Rural Lands;
- SEPP (Mining, Petroleum Production and Extraction Industries) 2007; and
- A Plan for Growing Sydney.

Officer Response

The Ministerial Direction for rural lands seeks to protect the agricultural production value of rural land. Officers have reviewed this direction and believe any inconsistency is of a minor nature. The subject land currently has two dwellings located on a 16ha property. The land is not actively utilised for agricultural production purposes. Rezoning of this land for residential purposes would therefore result in minimal impact on the agricultural production value of this land.

The SEPP (Mining, Petroleum Production and Extraction Industries) 2007 is applicable to this site. The draft Planning Proposal incorrectly identified that the SEPP did not apply and was amended to reflect this change.

The objectives of this SEPP are to ensure the future extraction of state or regionally significant resources are not compromised by inappropriate development. It is acknowledged that the SEPP (Mining, Petroleum Production and Extraction Industries) 2007 does apply to the site, however it is noted that there are no plans for mining or gas production activities on the site. The draft Planning Proposal will therefore be amended to reflect this change.

A Plan for Growing Sydney and Council's own Strategic Plan (Camden 2040) support the provision of a diversity of housing product across Sydney. The proposal is not inconsistent with the intent of A Plan for Growing Sydney, and will provide large lot rural housing as a transition to more dense housing forms in the Growth Centres.

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4.7 Project Timeline

Anticipated commencement date (date of Gateway determination)	18 November 2013
Anticipated timeframe for the completion of required technical information	January 2016
Timeframe for government agency consultation (pre and post exhibition as required by Gateway determination)	December 2015
Commencement and completion dates for public exhibition period	March – May 2016
Dates for public hearing (if required)	N/A
Timeframe for consideration of submissions	May – June 2016
Timeframe for the consideration of a proposal post exhibition	July – August 2016
Date of submission to the Department to finalise the LEP	August 2016
Anticipated date RPA will make the plan (if delegated)	September 2016
Anticipated date RPA will forward to the Department for notification	September 2016

5.0 Conclusions and Recommendations

This Planning Proposal for lots 1, 2 and Common Property in SP 37300, 121 Raby Road, Leppington seeks to rezone the site to allow a large lot residential development.

The proposed rezoning is appropriate in the context of the location. The locality is undergoing a significant transformation as rural uses are replaced by urban development. Large scale urban redevelopment is planned, and has commenced, in the nearby South West Priority Growth Area. This is supported with significant infrastructure upgrades including the Camden Valley Way upgrade and the construction of the South West rail link to the future Leppington Major Centre and Leppington Railway Station.

The redevelopment of the Turner Road precinct, approximately 2.5 km south-west of the site, has commenced, with large scale residential subdivision and dwelling construction underway within Gregory Hills and The Hermitage residential estates. The release and development of the Turner Road precinct (and other associated release areas) is delivering significant benefits and opportunities to this part of Camden, with the construction of key infrastructure, creation of residential communities, new retail and commercial centres, employment

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generating centres, provision of education, recreation and community facilities and the provision of public transport.

The site is also located in the immediate vicinity of Camden Lakeside which is nominated as an urban release area and has been rezoned to support some 380 dwellings. Approximately 1.5km to the south west of the site is the El Caballo Blanco/Gledswood/East Side lands, recently rezoned to accommodate a range of urban uses. The Emerald Hills site to the immediate north of the site is currently being developed.

In the context of broader transformation of the locality, the rezoning of the site would facilitate development that is consistent and complementary to that proposed on surrounding lands, and capitalise on services and infrastructure being provided as part of the broader redevelopment of this part of Sydney. As nearby development is completed, the site will be located in close proximity to public transport services, employment opportunities, recreation facilities, education services and social and retail services associated with the neighbouring release areas. The site has a direct frontage to Raby Road, which means that it will be well serviced and accessible to all necessary services and infrastructure to support redevelopment for residential purposes. In particular, the site will have easy access to key centres such as Campbelltown and the future Major Centre at Leppington.

Retaining the site as land zoned for rural uses would result in an isolated pocket of rural land, surrounded by urban redevelopment, and unlikely to be of a sufficient size to support a range of rural uses. The zoning proposed will allow for a transition between denser urban development to the west of the site and the environmental protection zones to the east.

Based on the issues addressed in this Planning Proposal and during the Public Exhibition period Council has prepared a Draft LEP to amend the Camden LEP 2010 in the following way.

- Amend the Land Zoning Map to show the subject site as R5 Large Lot Residential
- Amend Lot Size Map to show a minimum lot size of 4,000m² for the R5 Large Lot Residential zone on the site, and;
- Maintain a Building Height of 9.5m on the Height of Buildings Map over the site.

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6.0 Appendices

Appendix 1: Consistency against State Environmental Planning Policies

Appendix 2: S117 Directions

Appendix 3: Gateway Determination

Appendix 4: Revised Gateway Determination

Appendix 5: NSW Trade and Investment Submission

Appendix 6: Draft DCP Controls

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Appendix 1: Consistency against State Environmental Planning Policies

SEPP Title	Consistency	Comment
1. Development Standards	Yes	This SEPP does not apply to the Camden LEP 2010.
14. Coastal Wetlands	N/A	
15. Rural Land-sharing Communities	N/A	
19. Bushland in Urban Areas	Yes	The provisions of this SEPP do not apply to the site.
21. Caravan Parks	N/A	
26. Littoral Rainforests	N/A	
29. Western Sydney Recreation Area	N/A	
30. Intensive Agriculture	N/A	The provisions of this SEPP relate to cattle feed lot proposals
32. Urban Consolidation (Redevelopment of Urban Land)	N/A	This SEPP only applies to urban land.
33. Hazardous and Offensive Development	N/A	
36. Manufactured Home Estates	N/A	
39. Spit Island Bird Habitat	N/A	
41. Casino Entertainment Complex	N/A	
44. Koala Habitat Protection	N/A	The SEPP does not apply to Camden LGA.
47. Moore Park Showground	N/A	
50. Canal Estate Development	N/A	
52. Farm Dams and Other	N/A	This SEPP relates to the construction of

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Works in Land and Water
Management Plan Areas

artificial waterbodies.

55. Remediation of Land	Yes	<p>A Preliminary Site Investigation was undertaken by Douglas Partners, dated 13 October 2015. The report is provided as Attachment 6. This investigation comprised a review of site history information, a site walkover, and the excavation of 17 test pits and laboratory analysis of selected soil samples. It also included sampling and analysis of soil and sediment from within four dams located within the site. The report was prepared with reference to current NSW Environmental Protection Authority endorsed guidelines.</p> <p>The investigation has shown that there is a low to moderate potential for contamination based on the nature of each identified Areas of Environmental Concern. It is considered the potential contamination is from uncontrolled filling from unknown origins and the use of pesticides on the site from former agricultural use.</p> <p>In response to these results, Douglas Partners conclude the site could be rendered compatible with the proposed residential subdivision, subject to further investigation and possible remediation.</p> <p>Further detailed investigations will occur to satisfy SEPP 55 at the Development Application stage.</p>
59. Central Western Sydney Economic and Employment Area	N/A	
62. Sustainable Aquaculture	N/A	
64. Advertising and Signage	N/A	
65. Design Quality of Residential Flat Development	N/A	

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70. Affordable Housing (Revised Schemes)	N/A	
71. Coastal Protection	N/A	
SEPP (Building Sustainability Index: BASIX) 2004	Yes	This SEPP is relevant to specific development that would become permitted under the Planning Proposal. Future development would need to comply with these provisions.
SEPP (Housing for Seniors or People with a Disability) 2004	Yes	This SEPP is relevant to specific development that would become permitted under the Planning Proposal and would need to comply with these provisions.
SEPP (Major Development)	Yes	This SEPP is relevant to particular development categories. This Planning Proposal does not derogate or alter the application of the SEPP to future development.
SEPP (Sydney Region Growth Centres) 2006	N/A	
SEPP (Infrastructure) 2007	Yes	This SEPP is relevant to particular development categories. This Planning Proposal does not derogate or alter the application of the SEPP to future development.
SEPP (Kosciuszko National Park-Alpine Resorts) 2007	N/A	
SEPP (Mining, Petroleum Production and Extractive Industries) 2007	N/A	It is acknowledged that the State Environmental Planning Policy (Mining, Petroleum Production and Extraction Industries) 2007 does apply to the site, however it is noted that there are no plans for mining or gas production and/or activities on the site subject to the Planning Proposal.
SEPP (Temporary Structures and Places of Public Entertainment) 2007	Yes	This SEPP is unlikely to apply to the forms of development that will become permissible under the Planning Proposal.
SEPP (Exempt and Complying Development)	Yes	This SEPP is relevant to particular development categories. This Planning

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Codes) 2008		Proposal does not derogate or alter the application of the SEPP to future development.
SEPP (Rural Lands) 2008	N/A	This SEPP does not apply to the Camden LGA.
SEPP (Western Sydney Parklands) 2009	N/A	
SEPP (Affordable Rental Housing) 2009	Yes	This SEPP is relevant to particular development categories. This Planning Proposal does not derogate or alter the application of the SEPP to future development.
Sydney Regional Environmental Plan (Sydney Harbour Catchment)	N/A	
SREP20 Hawkesbury-Nepean River	Yes	<p>The SREP requires consideration be given to the impact of future land use in Hawkesbury-Nepean River catchment in a regional context. The plan covers water quality and quantity, environmentally sensitive areas, riverine scenic quality, agriculture, and urban and rural residential development.</p> <p>The Planning Proposal is unlikely to alter or impact adversely upon the water quality and quantity, environmentally sensitive areas and flora and fauna within the Hawkesbury-Nepean River catchment.</p>

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Appendix 2 : S117 Directions

S117 Direction Title	Consistency	Comment
1.0 Employment and Resources		
1.1 Business and Industrial Zones	NA	
1.2 Rural Zones	No	<p>Inconsistent – The inconsistency is of a minor nature.</p> <p>The Planning Proposal proposes to rezone RU2 Rural Landscape zone to a R5 Large Lot Residential zone, which is inconsistent with this direction.</p> <p>Notwithstanding this, the proposal is considered acceptable for the following reasons:</p> <ol style="list-style-type: none"> 1. The site is effectively isolated by anticipated neighbouring urban development, which is likely to limit the agricultural production value of the site. 2. The site would be only three small rural zoned sites located within Camden LGA between Leppington in the north and the future Gregory Hills Drive to the south, one of which is similarly the subject of a rezoning application. 3. The site is already used predominantly for rural residential purposes only, comprising two large dwellings within landscaped grounds and the land is not actively utilised for agricultural production purposes 4. The site is relatively small by agricultural standards at 16.78 hectares. 5. The site neighbours lands that were historically rural zoned land is currently being developed
1.3 Mining, Petroleum Production and Extractive Industries	Yes	<p>Post-Gateway, Council referred the Planning Proposal to the Department of Industry, Skills and Regional Development, previously known as the Department of Trade and Investment, Regional Infrastructure and Services (DTIRIS, a.k.a. NSW Trade & Investment).</p>

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A submission was received in August 2014 from its Mineral Resources Branch (now NSW Resources & Energy Division).

The submission objected to the proposal, outlining the importance of the site for future coal and coal seam gas exploration.

Correspondence has been received from Department of Planning and Environment stating that Council has satisfied the intention of the section 117 direction and it is not necessary for Council to take further action in this regard.

As this is a state policy matter, the DPE has advised they will continue to seek further views of the Department of Industry.

1.4 Oyster Aquaculture	N/A	
1.5 Rural Lands	N/A	This Direction does not apply to the Camden LGA.
2.0 Environment and Heritage		
2.1 Environment Protection Zones	Yes	<p>The majority of the site is currently cleared grassland. The site slopes down towards the eastern boundary. It is considered that there are no critical habitats or threatened species located on the site which would be impacted by the proposal.</p> <p>No threatened fauna species were identified on site, with the habitat being of low quality and disconnected. There are a low number of hollow-bearing trees which are identified to be retained where possible and if they are removed it is recommended that compensatory nest boxes be provided.</p> <p>The remnant vegetation principally in the northern part of the site has been mapped on Council's Environmentally Sensitive Land Maps as low condition vegetation with scattered canopy trees less than 10% canopy. This concurs with Lesryk assessment that the vegetation is highly degraded and not of ecological significance. At the Development Application stage a 7 part-test will still be required to be</p>

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undertaken. Whilst the remnant vegetation is of low quality, at the Development Application stage, an assessment should be undertaken of the tree and tree hollow loss. The Office of Environment and Heritage will be consulted during the public exhibition period.

2.2 Coastal Protection	N/A	
2.3 Heritage Conservation	Yes	<p>Dominic Steele Consulting Archaeology (DSCA) prepared an Aboriginal Archaeological and Cultural Heritage Assessment, dated 28 September 2015. The report is provided as Attachment 3.</p> <p>Inspections of the site identified no Aboriginal archaeological sites or objects located within the area. However a Potential Archaeological Deposit (PAD) was recorded and assesses to have low archaeological (scientific) significance until further geo archaeological investigations are undertaken.</p> <p>Therefore no objections to the proposal have been identified on Aboriginal archaeological grounds and the following are recommended:</p> <ul style="list-style-type: none"> ▪ Recognition of the legal requirements and automatic statutory protection provided to Aboriginal 'objects' and 'places' under the terms of the <i>National Parks and Wildlife Act of 1974</i> and the advice and recommendations that have been provided by the Tharawal Local Aboriginal Land Council and the Cubbitch Barta Native Title Claimants Aboriginal Corporation that are appended to this report; and ▪ Formal consultation processes as set out in the Office of Environment and Heritage (OEH) <i>Aboriginal Consultation Requirements 2010</i> that may require future OEH Aboriginal Heritage Impact Permit (AHIP) approvals for the site should be initiated at the Development Application stage. Consultation with Aboriginal communities is required under Part 8A of the <i>National Parks and Wildlife Regulation 2009</i> and is to be conducted in

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accordance with the OEH *Aboriginal Heritage Consultation Requirements for Proponents 2010* where AHIPs are sought.

There are no European heritage items located on the site, although the site is immediately adjacent to the SCA – Water Supply Canal which is identified on the State Heritage Register. The Planning Proposal will be referred to the Sydney Catchment Authority and Office of Environment and Heritage during the public exhibition period.

2.4 Recreation Vehicle Areas N/A

3.0 Housing, Infrastructure and Urban Development

3.1 Residential Zones	Yes	<p>The proposed R5 zone would permit a large lot residential development on the land commensurate with the zoning and development of immediately adjacent land. Detailed technical studies have been prepared which support the Planning Proposal.</p> <p>The site is considered to be consistent with the Direction as the rezoning would:</p> <ul style="list-style-type: none"> Encourage and facilitate housing to satisfy future needs. Would make efficient use of proposed transport infrastructure and utility services. The provision of infill residential development on what will be a well serviced and located site.
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3.2 Caravan Parks and Manufactured Home Estates NA

3.3 Home Occupations	Yes	<p>The zones proposed in the Planning Proposal will permit home occupations to be</p>
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				carried out in dwelling houses without the need for development consent.
3.4	Integrating Land Use and Transport Ministerial Direction	Use this	Yes	<p>The Planning Proposal is considered to be consistent with this Direction through:</p> <p>The Proposal will provide housing in a location that is serviced by an existing public transport route along Raby Road. It is likely that public transport provision will increase in this area in parallel to the urban development of the area;</p> <p>Further bus routes have been proposed as part of the urban development of the ECB/Gledswood/East Side and Camden Lakeside sites, which will provide access to Campbelltown and the new Leppington Railway Station in the future Major Centre at Leppington. These routes would run within 1km of much of the site.</p> <p>Much of the site is located within 800m to 1km from a proposed local centre at Emerald Hills; and</p> <p>Pedestrian and cycleway connections are to be provided in the vicinity of the site as part of nearby urban developments.</p>
3.5	Development Licensed Aerodromes	Near	Yes	The Planning Proposal does not propose to introduce buildings of a height that would impact upon navigation to any airport.
3.6	Shooting Ranges		NA	
4.0	Hazard and Risk			
4.1	Acid Sulphate Soils		N/A	
4.2	Mine Subsidence and Unstable Land		NA	
4.3	Flood Prone Land		Yes	The site is not identified as Flood Prone Land or within a potential flood planning area.
4.4	Planning for Bushfire Protection		Yes	Australian Bushfire Protection Planners (ABPP) Pty Limited undertook a bushfire constraints assessment of the site in September 2015. The report is provided as Attachment 4.

Amendment 27 – 121 Raby Road, Leppington

The Bushfire Assessment identifies that the vegetation on the site is likely to be removed as a result of the development. Category 2 Bushfire Prone Land is identified as occurring in the CPW on the northern adjoining property. It is proposed to have 26 metre Asset Protection Zones (APZs) for BAL 29 Construction on the northern most lots. Additionally, fire trails are proposed on these northern most lots.

The northern most lots are large enough to accommodate the 26 metre APZs and fire trails. The full detailed consideration of APZs and Australian Standards to be met in regards to Bushfire Attack Levels will be required to be undertaken at Development Application stage.

RFS will be consulted during the public exhibition stage.

5.0 Regional Planning		
5.1 Implementation of Regional Strategies	of	N/A
5.2 Sydney Drinking Water Catchments		N/A
5.3 Farmland of State and Regional Significance on the NSW Far North Coast		N/A
5.4 Commercial and Retail Development along the Pacific Highway, North Coast		N/A
5.5 Development in the vicinity of Ellalong, Paxton and Millfield (Cessnock LGA)		Revoked – N/A
5.6 Sydney to Canberra Corridor		Revoked – N/A
5.7 Central Coast		Revoked – N/A

Amendment 27 – 121 Raby Road, Leppington

5.8 Second Sydney Airport: N/A Badgerys Creek		
5.9 North West Rail Link N/A Corridor Strategy		
6.0 Local Plan Making		
6.1 Approval and Referral Requirements	Yes	The Planning Proposal is consistent with this Ministerial Direction.
6.2 Reserving Land for Public Purposes	Yes	The Planning Proposal is consistent with this Ministerial Direction.
6.3 Site Specific Provisions	Yes	The Planning Proposal is consistent with this Ministerial Direction.
7.0 Metropolitan Plan Making		
7.1 Implementation of A Plan for Growing Sydney	Yes	The Planning Proposal is consistent with the relevant actions from the strategy

ORD03

Amendment 27 – 121 Raby Road, Leppington

Appendix 3: Gateway Determination

Attachment 1



Mr Ron Moore
General Manager
Camden Council
P O Box 183
CAMDEN NSW 2570

Our ref: 13/15807
Your ref: SC969



Dear Mr Moore

Planning Proposal to amend Camden LEP 2010 – Amendment No. 27

I am writing in response to your Council's letter dated 13 September, 2013 requesting a Gateway determination under section 56 of the Environmental Planning and Assessment Act 1979 ("EP&A Act") in respect of the planning proposal to rezone land at 121 Raby Road, Leppington, from RU2 Rural Landscape to R5 Large Lot Residential.

As delegate of the Minister for Planning and Infrastructure, I have now determined the planning proposal should proceed subject to the conditions in the attached Gateway determination.

You will note a condition attached to the determination requires Council to review the proposed height control in view of the nature of the site and its location. Should you wish to discuss this condition, please contact the regional office. A further condition requires the removal of the intention to identify the site as an urban release area. Given the nature of the proposal it was not considered necessary to identify the site in this manner. Similarly, should you wish to discuss this condition, you may care to contact the regional office.

I have also agreed the planning proposal's inconsistency with section 117 Direction 1.2 Rural zones is of minor significance. No further approval is required in relation to this direction. However, Council may need to obtain the Director General's agreement to satisfy the requirements of other section 117 directions. If this is the case, Council is to ensure this occurs prior to the plan being made.

The Minister delegated his plan making powers to councils in October 2012. It is noted that Council has requested to be issued with delegation for this planning proposal. I have considered the nature of Council's planning proposal and have decided to issue an authorisation for Council to exercise the delegation to make this plan. Council is reminded that it must not use its delegation where there is an unresolved agency objection to the proposal. In this instance, Council is to contact the regional office of the department to seek assistance in resolving this matter so that the plan may proceed under delegation.

The amending Local Environmental Plan (LEP) is to be finalised within 12 months of the week following the date of the Gateway determination. Council should aim to commence the exhibition of the planning proposal as soon as possible. Council's request to draft and finalise the LEP should be made directly to Parliamentary Counsel's Office at least 6 weeks prior to the projected publication date. A copy of the request should be forwarded to the Department for administrative purposes.

Sydney West Office

Level 5, 10 valentine Avenue, Parramatta NSW 2150 | GPO Box 39 Sydney NSW 2001 | T 02 9860 1560 | F 02 9228 6455 |
www.planning.nsw.gov.au

The State Government is committed to reducing the time taken to complete LEPs by tailoring the steps in the process to the complexity of the proposal, and by providing clear and publicly available justification for each plan at an early stage. In order to meet these commitments, the Minister may take action under section 54(2)(d) of the EP&A Act if the time frames outlined in this determination are not met.

Should you have any queries in regard to this matter, please contact Tai Ta of the Sydney West regional office of the Department on 02 9860 1567.

Yours sincerely,



18/11/2013

Rachel Cumming
Acting Regional Director
Sydney West
Planning Operations and Regional Delivery

Sydney West Office

Level 5, 10 valentine Avenue, Parramatta NSW 2150 | GPO Box 39 Sydney NSW 2001 | T: 02 9860 1560 | F: 02 9228 6455 | www.planning.nsw.gov.au



Gateway Determination

Planning Proposal (Department Ref: PP_2013_CAMDE_017_00) to rezone land at 121 Raby Road, Leppington, from RU2 Rural Landscape to R5 Large Lot Residential

I, the Acting Regional Director, Sydney Region West Team at the Department of Planning and Infrastructure as delegate of the Minister for Planning and Infrastructure, have determined under section 56(2) of the EP&A Act that an amendment to the Camden LEP to rezone land at 121 Raby Road, Leppington should proceed subject to the following conditions:

1. Amendment of the planning proposal, as follows:
 - (a) all references to indentifying the site as an urban release area be removed from the planning proposal;
 - (b) under '1.0 Introduction' of the proposal, the words 'as a standalone matter' be removed or clarified; and
 - (c) under the assessment of section 117 directions (p. 44 of the proposal) the comment against section 117 direction 1.3 be amended to indicate that the proposal does not intend to make 'extractive industries' permissible within the R5 zone and that the comment is adjusted accordingly prior to exhibition.
2. Council is to review the proposed imposition of a single height control for the site and is to consider a mix of height controls to protect the scenic nature of the site and/or clearly indicate in the planning proposal the proposed means to be employed to control housing form, location and height in this regard, to protect views from the east of the site.
3. Council is to undertake the following studies:
 - contamination and salinity,
 - ecological assessment;
 - aboriginal archaeology and significance,
 - traffic and road access,
 - bushfire.
4. Council is to consult with the Office of Environment and Heritage and, if necessary, demonstrate consistency with section 117 direction 2.1 Environmental Protection Zones.
5. Council is to consult with Office of Environment and Heritage and the Sydney Catchment Authority, particularly in respect of the State listed heritage item: the Upper Water Canal.
6. Council is to consult with the Department of Trade & Investment - Mineral Resources & Energy (Minerals & Petroleum) and, if necessary, review the proposal's consistency with section 117 direction 1.3 Mining, Petroleum Production and Extractive Industries.
7. Council is to consult with the Commissioner of the NSW Rural Fire Services and give consideration to the provisions of section 117 direction 4.4 Planning for Bushfire Services and particularly bring to attention the proposition of possible screen planting on the ridgeline of the site.

8. Further, Council is to consult with the following:

- Sydney Water;
- Jemena;
- Roads and Maritime Services;
- Transgrid;
- Endeavour Energy;
- Campbelltown City Council.

9. In consulting with Roads and Maritime Services, consideration is to be given to any proposed upgrade works for Raby Road and funding arrangements.

10. Community consultation is required under sections 56(2) and 57 of the EP&A Act 1979 for a period of 28 days.

11. The timeframe for completing the Local Environmental Plan is to be 12 months from the week following the date of the gateway determination.

Dated 18th day of November 2013.



Rachel Cumming
Acting Regional Director, Sydney Region West
Planning Operations and Regional Delivery
Delegate of the Minister for Planning and Infrastructure

WRITTEN AUTHORISATION TO EXERCISE DELEGATION

Camden Council is authorised to exercise the functions of the Minister for Planning and Infrastructure under section 59 of the *Environmental Planning and Assessment Act 1979* that are delegated to it by instrument of delegation dated 14 October 2012, in relation to the following planning proposal:

Number	Name
PP_2013_CAMDE_017_00	Planning proposal to rezone land at 121 Raby Road, Leppington, from RU2 Rural Landscape to R5 Large Lot Residential.

In exercising the Minister's functions under section 59, the Council must comply with the Department's "*A guideline for the preparation of local environmental plans*" and "*A guide to preparing planning proposals*".



18/11/2013

Rachel Cumming
Acting Regional Director
Sydney Region West
Department of Planning and Infrastructure

Attachment 5 – Delegated plan making reporting template

Reporting template for delegated LEP amendments

Notes:

- Planning proposal number will be provided by the department following receipt of the planning proposal
- The department will fill in the details of Tables 1 and 3
- RPA is to fill in details for Table 2
- If the planning proposal is exhibited more than once, the RPA should add additional rows to **Table 2** to include this information
- The RPA must notify the relevant contact officer in the regional office in writing of the dates as they occur to ensure the department's publicly accessible LEP Tracking System is kept up to date
- A copy of this completed report must be provided to the department with the RPA's request to have the LEP notified

Table 1 – To be completed by the department

Stage	Date/Details
Planning Proposal Number	PP_2013_CAMDE_017_00
Date Sent to Department under s56	13/9/2013
Date considered at LEP Review Panel	N/A
Gateway determination date	

Table 2 – To be completed by the RPA

Stage	Date/Details	Notified Reg Off
Dates draft LEP exhibited		
Date of public hearing (if held)		
Date sent to PCO seeking Opinion		
Date Opinion received		
Date Council Resolved to Adopt LEP		
Date LEP made by GM (or other) under delegation		
Date sent to DP&I requesting notification		

Table 3 – To be completed by the department

Stage	Date/Details
Notification Date and details	

Additional relevant information: No

Amendment 27 – 121 Raby Road, Leppington

Appendix 4: Revised Gateway Determination

ORD03

Attachment 1



Mr Ron Moore
General Manager
Camden Council
PO Box 183
Camden NSW 2570

Our ref: 16/0832B
Your ref: SC969-02

Attention: David Rowley

Dear Mr Moore

Planning Proposal PP_2013_CAMDE_017_00 – Alteration of Gateway Determination

I refer to your letter of 23 May 2016 in relation to revisions to a planning proposal (PP_2013_CAMDE_017_00) for the rezoning of land from RU2 Rural Landscape to R5 Large Lot Residential at 121 Raby Road, Leppington.

I have determined as the delegate of the Greater Sydney Commission, in accordance with section 56(7) of the *Environmental Planning and Assessment Act 1979* to alter the Gateway determination dated 18 November 2013 for PP_2013_CAMDE_017_00 (as altered). The Alteration of the Gateway Determination is enclosed.

If you have any questions in relation to this matter, I have arranged for Mr Terry Doran of this Office to assist you. Mr Doran can be contacted on (02) 9860 1579.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Catherine Van Laeren'.

29/06/16

Catherine Van Laeren
**Director, Sydney Region West
Planning Services**

Encl:
Alteration to Gateway Determination



Alteration of Gateway Determination

Planning proposal (Department Ref: PP_2013_CAMDE_017_00)

I, the Director, Sydney Region West, at the Department of Planning and Environment as delegate of the Greater Sydney Commission, have determined under section 56(7) of the *Environmental Planning and Assessment Act 1979* (the Act) to alter the Gateway determination dated 18 November 2013 (as since altered) for the proposed amendment to the Camden Local Environmental Plan 2010 as follows:

1. Delete:

"condition 11"

and replace with:

a new condition 11 "The timeframe for completing the LEP is by 25 November 2016."

Dated 29th day of June 2016

A handwritten signature in black ink, appearing to read 'Catherine Van Laeren'.

**Catherine Van Laeren
Director, Sydney Region West
Planning Services
Department of Planning and
Environment**

**Delegate of the Greater Sydney
Commission**

Department of Planning & Environment

Level 5, 10 Valentine Avenue Parramatta NSW | GPO Box 39 Sydney NSW 2001 | T 02 9660 1101 | www.planning.nsw.gov.au

ORD03

Amendment 27 – 121 Raby Road, Leppington

Appendix 5: NSW Trade and Investment Submissions

Attachment 1



28 July 2014

The General Manager
Camden Council
PO BOX 183
Camden NSW 2570

(ATTN: Mary-Anne Madden)

Your Reference: Council Reference SC963
Our Reference (TRIM): OUT14/22197

EMAILED: mary-anne.madden@camden.nsw.gov.au

To Whom It May Concern

Re: Camden LEP Amendment 21 – Gledswood Hills

Thank you for the opportunity to provide advice on the above matter. This is a response from the NSW Department of Trade & Investment (DTIRIS) – Mineral Resources Branch (MRB).

Coal Resources

The proposal area is covered by the large coal authorisation A6, held by DTIRIS. Significant unallocated coal resources occur within Authorisation 6. The location is highly prospective for both high quality coking coal and also coal seam gas resources.

Petroleum Resources

The proposal area overlies the petroleum production lease PPL5, held by AGL Upstream Investments Pty Limited (Camden Gas Project). The Raby Rd subject site lies within the Camden Northern Expansion Project area, which is currently on hold with Planning & Environment.

MRB have previously had strong concerns regarding the adjacent Raby Rd and Macarthur Grange proposed development areas during the 'Review Of Potential Housing Opportunities' process for Planning & Infrastructure (2012). Considerable future residential development in this region is already manifest in adjacent locations including the South West Growth Centre (see Fig 1), Turner Road, Camden Lakeside and El Caballo Blanco/Gledswood/East Side. The currently undeveloped areas straddling the Camden and Campbelltown LGAs, between the South West Growth Centre and the Hume Motorway, are critically important in allowing for future coal and coal seam gas exploration.

NSW Department of Trade and Investment, Regional Infrastructure and Services
RESOURCES & ENERGY DIVISION
PO Box 344 Hunter Region Mail Centre NSW 2310
Tel: 02 4931 6666 Fax: 02 4931 6726
ABN 51 734 124 190
www.dtiris.nsw.gov.au

Recommendation

MRB does not support the proposed rezoning of Raby Road, Gledswood Hills.

Geoscience Information Services

MRB has a range of online data available on line through the following website address:

<http://www.resources.nsw.gov.au/titles/online-services>

This site hosts a range of data to enable research into exploration, land use and general geoscience topics. Additionally, the location of exploration and mining titles in NSW may be accessed by the general public using the following online utilities:

1. **MinView** allows on-line interactive display and query of exploration tenement information and geoscience data. It allows spatial selection, display and download of geological coverages, mineral deposits and mine locations, geophysical survey boundaries, drillhole locations, historical and current exploration title boundaries and other spatial datasets of New South Wales. This online service is available at:
<http://www.resources.nsw.gov.au/geological/online-services/minview>
2. **NSW Titles** enables the public to access and view frequently updated titles mapping information across NSW. This online service is available at:
<http://nswtitles.minerals.nsw.gov.au/nswtitles/>

Queries regarding the above information, and future requests for advice in relation to this matter, should be directed to the MRB Land Use team at landuse.minerals@trade.nsw.gov.au

Yours sincerely



Cressida Gilmore
Team Leader Land Use

Figure 1: Rezoning Proposal Location





20th August 2014

The General Manager
(Att: Tanya Uppal)
Camden Council
PO Box 183
CAMDEN NSW 2570

EMAILED tanya.uppal@camden.nsw.gov.au

Your Reference: SC969 14/118383
Our Reference (TRIM): OUT14/27311

Dear Sir/Madam

Re: Camden LEP – Amendment 27 (121 Raby Road, Leppington)

Thank you for the opportunity to provide advice on the above matter. This is a response from the NSW Department of Trade & Investment (DTIRIS) – Mineral Resources Branch (MRB).

The proposal area overlies Triassic Wianamatta Group stratigraphy, which overlies the Permian Illawarra Coal Measures. The target Bulli Seam is intercepted at a depth of between approximately 720 mbgl and 760 mbgl below the subject area. The Balgownie Seam lies approximately 30 metres below the Bulli Seam in this location. Bore data indicates that the highly economic Bulli Seam contains moderate ash values (15-20%) and attains a thickness in the order of 2.0 to 2.2 metres. The location is highly prospective for both high quality coking coal and also coal seam gas resources.

The proposal area overlies coal authorisation A6, held by this department. The nearest company-held coal title is Exploration Licence EL4470, held by Illawarra Coal Holdings Pty Ltd. The currently approved project boundary for the Bulli Seam Operations Project is approximately 10 km south west of the proposal area. The proposal area also overlies the petroleum production lease PPL5, held by AGL Upstream Investments Pty Limited (Camden Gas Project). The Raby Rd subject site lies within the Camden Northern Expansion Project area, which is currently on hold with Planning & Environment.

MRB has previously raised strong concerns regarding the adjacent Emerald Hills site, and also the Raby Rd and Macarthur Grange proposed development areas to the south, during the 'Review Of Potential Housing Opportunities' process for Planning & Infrastructure (2012). Considerable future residential development in this region is already manifest in adjacent locations including the South West Growth Centre, Camden Lakeside and El Caballo Blanco/Gledswood/East Side. The currently undeveloped areas straddling the Camden and Campbelltown LGAs, between the South West Growth Centre and the Hume Motorway, are critically important in allowing for future coal and coal seam gas exploration.

NSW Department of Trade and Investment, Regional Infrastructure and Services
RESOURCES & ENERGY DIVISION
PO Box 344 Hunter Region Mail Centre NSW 2310
Tel: 02 4931 6666 Fax: 02 4931 6726
ABN 51 734 124 190
www.dtiris.nsw.gov.au

MRB raises strong concerns regarding future access to coal and coal seam gas resources and as such does not support the proposal to rezone 121 Raby Road, Leppington.

Geoscience Information Services

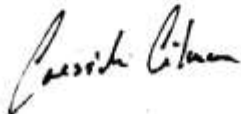
MRB has a range of online data available on line through the following website address:
<http://www.resources.nsw.gov.au/titles/online-services>

This site hosts a range of data to enable research into exploration, land use and general geoscience topics. Additionally, the location of exploration and mining titles in NSW may be accessed by the general public using the following online utilities:

1. **MinView** allows on-line interactive display and query of exploration tenement information and geoscience data. It allows spatial selection, display and download of geological coverages, mineral deposits and mine locations, geophysical survey boundaries, drillhole locations, historical and current exploration title boundaries and other spatial datasets of New South Wales. This online service is available at:
<http://www.resources.nsw.gov.au/geological/online-services/minview>
2. **NSW Titles** enables the public to access and view frequently updated titles mapping information across NSW. This online service is available at:
<http://nswtitles.minerals.nsw.gov.au/nswtitles/>

Queries regarding the above information, and future requests for advice in relation to this matter, should be directed to the MRB Land Use team at
landuse.minerals@industry.nsw.gov.au.

Yours sincerely



Cressida Gilmore
Team Leader – Land Use

ORD03

Amendment 27 – 121 Raby Road, Leppington

Appendix 6: Draft DCP Controls

Attachment 1

Camden DCP 2011

Part C – Residential Subdivision

Insert the following in 'C1 Introduction' Chapter

C1 Introduction

Figure C1 – Residential Subdivision Flow Chart to be updated to include 121 Raby Road, Leppington under C3 Subdivision in Large Lot Residential Areas.

Figure C2 – identifies the categories of residential subdivision within the Camden LGA – Figure C2 to be updated to include 121 Raby Road, Leppington.

Insert the following in 'C3 Subdivision in Large Lot Residential Areas' Chapter

C3.4 121 Raby Road, Leppington

This section applies to the land marked in red in Figure C6.1.

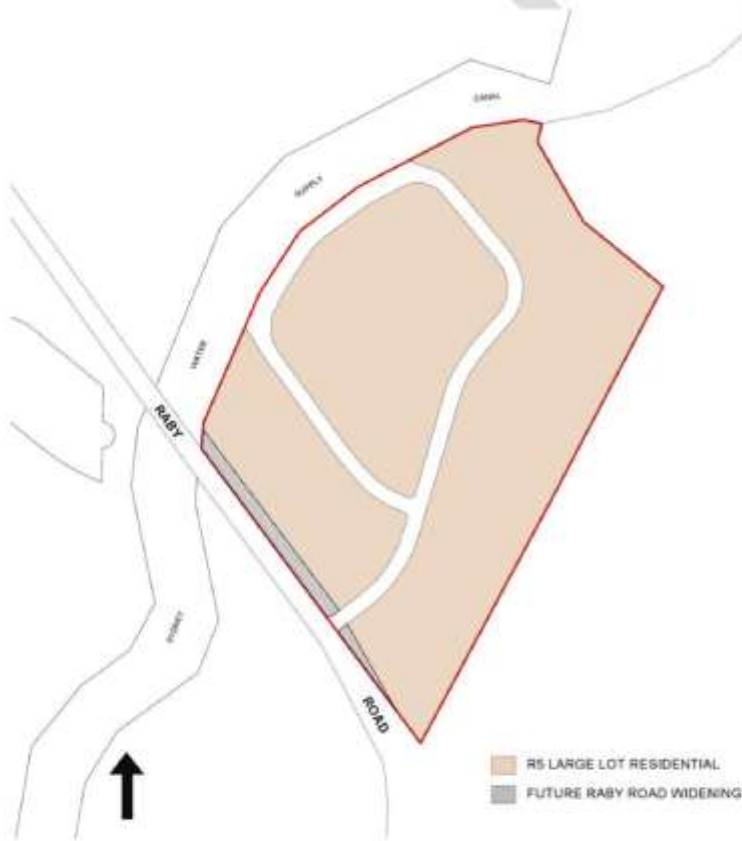


Figure C6.1 Indicative Layout Plan

Objectives

1. To ensure the development does not pose an adverse impact on sensitive landscape areas such as the Scenic Hills, the settings of heritage items or heritage conservation areas or other places of heritage significance.
2. Minimise opportunity for light spill from infrastructure in the public domain.
3. To prohibit development on land subject to future road widening of Raby Road.

Controls

1. A 10m wide (minimum) vegetated buffer screen incorporating upper, middle and lower canopy plantings from the Cumberland Plain Woodland vegetation community must be planted in the locations shown in Figure C6.2 to achieve a natural visual buffer as recommended in the Landscape and Visual Analysis Reports (Distinctive Living Design, JMD Design, Musescape) and Flora and Fauna Assessment (Lesryk Environmental Consultants). A Vegetation Management Plan (VMP) is to be submitted with the first DA.
 - a. The VMP is to specify the necessary buffer screen plantings and ongoing maintenance.
 - b. Areas of native landscaping buffer screen are to be fenced off and protected when earthworks and civil works are being carried out in proximity.
 - c. A covenant **MUST** be registered on the title of the lots requiring compliance with the VMP.
 - d. Planting works as per the VMP must be completed prior to the release of the Subdivision Certificate for the relevant lots.
2. Street lights must have hoods or other appropriate design treatment (e.g. use of low glare street light luminaires) to minimise light spill in order to reduce ambient light haze as much as possible.
3. A Section 88 instrument must be placed on the lots containing the hatched area in Figure C6.1 to indicate that development for the purposes of any permanent structure shall not be undertaken to accommodate for future road purposes.

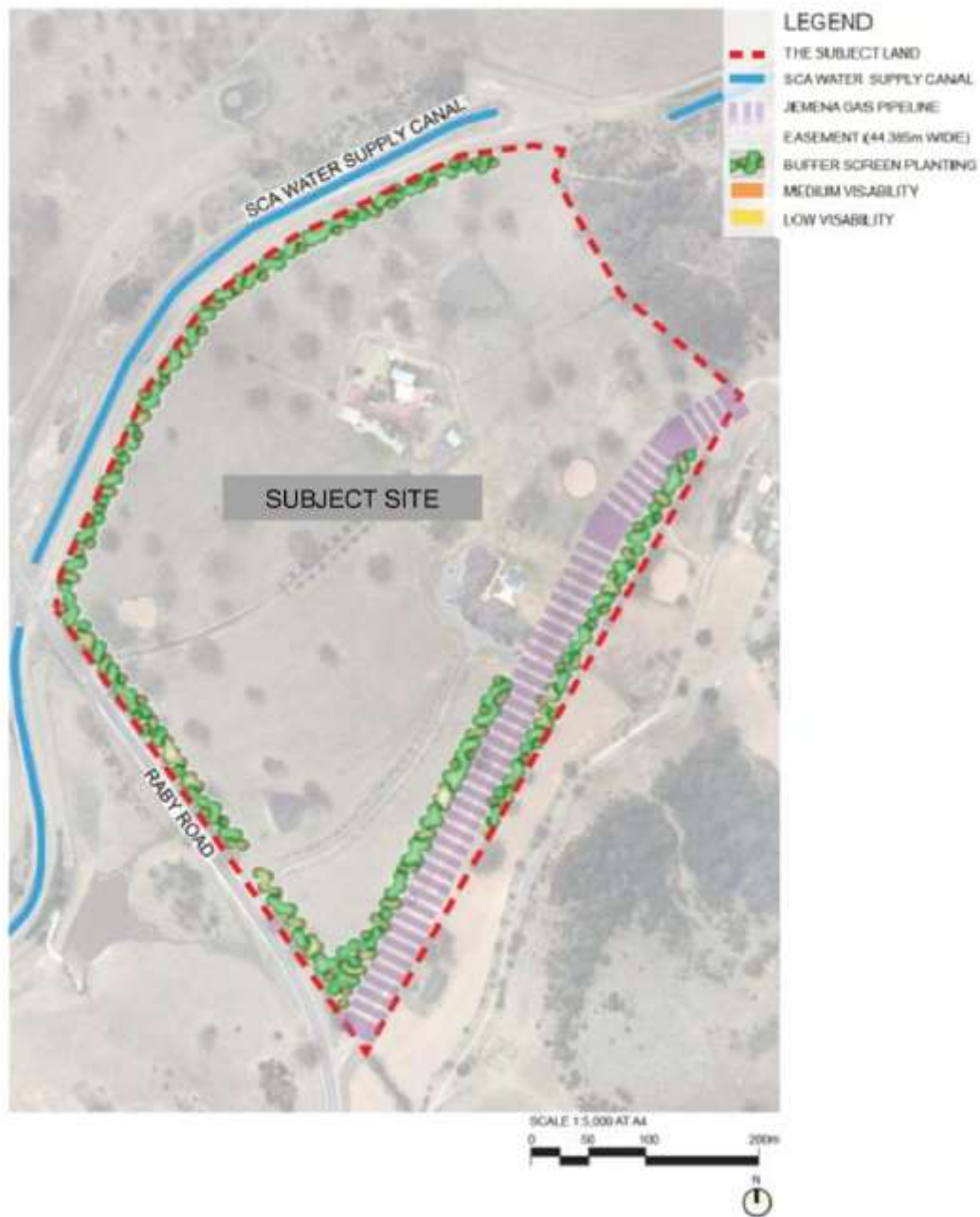


Figure C6.2 Buffer screen landscaping

Insert the following in 'D2 Residential Development' chapter

- Insert 'Clause 6A Despite sub-clauses 5 and 6, the maximum height of an outbuilding or alterations and additions to an existing outbuilding must not be more than 4.5m above ground level (existing) for 121 Raby Road, Leppington' into D2.1.11 Outbuildings (page D34).

Insert the following in 'D2 Residential Development' chapter

- Insert '121 Raby Road, Leppington' into D2.3 Site Specific Controls for Residential Accommodation Background section (page D52).
- Insert '121 Raby Road, Leppington' into D2.3 Site Specific Controls for Residential Accommodation (page D128)

Objectives

1. To protect the landscape and visual character of the Scenic Hills.
2. To ensure new buildings, utility and ancillary structures do not pose an adverse impact on sensitive landscape areas such as the Scenic Hills, the settings of heritage items or heritage conservation areas or other places of heritage significance.

Controls

1. Materials and colours for buildings, utility and ancillary structures must adopt darker, recessive toned colours such as browns, dark greens, dark greys and charcoal. Both wall and roof cladding must be constructed of non-reflective materials.

Further information

Betteridge Consulting Pty Ltd, t / a MUSEcape , November 2015, 121 Raby Road, Leppington Visual Impact Assessment Peer Review (of Distinctive Living Design Landscape and Visual Analysis);

Betteridge Consulting Pty Ltd, t / a MUSEcape , July 2015, Leppington Visual Impact Assessment Peer Review (of James Mather Delaney Design Landscape and Visual Analysis);

JMD Design, February 2013, Landscape and Visual Analysis, 121 Raby Road Leppington;

Distinctive Living Design, October 2015, Landscape and Visual Analysis, 121 Raby Road Leppington;

PKA Acoustic Consulting, January 2016, Planning Proposal Acoustic Assessment, 121 Raby Road Leppington;

Dominic Steele Consulting Archaeology, September 2015, Aboriginal Archaeological & Cultural Heritage Assessment, 121 Raby Road, Leppington;

Douglas Partners, October 2015, Salinity Investigation and Management Plan, Land Capability Assessment, Lot 121 Raby Road Leppington;

Lesryk Environmental Consultants, May 2014, Flora and Fauna Assessment;

Douglas Partners, July 2014, Preliminary Site Investigation;

Stefani Group, May 2015, Stormwater Management and Flood Assessment Report, 121 Raby Road Leppington;

Australian Bushfire Protection Planners Pty Ltd, September 2015, Bushfire Constraints Assessment, 121 Raby Road Leppington;

Traffix Traffic & Transport Partners, January 2016, 121 Raby Road Leppington;

GLN Planning, May 2015, Open Space and Community Facilities Assessment, 121 Raby Road Leppington.

DRAFT

Amendment 27 – 121 Raby Road, Leppington

7.0 Attachments – Specialist Studies

Attachment 1: Traffic Impact Assessment

Attachment 2: Acoustic Assessment

Attachment 3: Aboriginal Archaeological and Cultural Heritage Assessment

Attachment 4: Bushfire Constraints Assessment

Attachment 5: Salinity Investigation and Management Plan

Attachment 6: Preliminary Site Investigation

Attachment 7A: Landscape and Visual Analysis – JMD Design

Attachment 7B: Landscape and Visual Analysis – Distinctive Living Design

Attachment 8A: Peer Review of JMD Design's Landscape and Visual Analysis

Attachment 8B: Peer Review of Distinctive Living Design's Landscape and Visual Analysis

Attachment 8C: Cross Section Varroville property

Attachment 9: Stormwater Management and Flood Assessment

Attachment 10: Open Space and Community Facilities Assessment

Attachment 11: Flora and Fauna Assessment

Camden DCP 2011

Part C – Residential Subdivision

Insert the following in 'C1 Introduction' Chapter

C1 Introduction

Figure C1 – Residential Subdivision Flow Chart to be updated to include 121 Raby Road, Leppington under C3 Subdivision in Large Lot Residential Areas.

Figure C2 – identifies the categories of residential subdivision within the Camden LGA – Figure C2 to be updated to include 121 Raby Road, Leppington.

Insert the following in 'C3 Subdivision in Large Lot Residential Areas' Chapter

C3.4 121 Raby Road, Leppington

This section applies to the land marked in red in Figure C6.1.

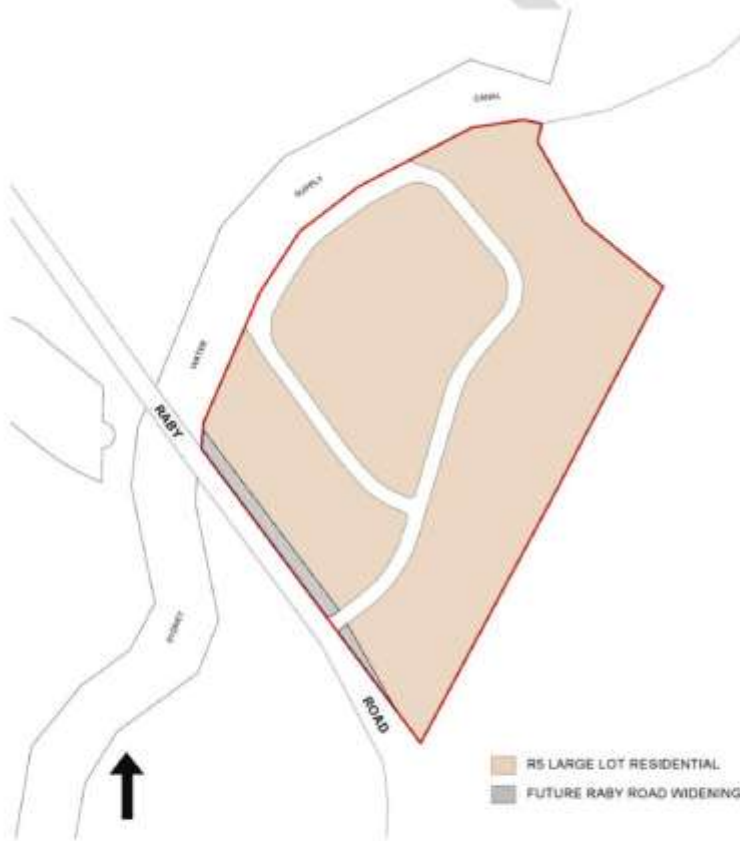


Figure C6.1 Indicative Layout Plan

Objectives

1. To ensure the development does not pose an adverse impact on sensitive landscape areas such as the Scenic Hills, the settings of heritage items or heritage conservation areas or other places of heritage significance.
2. Minimise opportunity for light spill from infrastructure in the public domain.
3. To prohibit development on land subject to future road widening of Raby Road.

Controls

1. A 10m wide (minimum) vegetated buffer screen incorporating upper, middle and lower canopy plantings from the Cumberland Plain Woodland vegetation community must be planted in the locations shown in Figure C6.2 to achieve a natural visual buffer as recommended in the Landscape and Visual Analysis Reports (Distinctive Living Design, JMD Design, Musescape) and Flora and Fauna Assessment (Lesryk Environmental Consultants). A Vegetation Management Plan (VMP) is to be submitted with the first DA.
 - a. The VMP is to specify the necessary buffer screen plantings and ongoing maintenance.
 - b. Areas of native landscaping buffer screen are to be fenced off and protected when earthworks and civil works are being carried out in proximity.
 - c. A covenant **MUST** be registered on the title of the lots requiring compliance with the VMP.
 - d. Planting works as per the VMP must be completed prior to the release of the Subdivision Certificate for the relevant lots.
2. Street lights must have hoods or other appropriate design treatment (e.g. use of low glare street light luminaires) to minimise light spill in order to reduce ambient light haze as much as possible.
3. A Section 88 instrument must be placed on the lots containing the hatched area in Figure C6.1 to indicate that development for the purposes of any permanent structure shall not be undertaken to accommodate for future road purposes.

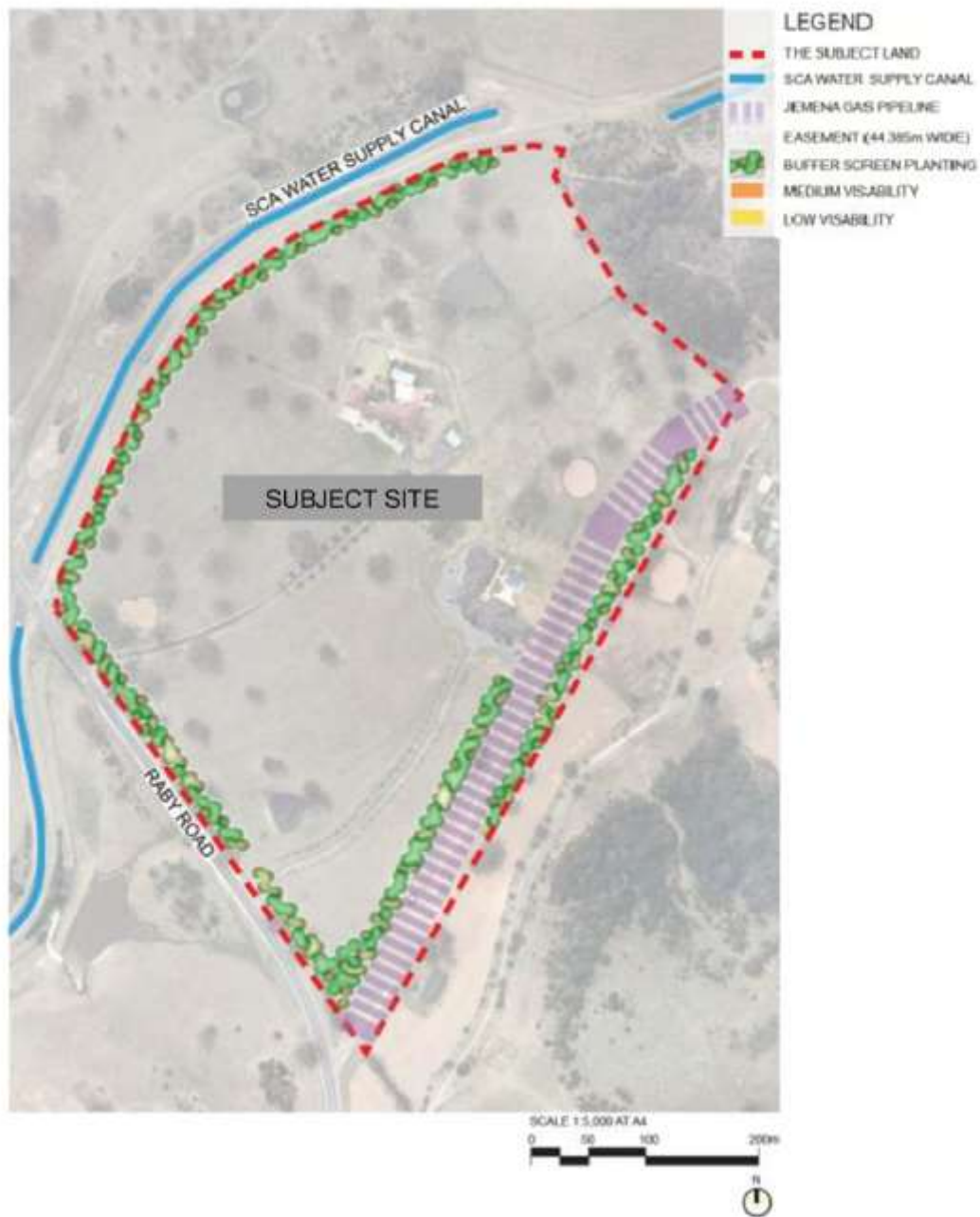


Figure C6.2 Buffer screen landscaping

Insert the following in 'D2 Residential Development' chapter

- Insert 'Clause 6A Despite sub-clauses 5 and 6, the maximum height of an outbuilding or alterations and additions to an existing outbuilding must not be more than 4.5m above ground level (existing) for 121 Raby Road, Leppington' into D2.1.11 Outbuildings (page D34).

Insert the following in 'D2 Residential Development' chapter

- Insert '121 Raby Road, Leppington' into D2.3 Site Specific Controls for Residential Accommodation Background section (page D52).
- Insert '121 Raby Road, Leppington' into D2.3 Site Specific Controls for Residential Accommodation (page D128)

Objectives

1. To protect the landscape and visual character of the Scenic Hills.
2. To ensure new buildings, utility and ancillary structures do not pose an adverse impact on sensitive landscape areas such as the Scenic Hills, the settings of heritage items or heritage conservation areas or other places of heritage significance.

Controls

1. Materials and colours for buildings, utility and ancillary structures must adopt darker, recessive toned colours such as browns, dark greens, dark greys and charcoal. Both wall and roof cladding must be constructed of non-reflective materials.

Further information

Betteridge Consulting Pty Ltd, t / a MUSEcape , November 2015, 121 Raby Road, Leppington Visual Impact Assessment Peer Review (of Distinctive Living Design Landscape and Visual Analysis);

Betteridge Consulting Pty Ltd, t / a MUSEcape , July 2015, Leppington Visual Impact Assessment Peer Review (of James Mather Delaney Design Landscape and Visual Analysis);

JMD Design, February 2013, Landscape and Visual Analysis, 121 Raby Road Leppington;

Distinctive Living Design, October 2015, Landscape and Visual Analysis, 121 Raby Road Leppington;

PKA Acoustic Consulting, January 2016, Planning Proposal Acoustic Assessment, 121 Raby Road Leppington;

Dominic Steele Consulting Archaeology, September 2015, Aboriginal Archaeological & Cultural Heritage Assessment, 121 Raby Road, Leppington;

Douglas Partners, October 2015, Salinity Investigation and Management Plan, Land Capability Assessment, Lot 121 Raby Road Leppington;

Lesryk Environmental Consultants, May 2014, Flora and Fauna Assessment;

Douglas Partners, July 2014, Preliminary Site Investigation;

Stefani Group, May 2015, Stormwater Management and Flood Assessment Report, 121 Raby Road Leppington;

Australian Bushfire Protection Planners Pty Ltd, September 2015, Bushfire Constraints Assessment, 121 Raby Road Leppington;

Traffix Traffic & Transport Partners, January 2016, 121 Raby Road Leppington;

GLN Planning, May 2015, Open Space and Community Facilities Assessment, 121 Raby Road Leppington.

DRAFT



ORDINARY COUNCIL

ORD06

SUBJECT: PROPOSED AMENDMENT NO. 27 TO CAMDEN LEP 2010 AND CAMDEN DCP 2011 - 121 RABY ROAD, LEPPINGTON (LOTS 1 & 2, STRATA PLAN 37300)
FROM: Director Planning & Environmental Services
TRIM #: 16/41802

PURPOSE OF REPORT

The purpose of this report is to seek a Council resolution to publicly exhibit the draft Planning Proposal and draft amendment to Camden Development Control Plan 2011 (Camden DCP 2011) for 121 Raby Road, Leppington. The draft Planning Proposal is included as **Attachment 1 to this report**.

BACKGROUND

A draft Planning Proposal for 121 Raby Road, Leppington was submitted to Council by TN Consulting Pty Ltd in March 2013 to rezone the subject site to 'R5 - Large Lot Residential'. At the meeting of 22 April 2014, Council resolved to forward the draft Planning Proposal to the Department of Planning and Environment (DPE) for Gateway Determination.

The Gateway Determination was issued from DPE on 15 August 2014. It required the preparation of a number of specialist studies including a Part 2 Land Capability Assessment and Traffic Report. The findings of the studies are detailed later in this report.

Locality

The site is located on the eastern boundary of the Camden Local Government Area (LGA) in an area of rural land bounded to the south by Raby Road, to the west by the Sydney Catchment Authority (SCA) water supply canal, and abutting the LGA boundary with Campbelltown Council to the east. A location map for this site is shown in **Figure 1**. The subject site is not within the South West Growth Area.

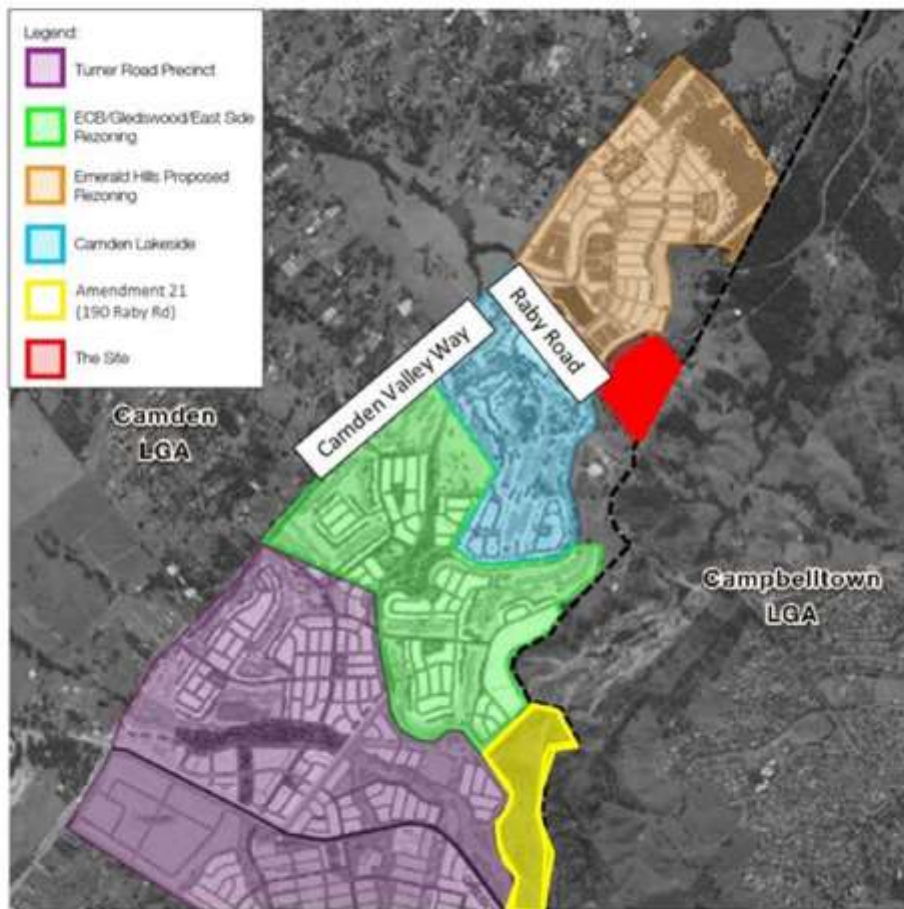


Figure 1 – Subject Site Context

MAIN REPORT

Proposal

Land use zoning for the site is identified under the Camden Local Environmental Plan 2010 (Camden LEP 2010). The draft Planning Proposal seeks to rezone the entire subject site from 'RU2 Rural Landscape' to 'R5 Large Lot Residential'.

Table 1: Comparison of existing and proposed provisions under Camden LEP 2010

	Existing	Proposed
Zoning	RU2 Rural Landscape	R5 Large Lot Residential
Minimum Lot Size	40ha	4000m ²

Table 1 provides a summary of the proposed changes in the Planning Proposal. The proposed 4000m² minimum lot size is consistent with the zone objectives of 'R5 - Large Lot Residential'. The rezoning will facilitate 30 additional residential large lots with two existing large residential lots

This is the report submitted to the Ordinary Council held on 22 March 2016 - Page 2



Under the R5 zoning (Camden LEP 2010) the highest residential use will enable attached dual occupancies.

Specialist Studies

The Gateway Determination and initial Council report identified specialist studies to be undertaken prior to public exhibition to further inform the planning process. The following studies have now been finalised:

- Landscape and Visual Analysis;
- Traffic Impact Assessment;
- Acoustic Assessment;
- Salinity Investigation and Management Plan;
- Preliminary Site Contamination Assessment;
- Bushfire Constraints Assessment;
- Aboriginal Archaeological and Cultural Heritage Assessment;
- Stormwater Management and Flood Assessment;
- Open Space and Community Facilities Assessment, and;
- Flora and Fauna Assessment.

Outcomes of the key specialist studies are summarised below and have informed the preparation of a site specific DCP. A copy of the draft amendments to Camden DCP 2011 is provided as **Attachment 2 to this report**.

Visual Impact

The assessments explored the visual impact of future development when viewed from 16 key public and private viewpoints including Raby House, Scenic Hills (in the Campbelltown LGA) and Gledswood Homestead.

While the report identifies the development is visible from some viewpoints, visual impact on the existing rural residential character of the area is considered acceptable. Development controls proposed for landscaping, street lighting and building materials will mitigate the visual impact of development on the site. The development controls are detailed in **Table 2** of this report.

Traffic

Under the current South-West Growth Centre Road Network Framework, Raby Road is proposed to function as a sub-arterial road (non-classified regional road). Roads and Maritime Services (RMS) have been consulted regarding the widening of Raby Road. Following these discussions, a road reservation of 34.5m was agreed to be provided on the northern side of Raby Road. A site specific DCP control (Section 88B instrument) is proposed to ensure no structures are to be constructed within the proposed road reserve.

Access to the site is proposed by way of a new priority controlled (seagull) intersection to Raby Road as an interim arrangement until such time that Raby Road is reconstructed as a future sub-arterial road (subject to RMS concurrence). The sight lines have been assessed and are compliant with Austroads Guidelines. In the longer term, access to the site will be restricted to left-in/left-out only. Following gazettal of the Planning Proposal, a notation will be placed on the Section 149(5) certificates to indicate access to the site after completion of upgrade works to Raby Road will be restricted to left-in/left-out only.



Acoustic

The Acoustic Assessment prepared by PKA Acoustic Consulting assesses the traffic noise levels likely to be experienced at the future residential lots within the development, taking into account the upgrade and projected traffic levels of Raby Road.

The report recommends a 1.8m high acoustic barrier along Raby Road. This is likely to take the form of a mound/wall combination. Lots fronting Raby Road will also require acoustic-rated architectural treatments to be incorporated into the dwelling designs as well as the provision of alternative ventilation.

The recommendations comply with the internal noise criteria recommended by Camden Council's DCP 2011 and Environmental Noise Policy 2008.

Draft amendments to Camden DCP 2011

A draft site specific amendment relating to Part C (Residential Subdivision) of the Camden DCP 2011 has been prepared as a result of the specialist studies commissioned post gateway. A copy of the draft amendments to Camden DCP 2011 is provided as **Attachment 2 to this report**. A summary of the proposed DCP controls are listed below:

Table 2: Schedule of proposed Camden DCP 2011 amendments

Proposed Control	Justification
A Section 88 instrument is to be placed on the lots containing the hatched area in Figure C6.1 of the draft DCP (Attachment 2) to indicate that development for the purposes of any permanent structure shall not be undertaken to accommodate for future road purposes.	This will ensure no structures are constructed on land subject to future road widening of Raby Road.
Street lights shall have hoods or other appropriate design treatment (e.g. use of low glare street light luminaires) to minimise light spill.	The control will ensure night time light spill is minimised.
Native screen landscaping, incorporating trees and shrubs, must be planted along the perimeter of the land marked in red in Figure C6.1 of the draft DCP (Attachment 2) to screen development.	The proposed control will ensure landscaping is provided that is compatible with the locality. Further, it will mitigate the visual impact of development on the site.
Dwelling materials and colours shall adopt darker, recessive toned colours and non-reflective surfaces for both wall and roof cladding.	The proposed control will ensure residential and associated development is designed to blend in with the locality.

It is noted that the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 (the Rural Housing Code), applies to the subject site. Under the Rural Housing Code applicants can apply for a complying development certificate for construction of a dwelling house and/or associated works. In this instance, the standard controls contained within the Rural Housing Code would override those within Part C of the Camden Development Control Plan (DCP).

This is the report submitted to the Ordinary Council held on 22 March 2016 - Page 4



Council officers have reviewed the controls contained within the Rural Housing Code and, due to the low visual significance of the subject site, consider the visual impacts to be sufficiently regulated.

Any proposed development submitted as a Development Application to Council (not undertaken as a complying development certificate under the Rural Housing Code SEPP) will be assessed against the aforementioned DCP controls.

Public Agency Consultation

The Department of Trade and Investment, Regional Infrastructure and Services (DTIRIS) (now Department of Industry, Skills and Regional Development), was notified prior to public exhibition and a submission was received in August 2014 from its Mineral Resources Branch (now NSW Resources and Energy). The submission objected to the proposal, outlining the importance of the site for future coal and coal seam gas exploration.

Following receipt of the objection, Council has made numerous efforts to liaise with DTIRIS. Following a meeting with DPE it was agreed that the matters raised in the submission are a state policy matter and as such need to be discussed between the relevant stakeholder agencies. DPE has indicated their support to proceed with the Planning Proposal to public exhibition. On this basis, it is recommended that Council proceed with the Planning Proposal to public exhibition. In accordance with the Gateway Determination, the Department of Industry will again be notified during the public exhibition period.

The following public agencies will also be notified of the exhibition period:

- Sydney Catchment Authority (now 'WaterNSW');
- Sydney Water;
- Endeavour Energy;
- Transgrid;
- Jemena (*gas distributor*);
- APA Group (*gas pipeline owner*);
- Roads and Maritime Services;
- Rural Fire Service;
- Office of Environment and Heritage;
- NSW Resources and Energy (*DTIRIS*, now 'Department of Industry'), and;
- Campbelltown City Council.

Exhibition Period

The Planning Proposal and draft DCP amendments provided in the Attachments will be publicly exhibited for a period of 28 days in accordance with the Gateway Determination and Environmental Planning and Assessment Regulation 2010. A notification will be placed in the local newspaper and the exhibition material available at:

- Narellan Customer Service Centre and Narellan Library, Queen Street, Narellan (Hard Copy);
- Camden Customer Service Centre and Camden Library, John Street, Camden (Hard Copy); and
- Camden Council website (Electronic Copy).



During the exhibition period, a letter notifying land owners in the vicinity of the subject site will be sent to advise them of the proposal. At the conclusion of the exhibition period, a report will be submitted back to Council detailing any unresolved submissions.

FINANCIAL IMPLICATIONS

There are no direct financial implications for Council as a result of this report.

CONCLUSION

The Planning Proposal seeks to rezone the land at 121 Raby Road, Leppington to R5 Large Lot Residential to accommodate 30 additional residential large lots with two existing large residential lots. The supporting specialist studies informing the Planning Proposal have demonstrated that the site is suitable for residential development that is consistent with, and complementary to surrounding lands.

Should Council resolve to endorse the draft Planning Proposal and draft DCP amendments, it will proceed to public exhibition for a period of 28 days.

Should unresolved submissions be received during the exhibition period, a further report will be submitted back to Council detailing submissions received. Should no unresolved submissions be received the draft Planning Proposal will be forwarded to the DPE for the plan to be made.

RECOMMENDED

That Council:

- i. **endorse the rezoning package for 121 Raby Road, Leppington for the purpose of public exhibition which includes the draft Planning Proposal, draft amendments to the Camden DCP 2011, and specialist studies;**
- ii. **publicly exhibit the rezoning package for a period of 28 days and consult with the relevant agencies in accordance with the requirements of the Gateway Determination; and**
- iii. **subject to no unresolved submissions being received:**
 - a. **forward the draft Planning Proposal - Amendment 27, 121 Raby Road, Leppington to the Department of Planning and Environment for the plan to be made; and**
 - b. **grant delegations to the General Manager to adopt the proposed changes to Camden DCP and publicly notify the adoption in accordance with the provisions of the Environmental Planning and Assessment Act and Regulations; or**
- iv. **if unresolved submissions are received, require a further report outlining the result of the public exhibition.**

Resolution: Moved Councillor Dewbery, Seconded Councillor Sidgreaves that Council:

- i. endorse the rezoning package for 121 Raby Road, Leppington, for the purpose of public exhibition which includes the draft Planning Proposal, draft amendments to the Camden DCP 2011, and specialist studies; and

- ii. publicly exhibit the rezoning package for a period of 28 days and consult with the relevant agencies in accordance with the requirements of the Gateway Determination; and

This is the report submitted to the Ordinary Council held on 22 March 2016 - Page 6

ORD03



iii. subject to no unresolved submissions being received:

- a. forward the draft Planning Proposal - Amendment 27, 121 Raby Road, Leppington to the Department of Planning and Environment for the plan to be made; and
- b. grant delegations to the General Manager to adopt the proposed changes to Camden DCP and publicly notify the adoption in accordance with the provisions of the Environmental Planning and Assessment Act and Regulations; or
- iv. if unresolved submissions are received, require a further report outlining the result of the public exhibition.

ATTACHMENTS

1. Attachment 1 Planning Proposal Amendment 27
2. Attachment 2 Draft DCP Amendments

Attachment 3

15/07/2016

Amendment 27, 121 Raby Road– Detailed responses to submission table

Table 1 – Submissions by Others	
Submitter	Reference
1	1.01 - 1.34
2	2.01 - 2.09
3	3.01 – 3.02
4	4.01 – 4.02

Table 2 - Public Agency Submissions	
Submitter	Reference
Campbelltown Council	5.01 – 5.04
Department of Industry – Minerals and Resources Branch	6.01
NSW Rural Fire Service	7.01
Jemena Asset Manager (Gas Operator)	8.01
Sydney Water	9.01
APA Group	10.01 – 10.05
Water NSW	11.01 – 11.07
Endeavour Energy	12.01 – 12.02
Transgrid	13.01 – 13.02
Office of Environment and Heritage	14.01 – 14.02
Roads and Maritime Service	No reference as no issues raised.

1

15/07/2016

Table 1 – Submissions by Others		Response	Proposed Action
Ref #	Issue		
1.01	It is not the result of any strategic study or report.	<p>There is no requirement for a Planning Proposal to be a result of a strategic study or report. Each Planning Proposal is considered on its merit. The Planning Proposal is not inconsistent with 'A Plan for Growing Sydney', S117 Ministerial Directions and Camden 2040 and provides a diversity of housing products compared to what is currently available in the Camden LGA.</p> <p>Specialist studies conclude the site can be successfully developed as R5 large lot residential development with a minimum lot size of 4,000m².</p>	No further action required.
1.02	It is substantially inconsistent with the objectives and actions of 'A Plan for Growing Sydney'. The site does not fall within the SWGC and is not subject to "careful and integrated land use and infrastructure planning and mechanisms for delivery".	<p>Technical studies provided with the Planning Proposal take into consideration adjoining areas and its interaction with adjoining areas. In addition Council has consulted with public agencies to ensure appropriate infrastructure provision. These infrastructure providers have been consulted during the exhibition period and referred to in this table (Refer to responses 5.01 to 14.02).</p>	No further action required.
1.03	The proposal is leveraging existing developments and sets a precedent for a domino effect for the proliferation of spot rezoning	<p>Each site is assessed on merit. The Planning Proposal process considers the merit of the development in relation to adjacent development. The proposal is supported by a number of specialist studies that analyse the potential impacts of developing the site for large lot residential development. The specialist studies identify that there is minimal impact of development of the subject land. Council officers therefore do not believe this draft Planning Proposal will create cumulative impacts that will lead to further rezoning.</p>	No further action required.

15/07/2016

Table 1 – Submissions by Others		Response	Proposed Action
Ref #	Issue		
1.04	These spot rezoning's interfere with the planning of the SWGC on an incremental basis.	The South West and North West Priority Growth Areas do not preclude development outside of these areas. The proposal is justified and appropriate steps have been taken at the planning stage to mitigate any potential adverse impacts.	No further action required.
1.05	This proposal provides very little in the way of housing supply relative to the potential disruption to traffic on Raby Road.	The traffic impacts associated with the proposed rezoning have the capacity to be accommodated by the surrounding road network, subject to provision of a 'seagull' intersection arrangement at the site access to the subject site (Raby Road). In the longer term (i.e. when Raby Road is upgraded to a Transit Boulevard) access to the site will be reconstructed as a left-in/left-out only intersection and any roadworks resulting from the Planning Proposal will be provided at the cost of the developer.	No further action required.
1.06	The proposal largely relies on infrastructure in Campbelltown and the Leppington Town Centre. Since the latter is a long way from development, this means the onus falls to Campbelltown.	The Open Space and Community Facilities Assessment Report prepared by GLN Planning dated May 2015 identifies that the future residents would be able to access local services from within the Camden LGA. The submission does not specify which services. The report does identify that residents may access regional services located within the adjacent Campbelltown LGA, however this is considered acceptable as the subject site is located within the catchment for regional services from Campbelltown.	No further action required.
1.07	In the original Subregional Strategy (2014) Campbelltown's Scenic Hills Environmental Protection Area was set aside as Parks and Reserves. The PP diminishes the amenity of adjoining land and creates a domino effect of successive landowners seeking a rezoning due to the zoning of the land adjacent.	Refer to response 1.03	No further action required.

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15/07/2016

Table 1 – Submissions by Others		Response	Proposed Action
Ref #	Issue		
1.08	<p>The planting of vegetation around the perimeter of the site as a visual screen has proved not to work in Belgenny Farm as the vegetation is located on private land.</p> <p>The only solution to this visual impact is a physical barrier which the Upper Canal already currently provides. Breaching this barrier would create a domino effect.</p>	<p>The proposed DCP Control has been amended to require a 10m vegetated buffer screen on the subject site, incorporating native trees and shrubs, to be planted in accordance with the recommendations of the Landscape and Visual Analysis reports and Flora & Fauna Assessment.</p> <p>A Vegetation Management Plan (VMP) must be submitted with the first subdivision DA that specifies the necessary buffer screen plantings and ongoing maintenance requirements. A covenant must be registered on the title of the lots requiring compliance with the VMP. Planting works as per the VMP must be completed prior to the release of the Subdivision Certificate for the relevant lots.</p>	Amend the draft DCP control that requires the planting of a vegetated buffer screen.
1.09	There will be significant acoustic problems creating the need for unsightly sound barriers and limitations on ventilation for about 25% of the houses.	<p>The Acoustic Assessment provided by PKA Acoustic Consulting has demonstrated suitable measures to attenuate noise as per Camden Council's Environmental Noise Policy.</p> <p>Detailed development assessment will consider the final design for individual dwellings regarding noise attenuation.</p> <p>See response below.</p>	No further action required.
1.10	There is also an unresolved site contamination problem that is subject to further investigation. It is unacceptable to proceed to rezone the land with the latter unresolved.		No further action required.
1.11	Land contamination consultants, Douglas Partners, have not approved this land for residential subdivision as it is conditional on the outcome of further investigation. It is therefore incorrect to say that the proposal is consistent with SEPP 55 (Remediation of Land).	SEPP 55 contemplates uncertainty at the rezoning stage and provides for further investigation of specific contamination risks at the development application stage when specific land use proposals are known. The assessment is therefore consistent with SEPP 55 and the controls in the Camden DCP reinforce the need for more investigation at the	No further action required.

4

15/07/2016

Table 1 – Submissions by Others		Proposed Action
Ref #	Issue	Response
		development assessment stage. Council officers have assessed the 'Preliminary Site Investigation' and are satisfied with the conclusions and recommendations made in the report. Further, Council officers have indicated that a detailed site investigation is required to be undertaken at the subdivision development application stage to identify and put in place remediation measures to address potential land contamination matters.
1.12	Claim that SEPP (Mining, Petroleum Production and Extraction Industries) 2007 was not applicable because the site was 'not affected by the current AGL Northern Expansion Proposal'. The Northern Expansion has since been cancelled but prior to that this site was affected by that proposal.	It is acknowledged that the State Environmental Planning Policy (Mining, Petroleum Production and Extraction Industries) 2007 does apply to the site, however it is noted that there are no plans for mining or gas production activities on the site. <u>Refer to response 1.15</u>
1.13	If Council accepts that adjoining urban development 'limits the agricultural production value of the site' it is creating a precedent that will result in the destruction of E3 land in Campbelltown's Scenic Hills, via a domino effect. This could create a legal challenge as it significantly undermines the intention of the E3 and RU2 zoning.	No further action required.
1.14	The suggestion that it is only one of three small rural sites left in this area may apply to Camden but it ignores the fact that it adjoins Campbelltown's Scenic Hills.	The Open Space and Community Facilities Assessment Report by GLN notes that the Planning Proposal is likely to create minor additional demands on existing or proposed public infrastructure. No further action required.

5

15/07/2016

Table 1 – Submissions by Others		Response	Proposed Action
Ref #	Issue		
1.15	<p>The fact that the site is mainly used for rural residential purposes now, contributing little to agriculture, is not a reason to rezone it because this has nothing to do with the land itself. Accepting this as justification for rezoning sets a dangerous precedent that undermines all rural land in NSW, as all that is required to get a rezoning is for a land speculator/developer to buy rural land and then leave it idle. It is also not a justification that the site is relatively small by agricultural standards. This does not mean it cannot be used profitably for rural production, particularly given its proximity to Sydney.</p>	<p>The Planning Proposal assesses the merit of the proposal against its current use and concludes that there is limited potential for agriculture use.</p> <p>The Ministerial Direction for Rural Lands seeks to protect the agricultural production value of rural land. Officers have reviewed the direction and believe any inconsistency is of a minor nature. The subject land currently has two large dwellings located on an area of 16ha. The land is not being actively utilised for agricultural production purposes. Rezoning of this land for residential purposes would therefore result in minimal impact on the agricultural production value of this land.</p>	No further action required.
1.16	<p>The final comment about neighbouring lands being identified for future urban development has been dealt with above, but it's worth noting that this appears to contravene Condition No. 1 of the Gateway Determination.</p>	<p>Condition 1 was stipulated by the Department of Planning and Environment to identify amendments to be made to the original Planning Proposal. In addressing the inconsistency with Ministerial Direction 1.2, the Planning Proposal states that "the site neighbours lands that were historically rural zoned land but which have since been identified for future urban development."</p> <p>Condition 1(a), states "all references to identifying the site as an urban release area [must] be removed from the planning proposal". This comment does not contravene any condition of the Gateway Determination as it references Clause 6.1 of Camden Local Environmental Plan 2010, arrangements for designated State public infrastructure.</p>	Remove all references that identify the site "as an urban release area" from the Planning Proposal.

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15/07/2016

Table 1 – Submissions by Others		Response	Proposed Action
Ref #	Issue		
1.17	The visual studies by Distinct Living Design, and the peer review by Betteridge Consulting Pty Ltd are all 'drafts' and therefore subject to change. The community cannot reliably comment on draft reports.	It is Council's practice that these items remain as 'drafts' until adopted by Council. To date these studies have been endorsed as 'drafts' for exhibition purposes.	No further action required.
1.18	The studies did not assess the impact on adjoining landholders to the east that will result in compromising the amenity of that land and its use as rural or environmental land.	A total of eight viewpoints to the sites north-east and south-east were assessed. It was determined that there was low visual impact from these viewpoints.	No further action required.
1.19	The studies show that there will be visual impacts, with Mr Betteridge amending his initial recommendation to keep roofs below the site line in his '2nd Draft', then allowing the roofs to be seen as long as they are in recessive materials in his 'Final Draft'.	<p>The reports prepared by Chris Betteridge referred to in this case are two separate, unrelated documents. The first of the Musescape reports reviewed JMD's study and was completed in 2013 and Distinctive Living Design was completed in October 2015.</p> <p>DLD's study (October 2015) amalgamates all of the investigations and analysis work completed by JMD design (2013) and the recommendations outlined by Musescape into a consolidated report that extends to further investigations, analysis, and recommendations requested by Council. As a result, the recommendations have varied as a result of more in depth work. The visual assessment and further cross sections provided by the proponent from additional locations indicate that there the proposed development will have either low visual impact from the viewing points or if it is visible its impact will be attenuated by distance. The mitigation measures outlined in the draft DCP controls are put in place to further minimise visual impact of the site on its surrounds.</p>	No further action required.

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15/07/2016

Table 1 – Submissions by Others		Response	Proposed Action
Ref #	Issue		
1.20	The visual studies have not taken account of infrastructure and other requirements to develop the site: acoustic barriers, fencing for the canal, overhead transmission lines (if these need to be relocated).	<p>With regards to consideration of future utility structures the Visual Impact Assessment does consider key infrastructure such as street lights and recommends that street lights have hoods or other appropriate design treatment to minimise light spill. This control is included in the draft DCP.</p> <p>Other utility structures such as the security fence required to be erected along the Water NSW (Sydney Water) canal have not been considered as part of the Visual Impact Assessment, however it is noted that the canal is on the western side of the ridgeline and will not be visible from the Scenic Hills. The proponent has also indicated electricity will be provided underground.</p>	No further action required.
1.21	While Camden Council is to be congratulated for rightly re-directing Mr Betteridge to take view lines from landowners on Campbelltown's side, some of those view lines are questionable. For example, at Varro Ville a view was only taken from the public road adjoining it, but not from the homestead itself.	<p>Council officers were advised by the proponent that they were unable to gain access to the Varroville property to undertake view analysis. To address concerns raised during public exhibition, officers requested a detailed cross section taken from Varroville towards the site be prepared. The cross section shows that no residential development will be visible from the homestead. This cross section is included as an addendum to the visual impact assessment.</p>	No further action required.
1.22	Development at this site will not protect the scenic and landscape character of the area, as already demonstrated above.	<p>The draft DCP (Attachment 2 to this report) sets out controls (vegetated buffer screen, building colours and materials, street lighting) with the objective to ensure that the proposed development does not pose an adverse impact on sensitive landscape areas such as the Scenic Hills.</p> <p>The DCP controls will apply controls that are particular to the site in conjunction with the</p>	No further action required.

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15/07/2016

Table 1 – Submissions by Others		Response	Proposed Action
Ref #	Issue		
1.23	The proposal does not 'integrate neighbouring sites' or 'provide a transition between higher density residential zones and environmental protection zones'.	general provisions of the Camden DCP 2011 to protect the scenic and landscape character of the area. While the visual impact assessment identifies the development is visible from some viewpoints, visual impact on the existing rural residential character of the area is considered acceptable.	No further action required.
1.24	It is not 'sympathetic and complementary to the scenic qualities of the surrounding Scenic Hills topography', as demonstrated above, and the buildings are not 'subservient to the landscape'.	Refer to response 1.22	No further action required.
1.25	It does not 'create a desirable place to live' given its acoustic and unresolved land contamination issues.	Council officers are satisfied that the Planning Proposal addresses acoustic and potential land contamination issues. These issues will be assessed in detail at the Development Application stage.	No further action required.
1.26	It does not 'optimise the use of infrastructure' as this implies that there is an excess of it in this area.	Refer to response 1.06	No further action required.
1.27	It may produce diversity in housing choice assuming this includes noisy, contaminated homes.	Refer to response 1.25	No further action required.
1.28	The Proposal sets precedents that will negatively impact the E3 and RU2 zoning of the adjoining land.	Refer to response 1.03	No further action required.
1.29	The reasons given to justify the PP, if accepted, will set precedents that undermine the whole system of zoning	Refer to response 1.03	No further action required.
1.30	The R5 large lot zoning exacerbates the effect by increasing the number of landowners who will want to further subdivide in the future using the same rationale. Thus the R5 Large Lot (of any size lot) is not a transition to protecting environmental land; it is a transition to its future demise.	The minimum lot size does not permit further subdivision below 4000sqm, associated studies identify capacity of the land to support this density with minimal impact.	No further action required.
1.31	The risk of a domino effect is partly demonstrated by Betteridge Consulting, where he outlines the 'visual absorption capacity' framework for assessing a proposed development site. The ability of a site to absorb a change depends to a large extent on whether this has already occurred/is scheduled to occur in the surrounding	The visual assessment undertaken considers viewpoints from both Camden and Campbelltown.	No further action required.

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15/07/2016

Table 1 – Submissions by Others		Response	Proposed Action
Ref #	Issue		
1.32	<p>environment. Unfortunately, in assessing this particular site, Mr Betteridge only references the proposed developments in the Camden LGA and not its impact on Campbelltown's Scenic Hills.</p> <p>The only way to prevent this domino effect is to provide permanent buffer zones to prevent unwanted impacts on the adjoining land. Emerald Hills at least benefits from being limited on all sides - by roads on two sides, and the Upper Canal and E2 Environmental Conservation zones on the other two sides.</p> <p>There is no opportunity to create a permanent buffer zone within the 121 Raby site as far as we can see. The buffer already exists along the Upper Canal separating this site from Emerald Hills. Since 121 Raby is not justified strategically this merely strengthens the creation of the above precedents.</p>	Refer to response <u>1.07</u>	This will be further mitigated by implementing <u>action 1.08</u>
1.33	<p>It is inconsistent with Camden Council's Community Strategic Plan on the key issues identified by Council in its report on this PP.</p>	Each Planning Proposal is considered on its merit. The Planning Proposal is not inconsistent with Council's adopted "Camden 2040 – A Strategic Plan for Camden" and provides a diversity of housing products compared to what is currently available in the Camden LGA.	No further action required.
1.34	The PP has not met Condition No. 2 of the Gateway Determination.	<p>Condition 2 states: "2. Council is to review the proposed imposition of a single height control for the site and is to consider a mix of height controls to protect the scenic nature of the site and/or clearly indicate in the planning proposal the proposed means to be employed to control housing form, location and height in this regard, to protect views from the east of the site".</p> <p>The Visual Impact Assessment demonstrates that the proposed heights with the draft DCP controls will efficiently mitigate visual impacts.</p>	No further action required.
2.01	The Planning Proposal is not the result of any strategic study or report	Refer to response <u>1.01</u>	No further action required.

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15/07/2016

Table 1 – Submissions by Others		Response	Proposed Action
Ref #	Issue		
2.02	The residents of the site have had their rural amenity compromised by adjacent urban developments at Emerald Hills (which is not part of the South West Growth Centre) and south of Raby Road and are now seeking to benefit from their unenviable situation. This is development creep, a domino effect from Emerald Hills.	Refer to response <u>1.03</u>	No further action required.
2.03	The sole beneficiaries of the proposal would be the current residents and Camden Council through the rural residential development making cash contributions (via rates) towards the upgrade of planned local and district facilities under CP 2011.	All Planning Proposals are considered on merit. As part of any Planning Proposal, Council considers the contribution required for the provision of infrastructure, open space and community facilities for additional impact resulting from this development.	No further action required.
2.04	What is going to become of the 'thin sliver of privately owned rural land [that] separates [the] subject site from the LGA boundary?' Will its owners and Camden Council seek to develop that as well?	The site mentioned in this comment (135 Raby Road, Varroville) primarily lies in the Campbelltown LGA. Council has no knowledge of any plans for this land.	No further action required.
2.05	The documentation states that 'the planning proposal is considered to be the best method of achieving renewal of landuse at the site.' There is no need for renewal of land use at the site.	Refer to response <u>1.03</u>	No further action required.
2.06	The very need for mitigation measures indicates unacceptable visual impacts from viewing points within the Scenic Hills	While the landscape and visual assessment report identifies that the development is visible from some viewpoints, visual impact on the existing rural residential character of the area is considered acceptable. Development controls proposed for landscaping, street lighting and building materials will mitigate the visual impact of development on the site.	Refer to <u>action 1.08</u>
2.07	Reliance on landscaping and screening vegetation around the site (or on vegetation outside the boundaries of the site) is misplaced, since the rate and extent of development within the Camden LGA allows no confidence that such vegetation will be permanent.	A 10m wide landscaping and screening vegetation will be placed on the boundaries of site and landscaping will respect the semi-rural character of the site by maintaining existing vegetation and limiting new landscaping to appropriate areas. Development controls have been inserted into the Draft DCP to require compliance with this	Refer to <u>action 1.08</u>

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15/07/2016

Table 1 – Submissions by Others		Response	Proposed Action
Ref #	Issue	Response	Proposed Action
		requirement.	
2.08	No mention has been made in the reports of utility structures required on the site. What will be the visual impact of WaterNSW security fencing along Upper Canal (a portion of which is already visible from 2/121 Raby Road near the fig tree at Emerald Hills) and electricity poles?	Refer to response 1.20	No further action required.
2.09	The reports state that residents of the site would experience serious acoustic impact from traffic on Raby Road to the extent of requiring 1.8m acoustic barriers, which are visually ugly. Seven lots will also require acoustic-rated architectural treatments to be incorporated into the dwelling designs as well as the provision of alternative ventilation.	<p>It is noted in the PKA Acoustic Consulting Report that an acoustic barrier is required.</p> <p>The acoustic barrier will be provided along only the Raby Road boundary of site and will be 1.8m high. It is noted in the assessment that the acoustic barrier can be constructed in a variety of forms. This is subject to detailed design at the DA stage.</p> <p>It is noted in the Acoustic Assessment that some dwellings, particularly those adjoining Raby Road are likely to have noise levels exceed the required criteria in their private open spaces.</p> <p>In the recommendations of this report it is noted that the provision of alternative ventilation to seven dwellings is likely required to reduce the impact of noise levels on new dwellings. This is likely to be subject to the positioning of dwellings.</p>	No further action required.
2.10	There are inconsistencies in the reports, stating 'nil or minimal visual impacts' whilst requiring mitigation measures, which indicate attempts to downplay the adverse visual impacts of the proposed development.	The Landscape and Visual Analysis reports provided by JMD Design and Distinctive Living and the subsequent peer reviews of these documents indicate that the proposed development will have either low visual impact	No further action required.

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15/07/2016

Table 1 – Submissions by Others		Response	Proposed Action
Ref #	Issue		
3.01	[The residents] desire in turn for urban development of their own property east of the Sydney Water canal is in danger of compromising the Scenic Hills environmental protection zone within the Campbelltown LGA.	from the viewing points or if there is it will be attenuated by distance. The mitigation measures outlined in the draft DCP controls are put in place to further minimise visual impact. Refer to response 1.03	No further action required.
3.02	The visual impact from the Carmel of Mary and Joseph property of the proposed development be especially weighed and considered. I note also that residents of the Emerald Hills Estate stand to experience significant negative visual impact.	The Landscape and Visual Analysis reports provided by JMD Design and Distinctive Living and the subsequent peer reviews of these documents indicate that the proposed development will have either low visual impact from the Carmelite of Mary and Joseph site property or will be attenuated by distance. Development controls proposed for landscaping, street lighting and building materials will mitigate the visual impact of development on the Scenic Hills and neighbouring development. The mitigation measures are put in place to further minimise visual impact of the site on its surrounds. Viewpoints (viewpoint 11 and 12) were taken from the Emerald Hills site and it is noted that the subject site is visible from this location. The Draft DCP controls will reduce the visual impact to these locations.	Amend the landscaping controls in the Draft Development Control Plan.
4.01	Unfortunately no one took views from Varro Ville Homestead. Betteridge Consulting Pty Ltd apparently took views from a public road at 196 St Andrews Road and subsequently stated, apparently on the basis of that, that we would not be affected. This is not an acceptable methodology, particularly as the homestead is in an	Council officers were advised by the proponent that they were unable to gain access to the Varroville property to undertake view analysis. In lieu of this a detailed cross section has been taken from Varroville towards the site. This	No further action required.

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15/07/2016

Table 1 – Submissions by Others

Ref #	Issue	Response	Proposed Action
	<p>elevated position relative to the road. SHR listed Varro Ville Homestead depends on the retention of the Scenic Protection zoning of Campbelltown's Scenic Hills, which is threatened by the precedents and domino effects created by this proposal.</p>	<p>cross section shows that no residential development will be visible from the homestead.</p>	
4.02	<p>A recent curtilage study on Varroville has emphasised the importance of retaining the zoning and its land use prohibitions on the surrounding land to protect those elements in the landscape that contribute to the state heritage significance of Varro Ville.</p> <p>This zoning is at risk from the domino effect of, from visual problems associated with, and precedents set by the proposed development at 121 Raby Road.</p>	<p>Refer to response 1.03</p>	<p>No further action required.</p>

15/07/2016

Table 2 - Public Agency Submissions		Response	
Ref#	Issue	Campbelltown Council	Proposed Action
5.01	Campbelltown Council wishes to ensure that the land remains as Environmental Protection Zoning to provide a visual and spatial buffer between Campbelltown and Camden LGA's. It is considered that the current zoning of the subject land (RU2 Rural Landscape) assists in providing a suitable transition from the proposed high density development of land further within the Camden LGA to the rural landscape of the Scenic Hills within the Campbelltown LGA.	The detailed visual impact assessment work undertaken identifies that there will be minor impact on the Scenic Hills. Council officers have reviewed the draft DCP and the visual impact assessment report and have made an amendment to the draft DCP to include the planting of a 10m vegetated buffer along the perimeter of the site. This requirement will be enforced by a covenant to be imposed on the individual lots.	Amend the Draft Development Control Plan for a restriction on title to ensure a vegetated buffer is provided on the boundary of site.
5.02	Campbelltown Council notes that the minimum lot size for the Planning Proposal (4000 sqm) compromises this important spatial buffer and suggests that as an alternative, a minimum lot size of 1 hectare (10,000 sqm).	Council officers have reviewed the requested increase in the minimum lot size (10,000m ²). Officers do not believe that an increase in minimum lot sizes will result in an improved visual outcome or protection of the spatial buffer between Camden and Campbelltown.	No further action required.
5.03	Whilst the draft DCP includes a control for the provision of native screen landscaping to be planted along the perimeter of the site, it has not applied the specific recommendations of the studies, particularly with regard to the width and densities of such planting and location in relation to the gas easement.	Council officers have reviewed the draft DCP and the recommendations of the Visual Impact Assessment. As a result of this review it is now proposed to insert an additional control into the draft DCP to require a 10m vegetated buffer screen, incorporating upper, middle and lower canopy plantings from the Cumberland Plain Woodland Vegetation Community.	Refer to action 1.08
5.04	Campbelltown Council suggests that development of the site may not result in an adverse visual impact on the visual integrity of the scenic hills to any significant degree. It is considered that an increase in the residential density to the extent proposed under the planning proposal would result in the further erosion of the landscape character and critical sense of place of the Scenic Hills, which has arguably already occurred to some extent along the western side of the Scenic Hills as a result of development within the South West Growth Centre Area.	While the report identifies the development is visible from some viewpoints, visual impact on the existing rural residential character of the area is considered acceptable. Development controls proposed for landscaping, street lighting and building materials will mitigate the visual impact of development on the Scenic Hills and neighbouring development.	No further action required.

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15/07/2016

Table 2 - Public Agency Submissions		Response	Proposed Action
Ref#	Issue	NSW Department of Industry	
6.01	The NSW Department of Industry – Geological Survey of New South Wales (GSNSW) previously provided advice on 121 Raby Road, Leppington in 2014 where they raised strong concerns that residential development would limit the future access to underground coal resources. The GSNSW position remains unchanged.	Following a meeting with DPE it was agreed that this objection is a state policy matter and as such will be resolved between the relevant stakeholder agencies. DPE agrees that Planning Proposal can proceed.	No further action required.
NSW Rural Fire Service			
7.01	The NSW Rural Fire Service has reviewed the proposal and raised no objections subject to a requirement that the future subdivision of the land complies with <i>Planning for Bush Fire Protection 2006</i> .	Detailed controls within the 'Planning for Bush Fire Protection 2006' will be considered during the Development Application stage.	No further action required.
Jemena			
8.01	Jemena (Gas Asset Manager & Operator) notes that licensed pipelines contain a large amount of potential energy, when residential or industrial development are permitted in close proximity to licensed pipelines the safety risk to the community will increase, if the appropriate safeguards are not applied.	It is noted that the design of the pipelines incorporated safety measures that were appropriate for the existing land use. Jemena will be consulted further at the Development Application Stage.	No further action required.
Sydney Water			
9.01	Sydney Water has raised no objection to the Planning Proposal. Further, it was noted in the submission that there is currently access and capacity in the existing Sydney Water drinking water and waste water services for the proposed site.	Noted.	No further action required.
APA Group			
10.01	APA Group (Owns and Operates natural gas assets) notes that land upon or under the easement must not be constructed without prior consent in writing from APA Group.	Noted.	No further action required.
10.02	It is requested that no vegetation be planted on the pipeline easement that will obstruct awareness or impact the structural integrity of the pipeline.	The authority will be consulted further at the Development Application stage. The draft DCP will consider the location of the 10m buffer planting in relation to the gas easement.	No further action required.
10.03	Ensure the change in land use is in accordance with the Infrastructure SEPP (2007) and Australian Standard for Pipelines – Gas and Liquid Petroleum; the development will be subject to a mandatory safety assessment	As a result of the change in land use and in accordance with the Infrastructure SEPP (2007) and the Australian Standard (AS2885) for Pipelines – Gas and Liquid Petroleum (Part	No further action required.

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15/07/2016

Table 2 - Public Agency Submissions		Response	Proposed Action
Ref#	Issue		
		1) the development will be subject to a mandatory safety assessment. This will ascertain all of the required pipeline mitigation measures that will be required to be put in place to ensure the pipeline and local community are safe.	
10.04	APA to be involved in any design and construction plans proposed for the easement area	The development will be subject to a mandatory safety assessment. Noted.	No further action required.
10.05	APA raises issues around access to the pipeline. APA must have constant access to the pipeline for maintenance purposes.	This will be addressed at the development application stage. Noted.	No further action required.
Water NSW			
11.01	Water NSW identify that the applicant for future development consults with Water NSW and that Camden Council consults with them during the assessment phase.	This will be addressed at the development application stage.	No further action required.
11.02	It is a requirement of Water NSW that stormwater management systems for an development adjacent to the Upper Canal Corridor are designed to ensure the quantity and quality of the stormwater entering the corridor and being directed across the Upper Canal is not altered, resulting in impacts to the water quality and quantity within the Upper Canal corridor or to the infrastructure.	This requirement is consistent with Section B1.14 of Camden's DCP 2011 (General Land Use Controls) which has objectives and controls relating to 'Development adjoining Sydney Catchment Authority Controlled Areas – the Upper Canal'.	No further action required.
11.03	It is requested that a requirement is included in the draft DCP controls for suitable water quality and quantity control measures to be implemented with future developments to avoid detrimental impacts on the natural watercourses and downstream properties.	This will be addressed at the Development Application Stage. Part B of Camden's DCP 2011 (General Land Use Controls) has a number of objectives specifically relating to water quality and quantity controls. These controls can be found in the DCP for Water Management in B1.4	No further action required.

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15/07/2016

Table 2 - Public Agency Submissions		Response	Proposed Action
Ref#	Issue		
11.04	It is noted that basins to manage stormwater for the developed lots are to be located adjacent to the boundary of site with the Upper Canal corridor.	<p>This has previously been addressed as part of the Stormwater Management and Flood Assessment Report was prepared by Stefani Group dated May 2015.</p> <p>Both the basins on site and the basin developed in the lot adjacent to the boundary of site with the Upper Canal Corridor incorporates a bio-retention system for water quality treatment purposes. The report notes that the stormwater treatment measures meet accepted water industry standards of practice and are in accordance with Camden Council's requirements.</p>	No further action required.
11.05	The current fencing along the Upper Canal corridor is rural fencing. It is requested that the draft DCP requires security fencing to be constructed along the corridor boundary to be provided by the proponent.	<p>Part B of Camden's DCP 2011 (General Land Use Controls) has detailed controls specifically relating to Development adjoining Sydney Catchment Authority Controlled Areas – the Upper Canal. This issue raised by the submission will be captured in control B1.14 which states:</p> <p><i>"All development shall include the provision of appropriate security/delineation fencing and/or other mitigation strategies in the consultation with the Sydney Catchment Authority".</i></p> <p>Further, it is noted that concurrence from Sydney Catchment Authority (Now WaterNSW) will be required prior to the construction phase of any new development adjoining the Upper Canal Corridor.</p> <p>The proponent is required to provide security fencing along the Upper Canal corridor and consult closely with WaterNSW when the Development Application stage commences.</p>	No further action required.

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15/07/2016

Table 2 - Public Agency Submissions		Response	Proposed Action
Ref#	Issue		
11.06	WaterNSW indicate that access to the Upper Canal corridor should be limited to WaterNSW staff, contractors and security unless prior written consent is granted.	Noted.	No further action required.
11.07	WaterNSW suggests a subdivision design to incorporate a perimeter road along the site-Canal corridor and limit lots with boundaries directly adjacent to the corridor.	The Indicative Layout Plan for 121 Raby Road as per the Draft DCP Amendment figure C 6.1 (Attachment 2 to this report) has a subdivision design which incorporates a perimeter road along the site-Canal corridor limiting lots that have a boundary directly adjacent to the Upper Canal corridor.	No further action required.
Endeavour Energy			
12.01	Endeavour Energy recommends that future developments will be required to submit applications for connection of load to Endeavour Energy.	Endeavour's submission notes that there is currently capacity on the existing network and will therefore supply this development. Endeavour has further indicated that there will be a padmount substation/s placed on site which will need to be protected by an easement. It is noted that Endeavour does not reserve capacity and the proponent will be responsible for submitting an application for connection of load to Endeavour Energy.	No further action required.
12.02	Endeavour Energy indicate that future proposed development on site will involve work on or near electricity infrastructure, workers run the risk of receiving an electric shock and causing substantial damage to plant and equipment. Endeavour Energy's public safety training resources, which were developed to help general public/workers to understand why you may be at risk and what you can do to work safely.	Noted.	No further action required.
Transgrid			
13.01	All construction work, traffic control measures and vehicular movements undercrossing a TransGrid overhead transmission line will need to be planned in accordance with NSW Workcover 'Work Near Overhead Power Lines' Code of Practice 2006.	Any of the listed works are required to be carried out in accordance with the NSW Workcover 'Work Near Overhead Power Lines' Code of Practice 2006.	No further action required.

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15/07/2016

Table 2 - Public Agency Submissions			
Ref#	Issue	Response	Proposed Action
13.02	Transgrid indicates that formal notification should be provided if there is any proposed encroachment to transmission lines.	There are no overhead lines on site and underground lines will service the site. Noted.	No further action required
Office of Environment and Heritage (OEH)			
14.01	Office of Environment & Heritage (OEH) suggests that the proposed residential development may adversely impact the rural landscape setting and associated picturesque elements of the canal corridor, even though the visual impact assessments and their peer reviews included with the Planning Proposal suggest that the proposed rezoning will not adversely affect the views from the sensitive viewing points or its impact could be mitigated by landscaping and architectural treatments of the new dwellings.	Refer to response 2.07 and 2.10	No further action required.
14.02	OEH note that further mitigation of potential heritage impacts would be necessary during the subdivision and development phases. It is recommended that any proposed development on the site be consistent with the Conservation Management Plan for the Upper Canal.	The Conservation Management Plan will be considered during the Development Assessment stage.	No further action required.



SIGNS & BANNERS

POLICY 2.8

DRAFT

SIGNS & BANNERS

DIVISION: PLANNING & ENVIRONMENTAL SERVICES

BRANCH: ENVIRONMENT & HEALTH

PART 1 - INTRODUCTION

OBJECTIVE:

1. To provide an avenue for the promotion of community events and functions that contribute to the Camden Community; and
2. To manage the erection of signage in all public places to prevent inappropriate or inappropriately positioned signage on roadsides and reserves.

BACKGROUND:

In acknowledgment of the need for non-profit community groups, and Council to publicise local community events, a Policy is needed to put in place control measures on banners and signs erected in a public place within Camden Local Government Area.

The Policy primarily aims to provide an approval mechanism for the erection of non-commercial, temporary advertising such as banners and signs on roads and reserves. Such approval is generally restricted to community, non-profit groups and organisations for the erection and placement of such signage so as to preserve public amenity and safety. Any other organisation that purports to serve the community benefit but does not achieve compliance with the definition of non-profit, consideration may be given to approval of an application based on a written justification as to the community benefit. Any such approval may be granted no more than 2 weeks prior to the event and in any case all conforming non-profit applications will be given precedent.

To assist non-profit and community organisations Council does not currently charge a fee for the use of the approved locations, however this is subject to change as determined by the annual fees and charges schedule adopted by Council.

There are fourteen (14) sites in the Local Government Area where the erection of banners or signs may be approved within a public place.

The approved sites are:

Suburb	Location	No. of banners
Camden	South western corner of Old Hume HWY and Camden Bypass	2
Camden	Northern corner of Old Hume HWY and Camden Bypass	2
Camden	Rotary Cowpasture Reserve, Argyle Street near Cowpasture Bridge	1
Catherine Field	Catherine Field Road corner of Barry & Deepfields Road	2
Catherine Field	Catherine Field Road next door to the Rural Fire Service building (<i>see below diagram – behind copper logs</i>)	1
Gregory Hills	Intersection of Camden Valley Way and Gregory Hills Drive on the south east side of the intersection	1
Kirkham	Kirkham Park, Kirkham opposite Kirkham Lane	2
Elderslie	Camden Bypass Cnr of Liz Kemohan Drive (<i>new site</i>)	1
Narellan	Camden Valley Way between George Hunter Drive and Narellan Road Intersections (outside McDonalds Narellan) (<i>new site</i>)	2
Oran Park	The Northern Road Intersection of Peter Brock Drive (<i>new site</i>)	2
Harrington Grove	Oran Park Drive opposite Harrington Parkway Intersection (<i>new site</i>)	1
Catherine Field	Camden Valley Way opposite Raby Road Intersection (<i>new site</i>)	2
Camden (West)	Cawdor Road on Northbound side of Sheathers Lane Intersection (<i>new site</i>)	1
Camden South	Old Hume Highway Northbound side 130m from Wire Lane Intersection (<i>new site</i>)	2

POLICY STATEMENT:

To develop and maintain a register and booking system of banners and signs approved by Council to be erected in/on a public place for the advertising of community events and functions.

The primary aim of the Policy is to permit applications for the erection of signs and banners by eligible organisations that achieve the "non-profit" status. However should any party or organisation that does not satisfy the definition of "non-profit" be able to adequately justify why they should be permitted access to the Policy then consideration will be given to that request. Any such request must be made in writing justifying the benefit to the community of Camden.

Banners or signs should not interfere with pedestrian or vehicular movement and must not encroach over the kerb toward the carriageway.

A maximum of two banners or signs may be displayed at any approved location at the same time with the exception of six sites that only allow 1 banner to be erected.

Approval will be given for a **maximum of three banners or signs from each organisation** to be displayed at any of the approved sites per event. A further application may be made to Council two weeks prior to the event for additional sites and this request will be reviewed subject to current demand.

LIABILITY:

Any damage to public land as a result of the erection of any banner or sign will be repaired at the expense of the organisation displaying the banner or sign.

It should also be noted that Council is not liable or responsible for banners or signs, which are lost, stolen or damaged.

All organisations must have their own Public Risk Insurance Policy which nominates Camden Council as an interested party. The subject policy must provide insurance coverage for the display of the banner and any such incident which may arise from having that banner erected in a public place.

DEFINITIONS:**Banner**

A soft plastic/canvas/polycanvas material bearing letters and numbers and/or pictures, and visible from or on a public place. Banners are usually longer than they are high and fixed to a solid frame or posts using rope, wire or cable ties.

Sign

A rigid article made of wood/corflute/paper etc, bearing letters and numbers characters and/or pictures, and visible from or on a public place. Signs are usually affixed to one or two posts.

Non-Profit Organisation

Non-Profit is an organisation that is not operating for the profit or gain of its Organisation or any individual members, whether these gains would have been direct or indirect. Any profit made by the organisation goes back into the operation of the organisation to carry out its purposes and is not distributed to any of its members.

(Definition as defined by the Australian Tax Office)

BANNER DESIGN:

This Policy applies to all banners and signs erected in a public place within the Camden Local Government Area. Council reserves the right to refuse the application of any banner or sign in which Council feels is inappropriate and does not reflect the amenity of Camden Local Government Area or if it is believed the organisation is dominating the area with requests for advertising. Banners that contain any but not limited to the following will not be approved or permitted:-

- Projects an offensive message
- Displays an offensive image
- Contains offensive language
- Incites hatred or aggression in any form
- Is unlawful under local, state or federal law
- Is considered as promotion of a political, racial or religious nature; and
- Is of a commercial nature that provides benefit to a private entity or person.

With the erection of banners and signs close to roads, Council needs to consider the safety of all road users. With the potential of banners and signs detaching from their anchor point during strong winds, banners must contain at least one of the below measures:

- Be constructed from a "breeze through material"
- Be constructed from heavy gauge sign vinyl
- Contain at least 3 air holes of not less than 12cm diameter

Council has the discretion to remove immediately any banner or sign which Council feels is a safety threat to road users and members of the community. The owner will be contacted to collect the banner or sign and it will be the discretion of Council as to whether the approval is to be rescinded at that time.

1. TEMPORARY SIGNAGE THAT WILL NOT BE CONSIDERED

In accordance with Council's Development Control Plan 2011 the following temporary signs in a public place are prohibited and will not be considered for approval:

- a) Advertising on parked cars, trailers, shipping containers, whether or not registered where the principal purpose is for advertising (other than vehicles used for the primary purpose of conveying passengers or goods)
- b) Flashing, electronic, running or moving signs (other than those signs authorised for traffic management)
- c) Any temporary advertising placed on the footpath or roadway (includes "A" frame signage)
- d) Inflatable balloons or other inflatable devices
- e) Any temporary advertising attached to power poles, trees, street lights, guide posts or the like
- f) Real Estate signs on public land – All Real Estate signs must be within the boundary of the advertised property.

2. STANDARDS FOR APPROVAL

- a) No banner or sign will be permitted to be placed, displayed or exposed in, on or over any public place without the prior approval of Council, where Council is the appropriate authority.
- b) Advertising will only be approved where the advertised event provides benefit to a community within the Camden Local Government Area, and does not in any way profit a single commercial entity.
- c) The person or organisation erecting the banner:
 - a) Is responsible for maintaining the banner during its display and for its removal;
 - b) Is responsible for the banner to be securely fastened at each end to the supports that will not collapse in the wind;
- d) The person/ organisation erecting a banner or sign at a location is to be considerate of other banners or signs already erected at the approved site. Any banner or sign that has been placed in front of another sign may have their approval rescinded and be asked to remove the banner or sign immediately from the location. Failure to remove the banner or sign may result in the banner or sign being impounded.
- e) A sign or banner observed on public land without the required approval may be impounded under the Impounding Act 1993 and held by Council for a period of twenty-eight (28) days.

Where possible, the owner of the article will be contacted and informed of the impounding. The article may be claimed by its owner and will be released, subject to the payment of the appropriate impounding fees. Fees for the removal and storage of the impounded article are determined in accordance with Council's "Adopted Pricing Schedule of Miscellaneous Fees & Charges" so as to recover Council's costs in providing these services.

- f) If the article is not claimed by the owner within 28 days after being notified then Council will dispose of the article at its absolute discretion by either selling the article or destroying the article in accordance with the *Impounding Act 1993*.
- g) A sign or banner that has been approved by Council but breaches any conditions contained in this Policy may be immediately impounded under the *Impounding Act 1993* and held by Council for a period of twenty-eight (28) days.
- h) Where it is considered that any one organisation is dominating the available advertising areas to the detriment of the broader community, Council may limit the number of banner applications approved for that one organisation in a calendar year. The organisation will be notified in writing by Council of any such decision.
- i) If the situation arises where Council receives two (2) or more applications where the site is limited to available numbers on a requested date, the first applicant to confirm their booking as per the Policy will take precedence over the others. The unsuccessful applicant/s will be advised of any alternate banner locations.
- j) Failure to comply with any of the above conditions may result in the impounding of the article, and/or a fine of \$330.

3. CONDITIONS OF APPROVAL

- a) Applications for the erection of signs or banners must be submitted at least fourteen (14) working days prior to the intended date of display.
- b) Applications will only be approved once the application form has been completed and returned to Council.
- c) A photograph/plan/drawing of the article must be accompanied with the application. (Photograph will only need to be submitted on one (1) occasion as Council will store on file. Note: Any new photograph/plan will need to be submitted if changes are made prior to being erected)
- d) Applications will not be accepted more than 12 months in advance of the intended date of display. The decision of Council is final and not open to appeal.
- e) Articles may be erected for a maximum of fourteen (14) days prior to the advertised event.
- f) Articles shall be removed within two (2) days of the conclusion of the event. If any banner or sign is not removed within this time frame, Council may impound the article and the owner will be subjected to all charges incurred. (refer to 1.2 & 1.3)
- g) Where events are sponsored, any corporate sponsor's logos on any sign or banner **shall not exceed 25% of the total area** of the subject article.
- h) Dimensions of banners shall not exceed 6000mm long, and 1000mm high, and dimension of rigid signs shall not exceed 1000mm by 1000mm.
- i) All articles erected must be safely secured with either rope or wire to star pickets with protective caps, embedded at least 500mm into the soil. Freestanding articles of any nature will not be permitted.
- j) Banners should have appropriate number and sized holes to ensure that they do not trap the wind and tear away from the anchor points.
- k) Articles shall be positioned close and parallel to fences where possible, or otherwise positioned so as not to cause vehicular or pedestrian obstruction, or impede traffic sight lines.
- l) Maximum overall height allowed shall not exceed 1.5m above ground level.
- m) No banner or sign shall be erected on or over any enforceable road sign which may inhibit the ability to enforce that sign in accordance with any Act or regulation.
- n) No person shall move or remove any other banner or sign erected at a site in which they do not have the authority to do so.

4. LOCATIONS WHERE ADVERTISING MAY BE APPROVED

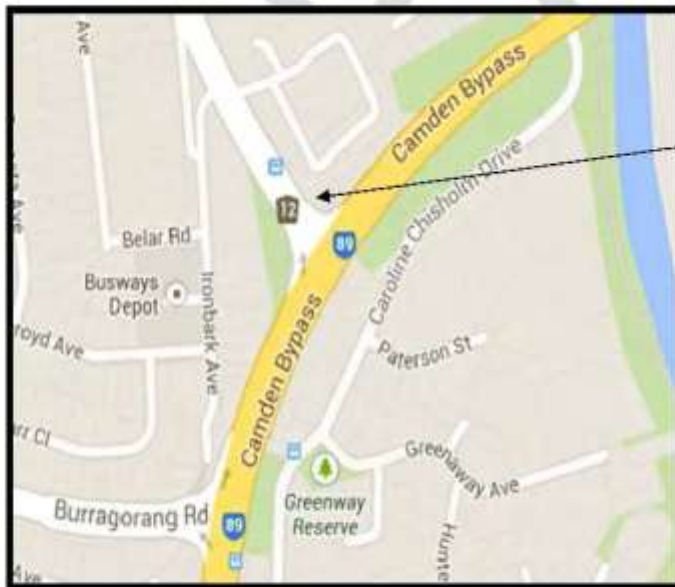
CAMDEN

- a) South Western corner of Old Hume Highway and Camden Bypass (2 banners)



Area available for display

- b) Northern corner of Old Hume Highway and Camden Bypass (2 banners)



Area available for display

- c) Rotary Cowpasture Reserve, Argyle St near Cowpasture Bridge
(2 banners)

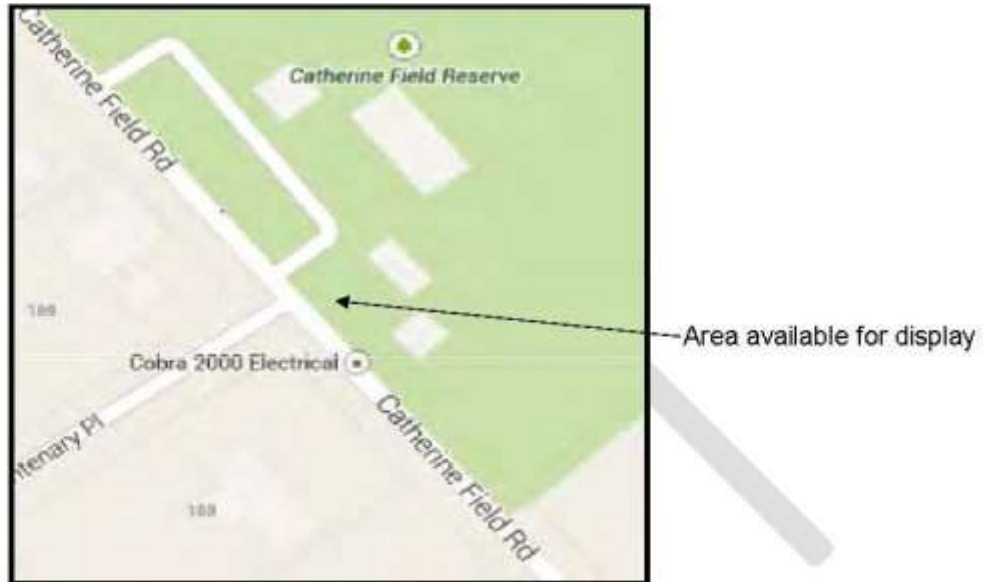


CATHERINE FIELD

- a) Catherine Field Road corner of Barry Ave & Deepfields Road
(2 banners)

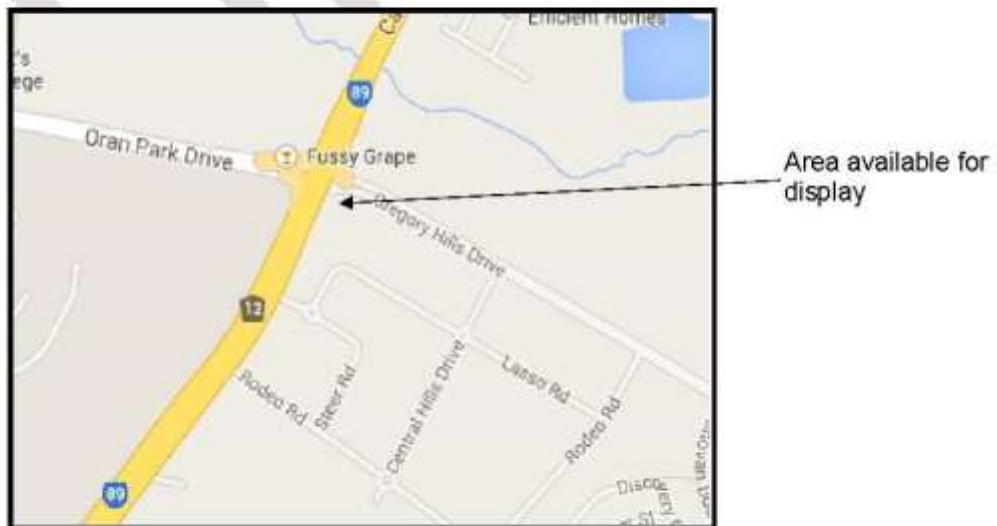


- b) Catherine Field Road next door to the Rural Fire Service Building (1 banner)



GREGORY HILLS

- (a) Intersection of Camden Valley Way and Gregory Hills Drive on the south east side of the intersection (1 banner)



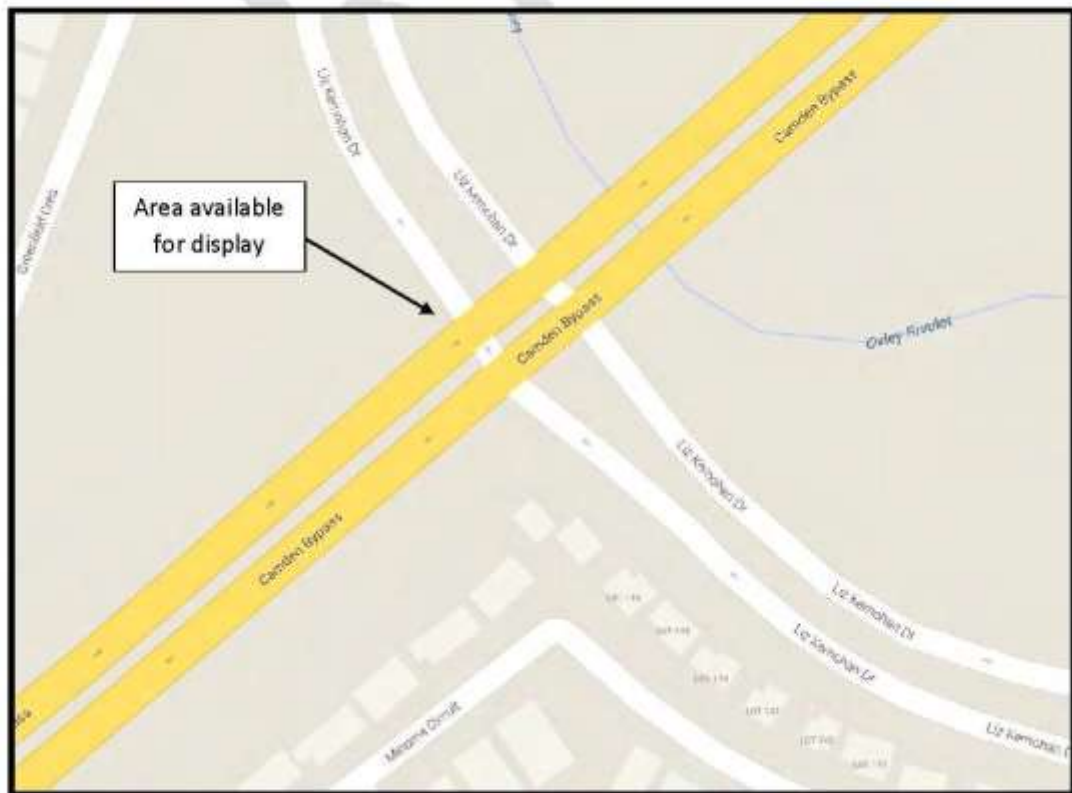
KIRKHAM

- a) Kirkham Park, Kirkham, opposite Kirkham Lane (2 banners)



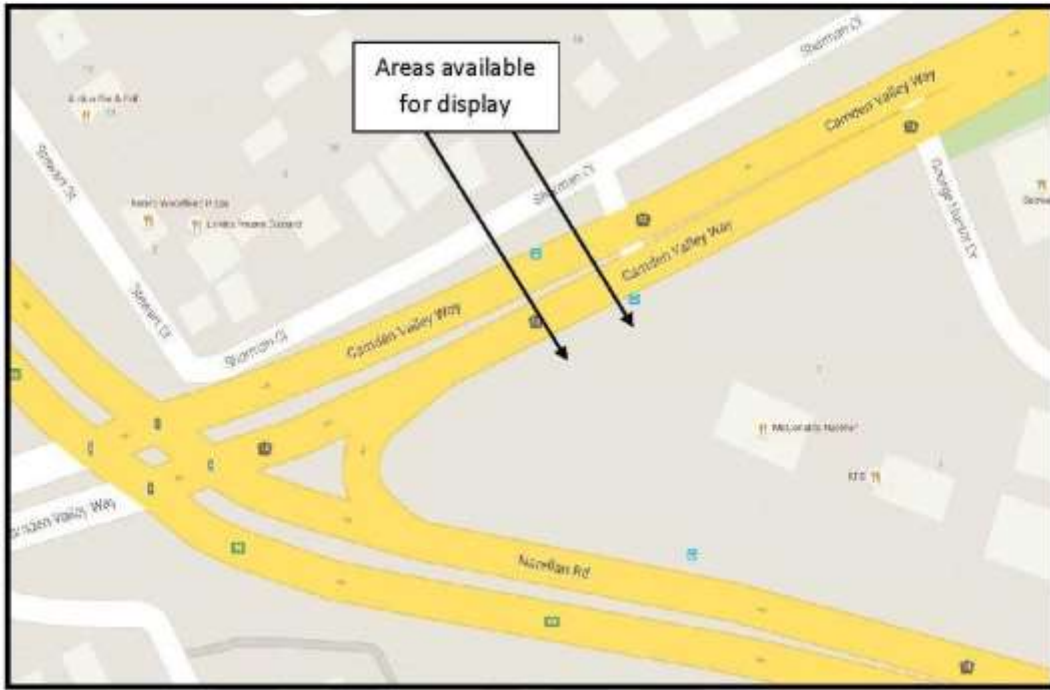
ELDERSLIE

- a) Camden Bypass & Corner of Liz Kernohan Drive (1 banner)



NARELLAN

- a) Camden Valley Way, between George Hunter Dr & Narellan Rd
(outside McDonalds) (2 banners)



ORAN PARK

- a) The Northern Rd intersection of Peter Brock Drive (2 banners)



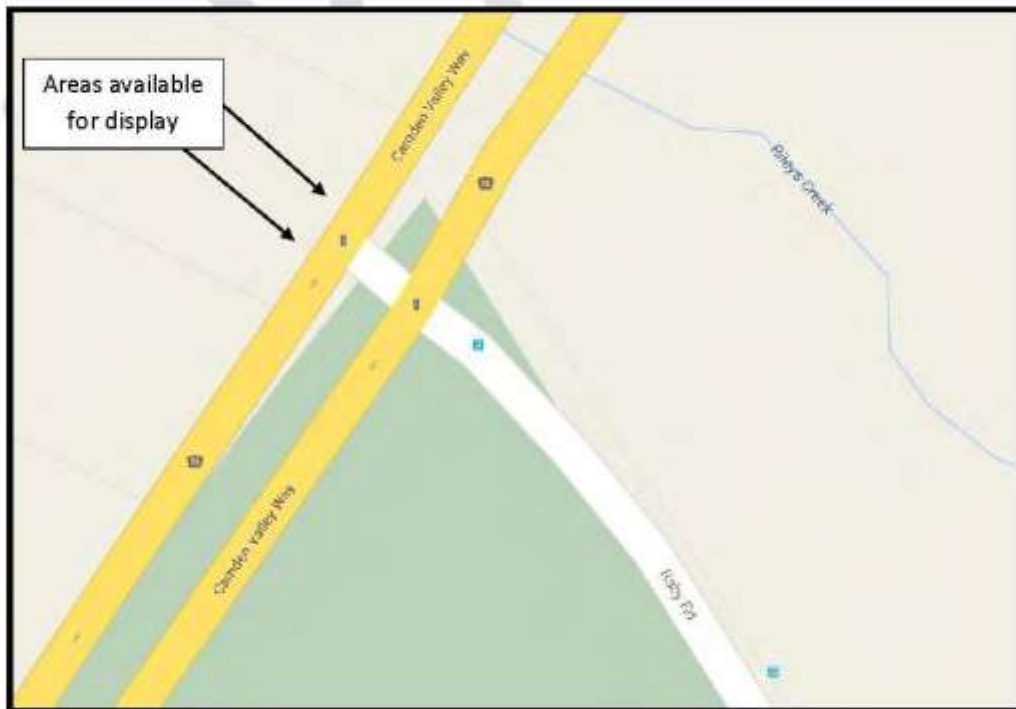
HARRINGTON GROVE

- a) Oran Park Drive, opposite Harrington Parkway intersection (1 Banner)



CATHERINE FIELD

- a) Camden Valley Way, opposite Raby Rd intersection (2 Banners)



CAMDEN WEST

- a) Cawdor Road on Northbound side of Sheathers Lane Intersection (1 Banner)



CAMDEN SOUTH

- a) Old Hume Hwy, northbound side 130m from Wire Lane intersection (2 Banners)



RELEVANT LEGISLATION:

RELEVANT LEGISLATION:

Local Government Act 1993 no30
Impounding Act 1993
Road and Transport Act 2013

RELATED POLICIES:

Camden Council Development Control Plan 2011 Chapter B4 Advertising & Signage

DELEGATIONS:

Yes

SUSTAINABILITY ELEMENT:

No

STAFF TRAINING REQUIRED?

No

POLICY ADOPTED:

Date:

NEXT REVIEW DATE:

PREVIOUS POLICY ADOPTED:
POLICY PREVIOUSLY AMENDED:

27 August 2001
24 February 2015



Application Form Policy 2.8

Please ensure you have read the policy before filling out this form

Name: Street Address: Phone:

Organisation: Event:

Date of event: Start date for display: End Date for Display:

Proposed location of advertising (please tick) **Maximum 3 sites - Subject to availability**

Suburb	Location	<input checked="" type="checkbox"/>	Suburb	Location
Camden	South-west corner of Old Hume HWY and Camden Bypass	<input checked="" type="checkbox"/>	Elderslie	Camden Bypass and corner of Liz Kemohan Drive
Camden	North corner of Old Hume HWY and Camden Bypass	<input type="checkbox"/>	Camden (West)	Cawdor Road, on northbound side of Shealthers Lane
Camden	Rotary Cowpasture Reserve, Argyle Street near Cowpasture Bridge	<input type="checkbox"/>	Gregory Hills	Intersection of Camden Valley Way and Gregory Hills Drive on the south east side of the intersection
Kirkham	Kirkham Park, Kirkham opposite Kirkham Lane	<input type="checkbox"/>	Oran Park	The Northern Rd, intersection of Peter Brock Drive
Catherine Field	Camden Valley Way, opposite Raby Rd intersection	<input type="checkbox"/>	Harrington Grove	Oran Park Drive, opposite Harrington Parkway intersection
Catherine Field	Catherine Field Road, next door to the Rural Fire Service building	<input type="checkbox"/>	Narellan	Camden Valley Way, between George Hunter Dr & Narellan Rd (outside McDonalds)
Catherine Field	Catherine Field Rd, corner of Barry & Deepfields Rd	<input type="checkbox"/>	Camden South	Old Hume Hwy, northbound side 130m from Wire Lane

I, agree that my banner is no larger than 6000mm long and 1000mm high (or rigid sign 1000mm by 1000mm), and will not exceed 1.5m above ground level when constructed. I have attached a clear photograph/diagram with the measurements marked. I also declare that the event is organised by a non-profit organisation as defined in the Policy and no member or private person will make a direct profit from such event. I, the undersigned, have read and understood the attached policy, and agree to the conditions within. I am aware the proposed banner may be impounded, any further requests denied and a fine of up to \$330 may result if I fail to comply with the conditions contained in the policy.

I have attached a clear photograph/diagram with the measurements marked. **NOTE: Application will NOT be approved if photo/design is not provided**

Print Name _____ Signature _____ Date _____

This section to be completed by Council employees only

Has the sign/banner been approved by Councils Public Relations Officer prior to the submission of this form? Yes No

Note: Approval will not be granted until the sign/banner has been approved by Public Relations.

How to lodge your application: **Hand deliver** – Camden Council 37 John St Camden **Post** - PO Box 183 Camden **Post** - PO Box 183 Camden 2570FAX: 02 4654 7829 **Email:** mail@camden.nsw.gov.au

DRAFT

ORD06

Attachment 1



Monthly Report

Camden Council

June 2016

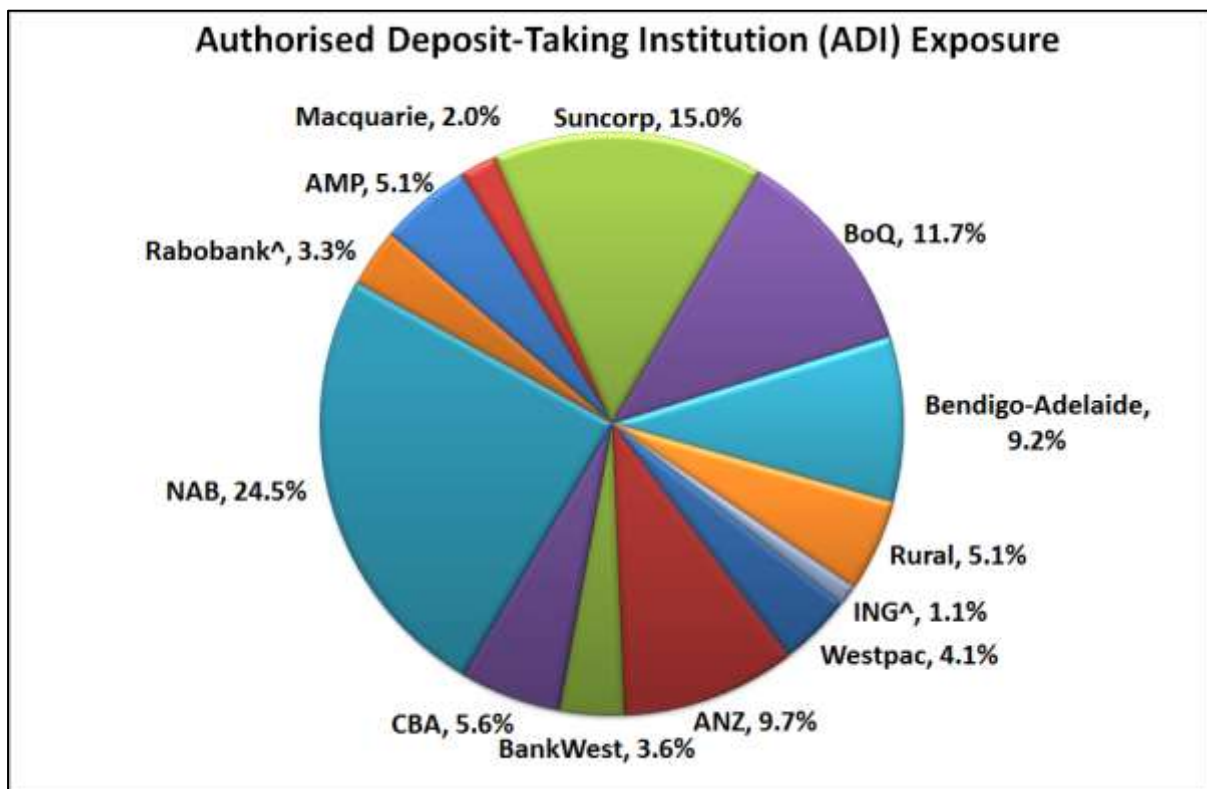
Investment Exposure

Council's investment portfolio is mainly directed to the higher rated ADIs. Council will continue to diversify the investment portfolio across the higher rated ADIs (A1 or higher).

ADI	Exposure \$M	Rating	Policy Limit	Actual	Capacity
Westpac	\$4.00M	A1+	25.0%	4.1%	\$20.48M
ANZ	\$9.50M	A1+	25.0%	9.7%	\$14.98M
BankWest	\$3.50M	A1+	25.0%	3.6%	\$20.98M
CBA	\$5.50M	A1+	25.0%	5.6%	\$18.98M
NAB	\$24.00M	A1+	25.0%	24.5%	\$0.48M
Rabobank^	\$3.20M	A1	5.0%	3.3%	\$1.70M
AMP	\$5.00M	A1	15.0%	5.1%	\$9.69M
Macquarie	\$2.00M	A1	15.0%	2.0%	\$12.69M
Suncorp	\$14.70M	A1	15.0%	15.0%	\$0.00M
BoQ	\$11.50M	A1	15.0%	11.7%	\$3.19M
Bendigo-Adelaide	\$9.00M	A1	15.0%	9.2%	\$5.69M
Rural	\$5.00M	A1	15.0%	5.1%	\$9.69M
ING^	\$1.00M	A2	5.0%	1.1%	\$3.82M
Total	\$97.90M			100.0%	

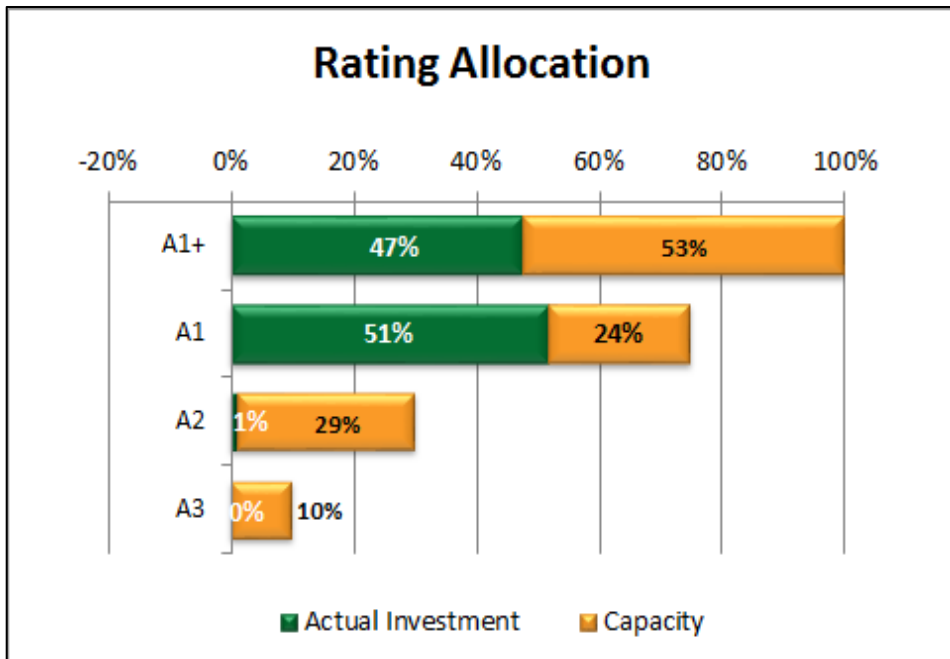
[^]Foreign subsidiary banks are limited to 5% of the total investment portfolio as per Council's investment policy.

The investment portfolio is predominately directed to the higher rated entities led by NAB, Suncorp and BoQ.



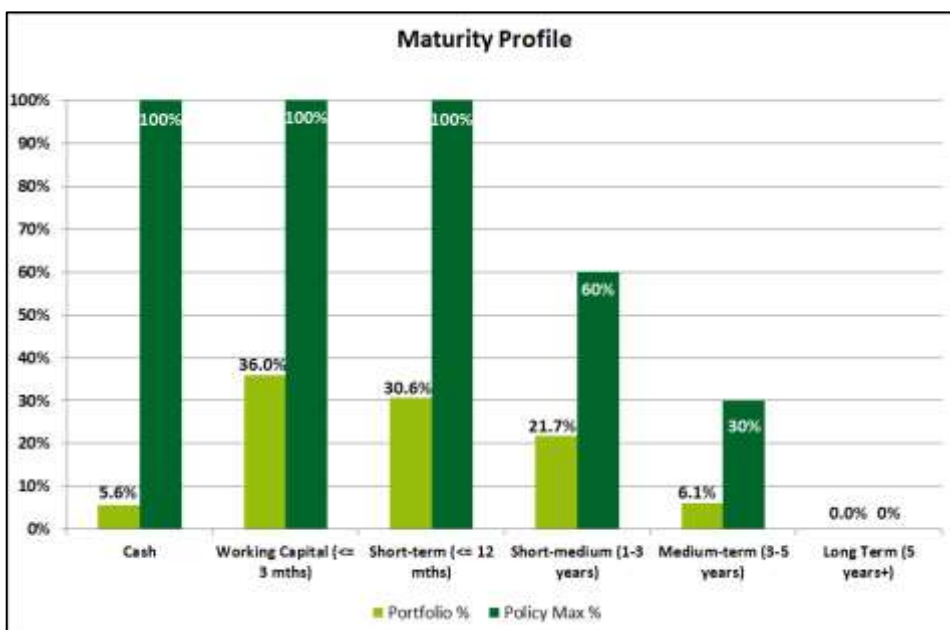
Credit Quality

A1+ (the domestic majors) and A1 (the higher rated regionals) rated ADIs are the largest share of Council's investments. There is still capacity to invest across the entire credit spectrum.



Term to Maturity

The portfolio remains adequately liquid with approximately 5.6% of investments at-call and another 36.0% of assets maturing within 3 months. There is still high capacity to invest in terms greater than 1 year. In consultation with its investment advisors, Council has strategically diversified its investments across various maturities up to 5 years over the past few years.



In the historic low interest rate environment, as existing deposits mature, they will generally be reinvested at much lower rates than preceding years. Maintaining current average interest rates will become increasingly difficult with the RBA's recent cut in May. Money markets continue to fully price in another rate cut by November, although the RBA may move as early as August if a low second quarter CPI in late July permits.

2015-16 Budget

Current Budget Rate	3.00%
Source of Funds Invested	
Section 94 Developer Contributions	\$51,886,652
Restricted Grant Income	\$1,008,241
Externally Restricted Reserves	\$8,767,910
Internally Restricted Reserves	\$28,615,026
General Fund	\$7,622,171
Total Funds Invested	\$97,900,000
<p>Council's investment portfolio has decreased by \$6,770,000 since the May reporting period. The decrease primarily relates to payments for capital works and operational expenses for the June period. The source of funds invested are indicative only, due to Council's annual financial reports still being finalised for 30 June 2016.</p>	

INTEREST RECEIVED DURING 2015/16 FINANCIAL YEAR					
	June	Cumulative	Original Budget	*Revised Budget	Projected Interest
General Fund	\$95,711	\$1,400,089	\$1,000,400	\$1,420,000	\$1,420,000
Restricted	\$169,169	\$1,898,409	\$951,200	\$1,840,000	\$1,840,000
Total	\$264,880	\$3,298,498	\$1,951,600	\$3,260,000	\$3,260,000

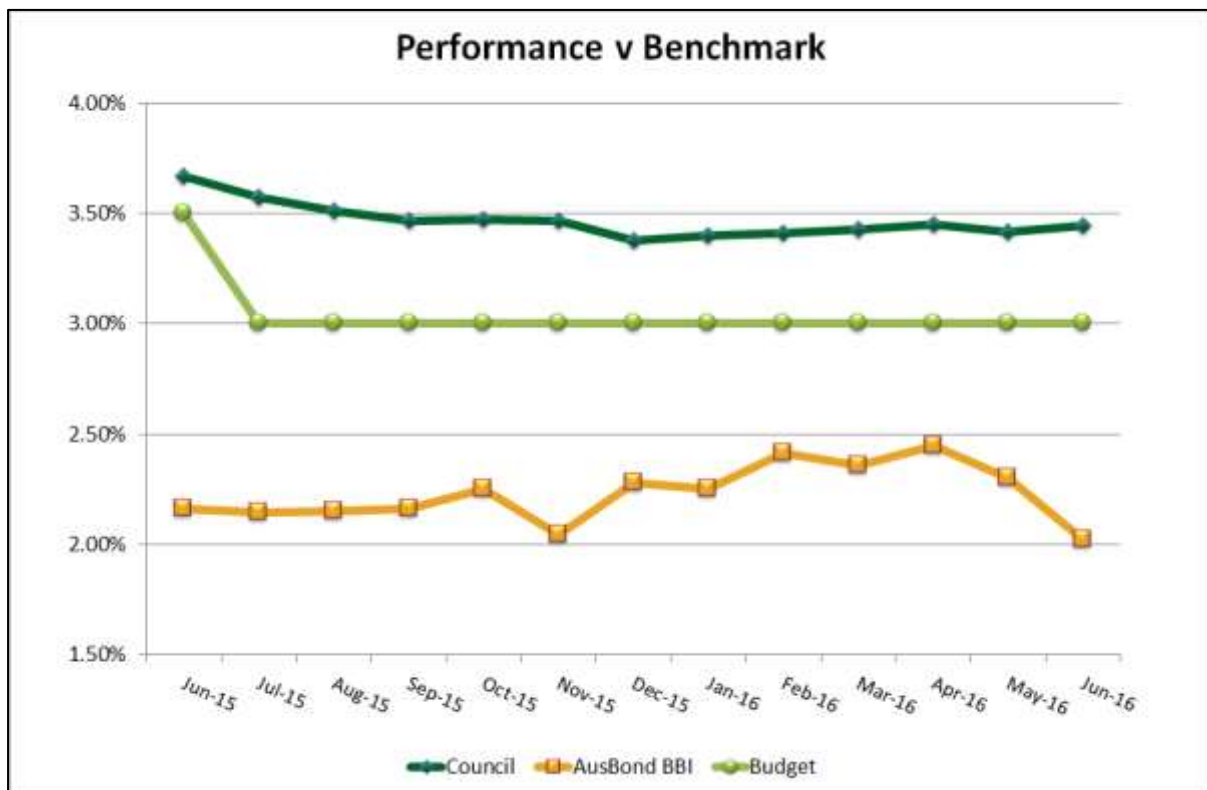
*The Revised Budget is reviewed on a quarterly basis as part of the Budget Process

Interest Summary

The portfolio's interest summary as at 30 June 2016 is as follows:

NUMBER OF INVESTMENTS	66
AVERAGE DAYS TO MATURITY	340
AVERAGE PERCENTAGE	3.47% p.a.
WEIGHTED PORTFOLIO RETURN	3.44% p.a.
CBA CALL ACCOUNT *	1.45% p.a.
HIGHEST RATE	5.10% p.a.
LOWEST RATE	2.80% p.a.
BUDGET RATE	3.00% p.a.
AVERAGE BBSW (30 Day)	1.85% p.a.
AVERAGE BBSW (90 Day)	1.99% p.a.
AVERAGE BBSW (180 Day)	2.14% p.a.
OFFICIAL CASH RATE	1.75% p.a.
AUSBOND BANK BILL INDEX	2.02% p.a.

*Note: CBA call account is not included in the investment performance calculations

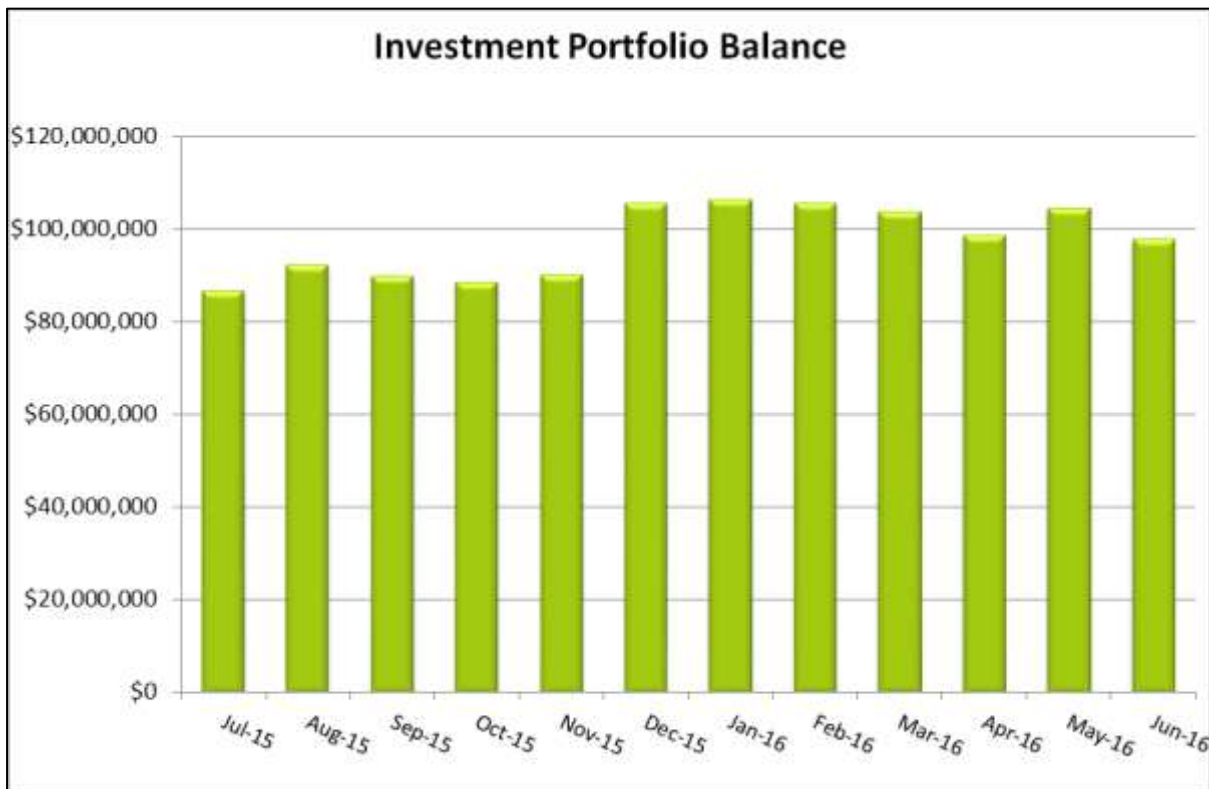


The portfolio's outperformance over the benchmark (AusBond Bank Bill Index) continues to be attributed to the longer-dated deposits in the portfolio. Deposits invested close to or above 4% will contribute strongly to outperformance over coming financial years. As existing deposits mature, performance will generally fall as deposits will be reinvested at much lower prevailing rates compared to previous years. Future budgets may be adjusted to reflect a longer period of low interest rates.

Appendix A – List of Investments

Camden Council Investment Portfolio as at 30 June 2016								
Institution	Type	Amount	Interest Rate	Date Invested	Maturity Date	Original Term of Investment (days)	Days to Maturity	Interest Accrued as at 30/06/2016
BOQ	TD	\$2,500,000.00	5.00%	4/11/2013	1/11/2018	1823	854	\$82,191.78
BOQ	TD	\$1,500,000.00	4.50%	7/11/2013	2/11/2016	1091	125	\$43,828.77
BOQ	TD	\$1,000,000.00	5.10%	25/11/2013	22/11/2018	1823	875	\$30,600.00
ING Bank	TD	\$1,000,000.00	4.63%	28/11/2013	23/11/2017	1456	511	\$28,033.70
BOQ	TD	\$1,000,000.00	4.85%	28/11/2013	23/11/2017	1456	511	\$29,365.75
BOQ	TD	\$1,000,000.00	4.50%	28/11/2013	24/11/2016	1092	147	\$27,123.29
BOQ	TD	\$1,000,000.00	4.65%	27/02/2014	22/02/2018	1456	602	\$15,924.66
Rabobank	TD	\$1,000,000.00	5.00%	28/02/2014	28/02/2019	1826	973	\$16,986.30
Rabobank	TD	\$1,200,000.00	5.00%	3/03/2014	6/03/2019	1829	979	\$19,726.03
Westpac	TD	\$1,500,000.00	4.55%	15/05/2014	15/05/2019	1826	1049	\$8,788.36
Westpac	TD	\$1,500,000.00	4.55%	21/05/2014	22/05/2019	1827	1056	\$7,666.44
Bendigo Adelaide Bank	TD	\$1,500,000.00	4.05%	22/05/2014	24/05/2017	1098	328	\$6,657.53
Bendigo Adelaide Bank	TD	\$1,000,000.00	4.05%	27/05/2014	31/05/2017	1100	335	\$3,883.56
Bendigo Adelaide Bank	TD	\$2,000,000.00	4.05%	30/05/2014	31/05/2017	1097	335	\$6,879.45
NAB	TD	\$2,000,000.00	4.00%	5/06/2014	7/06/2017	1098	342	\$5,698.63
Macquarie Bank	TD	\$1,000,000.00	4.00%	1/08/2014	31/07/2017	1095	396	\$36,712.33
BOQ	TD	\$1,000,000.00	4.15%	5/08/2014	1/08/2018	1457	762	\$37,634.25
Rabobank	TD	\$1,000,000.00	4.10%	27/11/2014	27/11/2019	1826	1245	\$24,375.34
Bendigo Adelaide Bank	TD	\$1,500,000.00	4.25%	28/11/2014	4/12/2019	1832	1252	\$37,726.03
NAB	TD	\$1,500,000.00	4.00%	16/12/2014	11/12/2019	1821	1259	\$32,547.95
Macquarie Bank	TD	\$1,000,000.00	3.85%	19/12/2014	19/12/2019	1826	1267	\$20,568.49
Rural Bank	TD	\$2,000,000.00	3.70%	9/01/2015	9/01/2018	1096	558	\$35,276.71
Rural Bank	TD	\$1,500,000.00	3.70%	14/01/2015	15/01/2018	1097	564	\$25,697.26
Westpac	TD	\$1,000,000.00	3.90%	2/02/2015	2/02/2020	1826	1312	\$16,027.40
NAB	TD	\$1,000,000.00	3.15%	27/02/2015	1/03/2017	733	244	\$10,528.77
Bendigo Adelaide Bank	TD	\$1,000,000.00	3.00%	14/10/2015	18/10/2017	735	475	\$21,452.05
ANZ	TD	\$2,000,000.00	2.80%	4/11/2015	8/02/2017	462	223	\$36,821.92
Bendigo Adelaide Bank	TD	\$2,000,000.00	3.00%	20/11/2015	22/11/2017	733	510	\$36,821.92
BOQ	TD	\$1,000,000.00	3.05%	25/11/2015	29/11/2017	735	517	\$18,300.00
AMP	TD	\$1,000,000.00	2.85%	9/12/2015	7/12/2016	364	160	\$16,006.85
Suncorp Metway	TD	\$1,200,000.00	3.05%	11/12/2015	27/07/2016	229	27	\$20,355.62
Suncorp Metway	TD	\$1,500,000.00	3.02%	11/12/2015	24/08/2016	257	55	\$25,194.25
BOQ	TD	\$1,500,000.00	3.10%	3/02/2016	3/08/2016	182	34	\$18,982.19
AMP	TD	\$1,000,000.00	3.00%	2/03/2016	31/08/2016	182	62	\$9,945.21
Suncorp Metway	TD	\$1,500,000.00	3.05%	2/03/2016	24/08/2016	175	55	\$15,166.44
Suncorp Metway	TD	\$2,000,000.00	2.96%	2/03/2016	6/07/2016	126	6	\$19,625.21
ANZ	TD	\$1,000,000.00	3.00%	30/03/2016	13/07/2016	105	13	\$7,643.84
Suncorp Metway	TD	\$1,000,000.00	3.00%	30/03/2016	13/07/2016	105	13	\$7,643.84
Bankwest	TD	\$1,500,000.00	3.00%	30/03/2016	20/07/2016	112	20	\$11,465.75

Camden Council Investment Portfolio as at 30 June 2016								
Institution	Type	Amount	Interest Rate	Date Invested	Maturity Date	Original Term of Investment (days)	Days to Maturity	Interest Accrued as at 30/06/2016
ANZ	TD	\$2,000,000.00	3.00%	6/04/2016	27/07/2016	112	27	\$14,136.99
ANZ	TD	\$2,000,000.00	3.01%	8/04/2016	3/08/2016	117	34	\$13,854.25
ANZ	TD	\$1,500,000.00	3.01%	8/04/2016	10/08/2016	124	41	\$10,390.68
ANZ	TD	\$1,000,000.00	2.96%	13/04/2016	6/07/2016	84	6	\$6,406.58
Suncorp Metway	TD	\$1,500,000.00	2.95%	13/04/2016	13/07/2016	91	13	\$9,577.40
NAB	TD	\$1,500,000.00	3.08%	20/04/2016	17/08/2016	119	48	\$9,113.42
Bankwest	TD	\$2,000,000.00	3.00%	27/04/2016	10/08/2016	105	41	\$10,684.93
NAB	TD	\$3,000,000.00	3.00%	4/05/2016	3/08/2016	91	34	\$14,301.37
AMP	TD	\$1,000,000.00	3.00%	11/05/2016	9/11/2016	182	132	\$4,191.78
Suncorp Metway	TD	\$1,500,000.00	3.00%	10/05/2016	2/11/2016	176	125	\$6,410.96
NAB	TD	\$1,000,000.00	2.95%	11/05/2016	7/09/2016	119	69	\$4,121.92
NAB	TD	\$1,500,000.00	2.92%	16/05/2016	7/09/2016	114	69	\$5,520.00
NAB	TD	\$2,000,000.00	2.93%	16/05/2016	14/09/2016	121	76	\$7,385.21
AMP	TD	\$2,000,000.00	3.00%	18/05/2016	16/11/2016	182	139	\$7,232.88
Suncorp Metway	TD	\$1,000,000.00	2.89%	25/05/2016	14/09/2016	112	76	\$2,929.59
NAB	TD	\$1,500,000.00	2.92%	25/05/2016	21/09/2016	119	83	\$4,440.00
Suncorp Metway	TD	\$1,500,000.00	2.95%	31/05/2016	28/09/2016	120	90	\$3,758.22
Suncorp Metway	TD	\$1,000,000.00	2.95%	31/05/2016	5/10/2016	127	97	\$2,505.48
NAB	TD	\$500,000.00	2.91%	31/05/2016	5/10/2016	127	97	\$1,235.75
NAB	TD	\$1,500,000.00	2.91%	31/05/2016	12/10/2016	134	104	\$3,707.26
NAB	TD	\$1,500,000.00	2.92%	8/06/2016	19/10/2016	133	111	\$2,760.00
NAB	TD	\$1,500,000.00	2.91%	15/06/2016	26/10/2016	133	118	\$1,913.42
NAB	TD	\$1,500,000.00	2.92%	15/06/2016	2/11/2016	140	125	\$1,920.00
NAB	TD	\$1,000,000.00	2.90%	29/06/2016	30/11/2016	154	153	\$158.90
Suncorp Metway	TD	\$1,000,000.00	2.98%	30/06/2016	7/12/2016	160	160	\$81.64
Rural Bank	TD	\$1,500,000.00	2.98%	30/06/2016	14/12/2016	167	167	\$122.47
NAB	TD	\$1,500,000.00	2.94%	30/06/2016	21/12/2016	174	174	\$120.82
# TD Investments	66	\$92,400,000.00	3.44%					\$1,024,855.79
CBA	Call Account	\$5,500,000.00	1.45%					
		\$97,900,000.00						



Appendix B – Ratings Definitions

Standard & Poor's Ratings Description

Standard & Poor's (S&P) is a professional organisation that provides analytical services. An S&P rating is an opinion of the general credit worthiness of an obligor with respect to particular debt security or other financial obligation – based on relevant risk factors.

Credit ratings are based, in varying degrees, on the following considerations:

- Likelihood of payment
- Nature and provisions of the obligation
- Protection afforded by, and relative position of, the obligation in the event of bankruptcy, reorganisation or other laws affecting creditors' rights
- The issue rating definitions are expressed in terms of default risk.

S&P Short-Term Obligation Ratings are:

- **A-1:** This is the highest short-term category used by S&P. The obligor's capacity to meet its financial commitment on the obligation is strong. Within this category, certain obligations are designated with a plus sign (+). This indicates that the obligor's capacity to meet its financial commitment on these obligations is extremely strong.
- **A-2:** A short-term obligation rated A-2 is somewhat more susceptible to the adverse changes in circumstances and economic conditions than obligations in higher rating categories. However the obligor's capacity to meet its financial commitment on the obligation is satisfactory.
- **A-3:** A short-term obligation rated A-3 exhibits adequate protection parameters. However, adverse economic conditions or changing circumstances are more likely to lead to a weakened capacity of the obligor to meet its financial commitment on the obligation.

S&P Long-Term Obligations Ratings are:

- **AAA:** An obligation/obligor rated AAA has the highest rating assigned by S&P. The obligor's capacity to meet its financial commitment on the obligation is extremely strong.
- **AA:** An obligation/obligor rated AA differs from the highest rated obligations only in small degree. The obligor's capacity to meet its financial commitment on the obligations is very strong.
- **A:** An obligation/obligor rated A is somewhat more susceptible to the adverse effects of changes in circumstances and economic conditions than obligations/obligors in higher rated categories. However the obligor's capacity to meet its financial commitment on the obligation is strong.
- **BBB:** A short-term obligation rated BBB exhibits adequate protection parameters. However, adverse economic conditions or changing circumstances are more likely to lead to a weakened capacity of the obligor to meet its financial commitment on the obligation.
- **Unrated:** Financial Institutions do not necessarily require a credit rating from the various ratings agencies such as Standard & Poor's and these institutions are classed as "Unrated". Most Credit Unions and Building societies fall into this category. These institutions nonetheless must adhere to the capital maintenance requirements of the Australian Prudential Regulatory Authority (APRA) in line with all authorised Deposit Taking Institutions (Banks, Building societies and Credit Unions).
- **Plus (+) or Minus(-):** The ratings from "AA" to "BBB" may be modified by the addition of a plus or minus sign to show relative standing within the major rating categories

Fitch and Moody's have similar classifications.



MACARIA ART GALLERY FEASIBILITY REPORT

For Camden Council prepared by Dunn & Hillam Architects and The Curators Department on 05.07.16



Figure 1: Street View of the Macaria Building

Workshop 1 Pty Ltd U/a Dunn & Hillam Architects ACN 098 309 196 ABN 17 098 309 196
 Nominated Architect: Ashley Dunn NSW ARB No. 7547
 33.Salisbury Street, Botany NSW 2019 T +61 2 8376 7775 E admin@dunnhillam.com.au W www.dunnhillam.com.au



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EXECUTIVE SUMMARY

This feasibility report was commissioned to discuss options for repurposing the landmark building Macaria into a public art gallery on a permanent basis. The report has been created by a team of architects, engineers and art curators in consultation with Camden Council staff and community members.

Two art collections have been included for discussion as the content for the gallery (named for the purposes of this report as Macaria Art Gallery (MAG)) – a proposed donation of 70 artworks by Alan D Baker and the Camden Art Prize Collection currently owned by the Council of up to 140 artworks.

This report comments on the architectural implications and adaptive reuse options for the building as well as considerations for the management and display of the proposed and existing art collections. The relationship between the Macaria and the Council Office Block and connecting foyer is discussed as a key element of the future success of the project.

Two Models for Discussion are presented with a discussion of possible Future Pathways for the gallery as part of a precinct-wide redevelopment.

The Recommended option includes an expanded range of uses. This option utilises both levels of the building for public display and access; it presents an opportunity for a changing exhibition program, income generation through venue hire options, workshop areas expanding community use.

The Limited Use option restricts the available exhibition space to the ground floor and with a limited exhibition program with only minor changes to the works on display. Use of the upper level is restricted to gallery/Council staff. The Limited Use option can be considered as Stage 1 of the larger Recommended option.

The discussion of Future Pathways recommends that Camden Council begin to look at possible sites and brief for a Regional Art Gallery of a more significant size in the immediate future.

The Macaria Art Gallery represents an opportunity for social, cultural and economic benefit for Camden. It will create a substantial piece of cultural infrastructure in Camden, develop a tourist drawcard the historic precinct and open a heritage building up for community access, respond to the need for enhanced amenity for a rapidly growing population.

In summary this feasibility report recommends that a project to convert the Macaria building to a local art gallery should proceed. The Macaria Art Gallery will function as a key part of a larger development for a Camden Town Centre cultural precinct and be an integral part of any future Regional Art Gallery institution.



Figure 2: Front Verandah of the Macaria Building

Workshop 1 Pty Ltd U/a Dunn & Hillam Architects ACN 098 309 196 ABN 17 098 309 196
Nominated Architect: Ashley Dunn NSW ARB No. 7547
33 Salisbury Street, Botany NSW 2019 T +61 2 9376 7775 E admin@dunnhillam.com.au W www.dunnhillam.com.au 2

1. BACKGROUND TO MACARIA ART GALLERY PROJECT

1.1 Arts and Culture in Australia

The Australia Council's survey of arts participation showed that thirty-eight percent of Australians attended a visual arts and craft event in 2009, with over half of these attendees (21 percent of all Australians) going to an exhibition of a painting, drawing or street art. With around 11 million visitors a year, galleries were more highly attended in 2009 than Australia's most popular spectator sport, Australian Rules Football. This figure is thought to have increased since the Australian Bureau of Statistics figures were released in 2010.¹

Art galleries are an opportunity for meaningful growth in several ways such as enhancing an area's reputation and potential increase in visitation from out of the area. They also provide a range of benefits around social value and economic growth.

In 2014, the England Arts Council released its report "The value of arts and culture to people and society"², which identified four key categories underscoring the value of arts to local communities:

Society: Participation in cultural activities contributes positively to cultural cohesion and reduces social isolation and exclusion.

Health and Wellbeing: According to the Arts Council people who had attended a cultural place or event in the last 12 months, were 60% more likely to report good health, than those who had not attended a cultural place or event. Arts and Cultural interventions can have a positive impact on specific health conditions such as dementia, Parkinson's and depression.

Economy: In the same manner as the English Arts Council, the Australian Government has identified the important role the creative industries will play in future economic development; a strong cultural infrastructure at a local level will support this growth and build aspiration and pathways for younger members of the community.

Education: Cultural infrastructure is vital for enhanced creative learning opportunities both through formal and informal activities and resulting long term educational and career outcomes.

Camden is home to several active arts groups and the Camden Art Prize but lacks a public or private art gallery of its own. The closest public gallery – the Campbelltown Arts Centre – 12 km away with additional regional galleries including Blacktown Arts Centre, Casula Powerhouse Arts Centre, Fairfield City Museum and Gallery, Peacock Gallery and Auburn Arts Studio, Penrith Regional Gallery and The Lewers Bequest are within a 50 km radius. However the Wollongong Art Gallery, Hazelhurst Regional Gallery and the Art Gallery of NSW are all in excess of 60km from Camden.

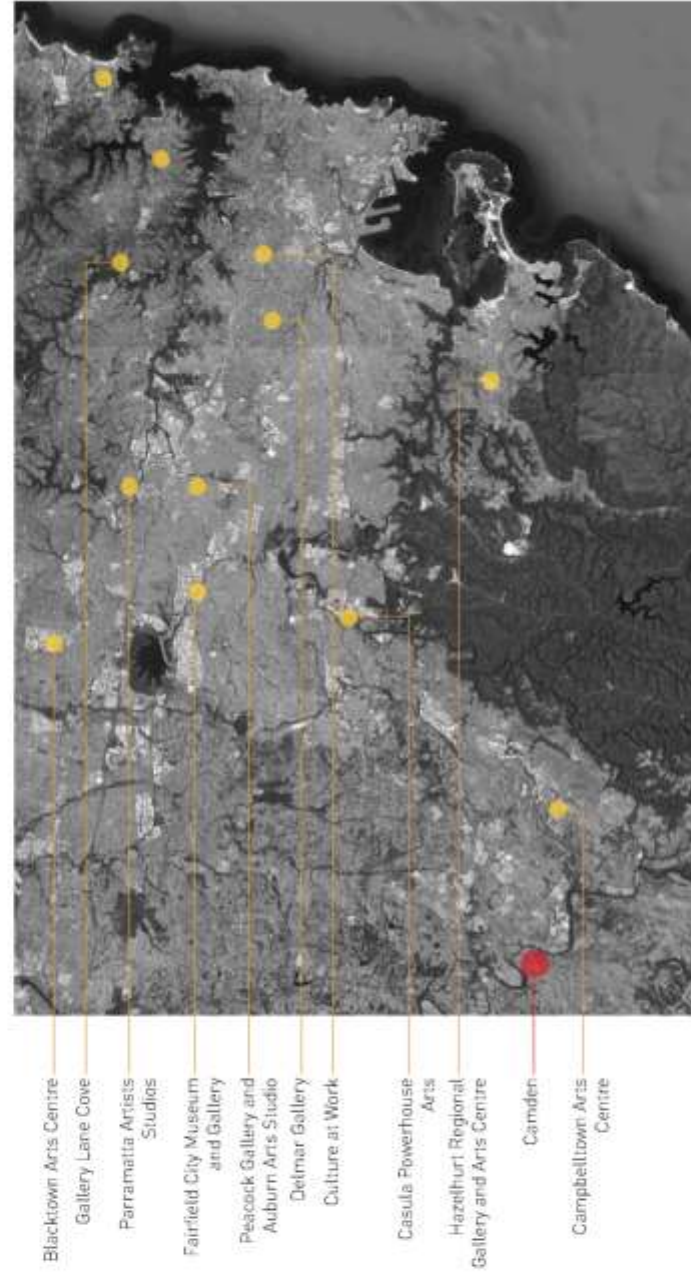


Figure 3: Regional galleries in greater Sydney region



Figure 4: Elizabeth Cummings, 'The bird who lay the golden egg', 1995



Figure 5: Alan Baker, 'Untitled (roses)

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Nominated Architect: Ashley Dunn NSW ARB No. 7547
33 Salisbury Street, Botany NSW 2019 T +61 2 8316 7735 E admin@dunhillam.com.au W www.dunhillam.com.au

1.2 Existing and Proposed Art Collection

Overview

Two key collections have been reviewed for this report:

- 1) the acquisitive collection developed from the Camden Art Prize and;
 - 2) the collection of works by Alan D Baker being considered for donation.
- Camden Council also has holdings of other artworks acquired as gifts to the Mayor and/or Councillors and through the commissioning of public artworks and artistic street furniture incorporated into the Camden Library and Museum redevelopment, the new Camden Council offices and existing works outside Civic Centre.

Camden Art Prize

The works comprising the Camden Art Prize collection have been sourced through the annual acquisitive prize which has been running for 41 years and through additional gifted works from artists participating in the prize. The main body of the collection is by semi-professional artists however, the collection does include works by renowned Australian artists such as Michael Johnson, Ron Lambert, Suzanne Archer and Janet Dawson. Currently works from the collection are displayed in the Council offices at Macaria and in the Civic Centre.

The mainstay of the work in the Camden Art Prize are paintings – works on canvas, paper or board utilizing a range of mediums. The Camden Art Prize collection also includes a small number of three-dimensional sculptural works.

An anecdotal study of Australian regional galleries identifies that art prizes, not unlike Camden's, are often the initial impulse to establish regional art galleries. Near Camden, Campbelltown Arts Centre, Wollongong City Gallery and the Shoalhaven Art Centre were all established partly due to the need to store and display works acquired through the regional art prizes and these galleries would be useful collaborators and partners in being able to assist with moving the collection forward.

Collection of works by Alan Douglas Baker (1914 - 1987)

The proposed donation of 70 artworks by Alan D Baker would be an important component of MAG. It consists mainly of framed paintings on canvas. Alan Baker was born in 1914 in Sydney. He showed promise as an artist at an early age and enrolled to study drawing at J.S. Watkins Art School when he was 13. Two years later he left high school to study art full-time. Baker's peers at the school included Archibald Prize winners Henry Hanke and William Pidgeon. In the early 1960's Baker moved from Moorebank NSW with his family to The Oaks, west of Camden, and immersed themselves in gardening and the local art scene. Alan developed a local art class and became involved in the Royal Art Society of New South Wales, serving as Vice President.

From 1936 to 1972 Baker was a finalist in the Archibald Prize 33 times and the Wynne Prize six times. His work Black Point, Gerooa, New South Wales (1970), finalist in the Wynne Prize that same year, is held in the collection of the Art Gallery of New South Wales. Gerooa was the source of many of Baker's landscapes and seascapes, being the site of the family's holiday home. Baker's works are held in the collections of the Armidale City Collection, Art Gallery of NSW, Camden Historical Society, Howard Hinton Collection, QUT Art Museum and in numerous private collections.

Collection Considerations

There is a need to undertake a full audit of the Camden Art Prize collection that considers conservation and ongoing display as well as curatorial research relating to all works. Collection information should be held within a standard museum content management system (CMS) such as EMU or MOSIAC (the database used by the Camden Historical Society and there is some logic to using the same system). This would consolidate the Baker and Camden Art Prize into one central CMS.

A full audit of the Camden Art Prize collection and information gathered through the audit could provide a framework for the development of a Collection Policy. Part of the scope of the study would also be to identify any other art works that may be distributed in other council facilities and to develop a prioritised conservation plan.

It is noted that the council has recently instigated the process for a new valuation of the works in the Camden Art Prize collection. The proposed donated works by Alan Baker will need to be catalogued for the purposes of a donation. This includes detailing information including size, titles, medium and information on provenance, value and conservation.

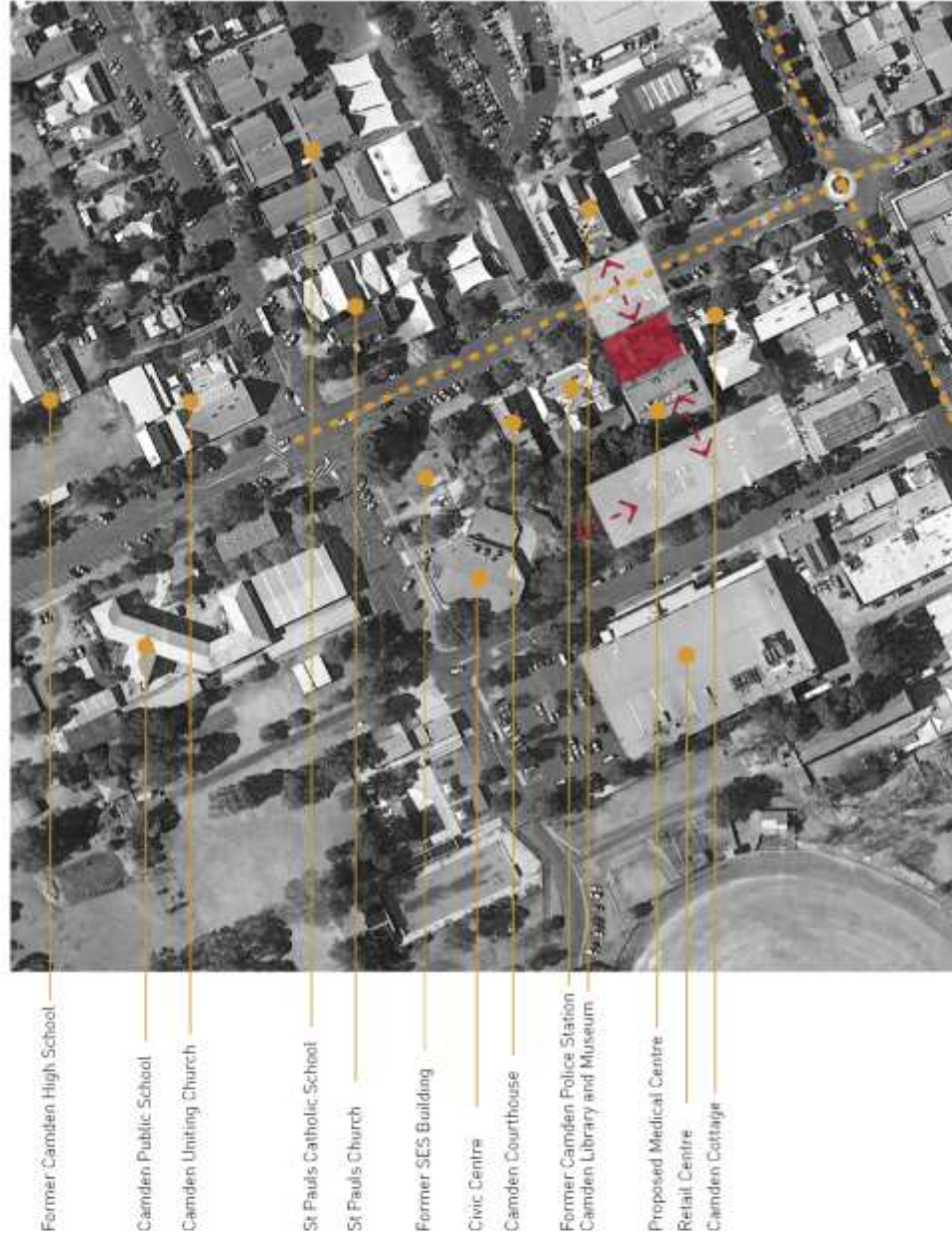


Figure 6: Heritage and Culturally Significant Buildings in Camden Town Centre

1.3 Town Centre context

Location and History

Macaria is situated at 37 John St, Camden, in the Camden Town Centre. It is located in B2 Local Centre zoning and is heritage item 145 (local significance) under the LEP.

The Macaria building was built as a school in 1859-60 by Henry Thompson, a local businessman, and sits now amidst a precinct of historic and cultural buildings, including the CBC Bank, Camden Cottage dating from late 1830's and also built by Henry Thompson, the Camden Police Station and Courthouse, St Pauls and the Camden Public Library and Museum. In fact almost every building along the length of John St is listed as an item of local significance, leading to a particular street character. Those buildings immediately adjacent are larger institutional buildings on larger plots under public or government ownership.

Context within Camden

The position of Macaria with the Camden Local Government Area is ideally suited to a cultural or community purpose, such as an art gallery. Surrounding it, in the Camden Town Centre are a number of other community and cultural buildings, which serve to create a supportive and vibrant precinct. The Camden Town Centre Vision Report marks the Macaria building as a catalyst site meaning that the site has 'potential to have a major impact on the town centre as a whole.'³

The Macaria sits adjacent to Camden Cottage, which is possibly the oldest house in Camden and houses The Epicure Store. It is likely that Camden Cottage and Macaria had a relationship in the past however this relationship is somewhat disturbed by the newer entrance structure to the council administration buildings foyer. The Macaria has been joined to the Council Office Block by a steel framed foyer building, effectively allowing the two buildings to operate as one centre for the Camden Council Administration. The intention is to now rent out the Council Office Block to a Medical Centre business. The two proposed uses, that of a council run Art Gallery and a private medical centre are no longer suitable to share that foyer space and there will be a requirement that security between the two functions be provided. The juxtaposition of these two buildings and the connecting foyer are problematic to the character, heritage and cultural value and functionality of the Macaria and the future Medical centre.

1.4 People and Organisations

Camden is home to many practicing artists, craftspeople and avid art collectors. It also boasts several active arts community groups including the Australian Decorative & Fine Arts Society Camden, Camden Art Prize, Camden Historical Society, Camden Park House, Camden Society of Artists and the Macarthur Art Group among others.

Consultation

For the preparation of this report community consultation included meeting with key stakeholders such as the Mayor Lara Symkowiack, local art collectors and potential donors Max and Nola Tegal, the director of the Camden Historical Society, Civic Centre staff in relation to the Camden Art Prize and Camden Council Cultural Development Officer Cheryle Yin-Lo.



Figure 7: The former Police Station, to the north of Macaria has potential for future development



Figure 8: The Epicure Store, formerly Camden Cottage, once part of the Macaria site

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Nominated Architect: Ashley Dunn NSW ARB No. 7547
33 Salisbury Street, Botany NSW 2019 T +61 2 9376 7775 E admin@dunnhillam.com.au W www.dunnhillam.com.au 6

1.5 Architectural Context

Condition of the Building

The building is in good condition with original window and door joinery throughout. There are issues with damp, that are being dealt with, with limited success, but which are almost certainly being exacerbated by the addition of the council administration building to the rear, which restricts air flow both under and through the building.

A maintenance schedule is in place and if adhered to, should ensure the ongoing longevity for the building.

The condition of the building is more fully discussed in the engineers letter (Appendix A)

Suitability for Purpose

Architectural Fabric: The building itself has a number of constraints and opportunities regarding the architectural fabric. Clearly the building is one of quality, that has been crafted with care in the picturesque gothic style and looked after well. This therefore lends an atmosphere of significance that would be suitable to an art gallery with a body of work that is thematically historical.

The building is set back from the street allowing for a public entry through the main front door. There is also an open space to the north of the building with two doors from major rooms in the ground floor opening on to it. This space lends itself to overflow or events usage.

Size and Scale: The size of the building is suitable for a small art gallery. The scale of the rooms is gracious and allows some distance for viewing art of a small to medium size and some central furniture could be provided for seating or display. The building however may not be compatible with the size of the Camden Council art collection. The upper floor has sloping walls that present challenges for hanging art. A further discussion of the requirements for displaying art is covered later in this document.

Natural Light and Windows: The rooms to the north and east have good natural light provided by windows. The rooms to the west and south have windows that no longer receive natural light (for ventilation) due to the addition of the council administration building to the west. Windows, whilst advantageous for natural light, present challenges to conservation of art, particularly works on paper and restrict hanging space.

Accessibility: The doors into the Macaria are generally large and will provide good access for wheelchairs and other accessibility aids. Small ramps will need to be provided at all doorways, however the ground level to floor level differential is small and therefore small non-permanent ramps might be considered. Access to the upper floor of the Macaria is provided by a staircase, which appears to be in original condition. The floor to floor height is almost 4 metres and the stair is constructed of 21 risers, with three winders from a half landing. The stair is non-compliant with the BCA on a number of counts but is currently permissible due to the historical importance of the building. The numbers of people expected to access the upper floor will need to be considered with reference to this stair and also with fire egress.

Amenities: The toilets currently provided in the Macaria are not BCA compliant or adequate for the purpose, and it is assumed that the current offices have access to accessible and disabled toilets elsewhere in the council facilities. Once the Macaria is separated from the Council Office Block it will need to provide adequate toilets for the purpose of an art gallery.



SCHEDULE OF ROOMS

Room Number	Floor Area	Wall Area for Display	Ceiling Height	Current Use	Notes
01	21	4.2	3.63	Hall	good wall area for hanging small works
02	21	9.8	3.58	Office	some damp in north wall adj. to hall
03	21	n/a	3.07	Kitchen	toilets non-compliant, staff kitchen only
04	23	12	3.65	Meeting Room	many door, window fireplace intrusions to hanging space
05	27	15.5	3.62	Meeting Room	connection to north courtyard and Rm 06. Good hanging area
06	45	12.4	3.59	Executive Office	connection to north courtyard and Rm 05
07	14.5	2.4	3.00	Hall	limited usefulness for display of art
08	29	11	2.94	Office	hanging space compromised by sloping ceiling
09	23	n/a	2.91	Office	well lit, accessed by small stair from Rm 10
10	21	4.7	2.97	Office	hanging space compromised by sloping ceiling, ceiling non original.
11	27	6	2.97	Meeting Room	hanging space compromised by sloping ceiling, ceiling non original.
12	45	9.6	2.99	Meeting Room	hanging space compromised by sloping ceiling, ceiling non original.

Table 1: Schedule of Rooms



Figure 9: Room 9, showing lining board ceiling and extensive windows

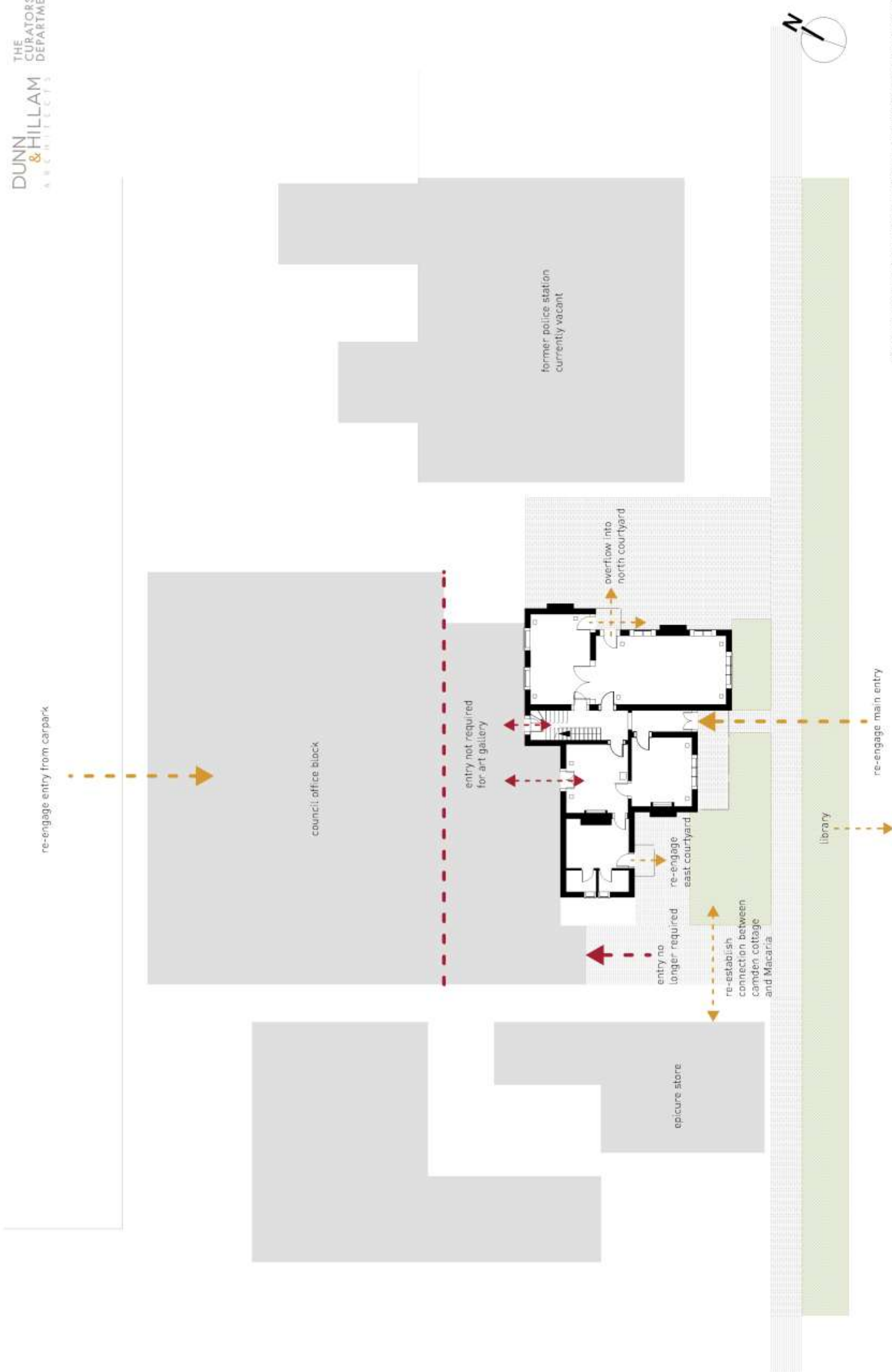


Figure 11: Room 12, showing extent of sloped walls



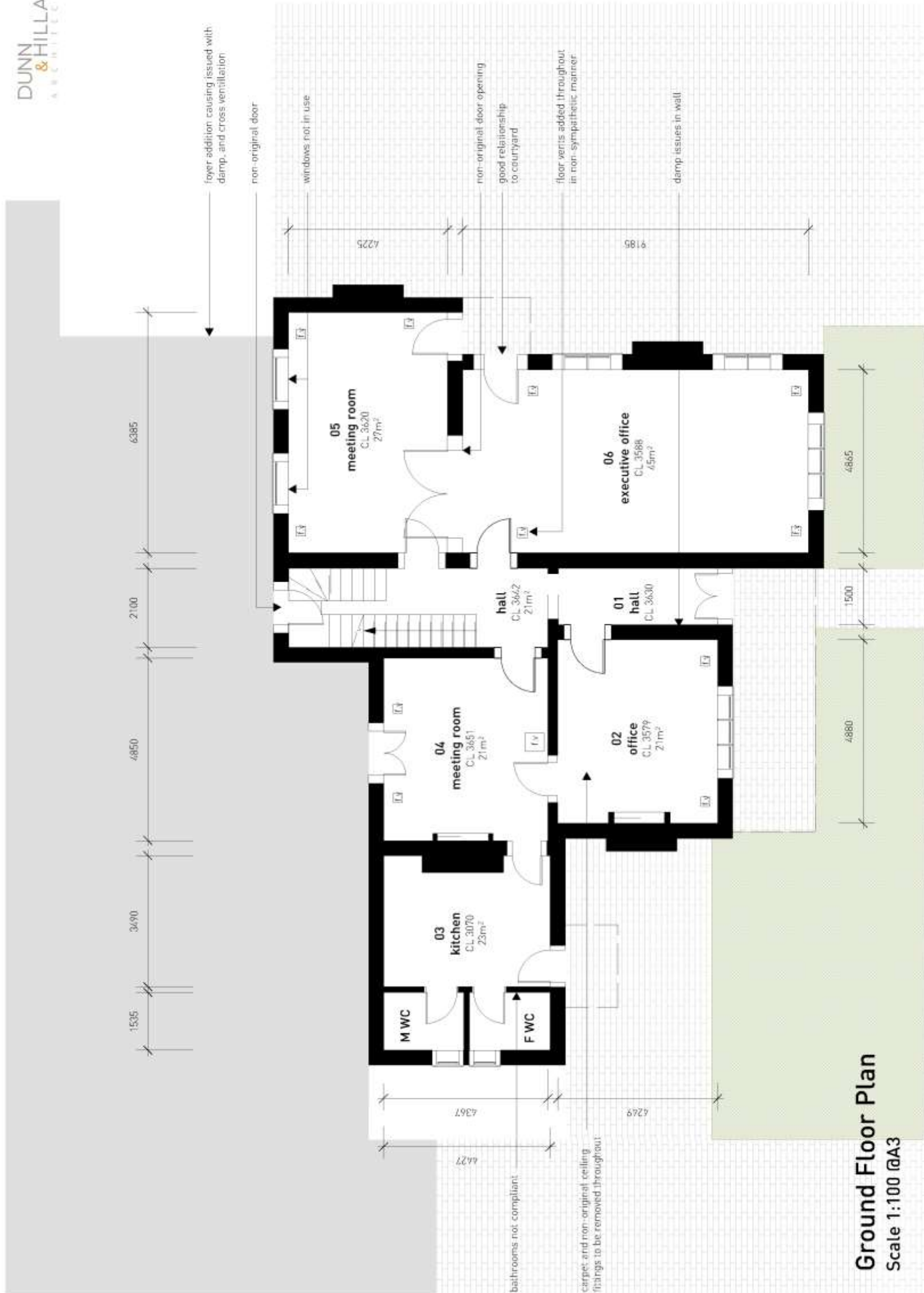
Figure 10: Room 6, executive office

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 33 Salisbury Street, Botany NSW 2019 T +61 2 8316 7715 E admin@dunnhillam.com.au W www.dunnhillam.com.au 7



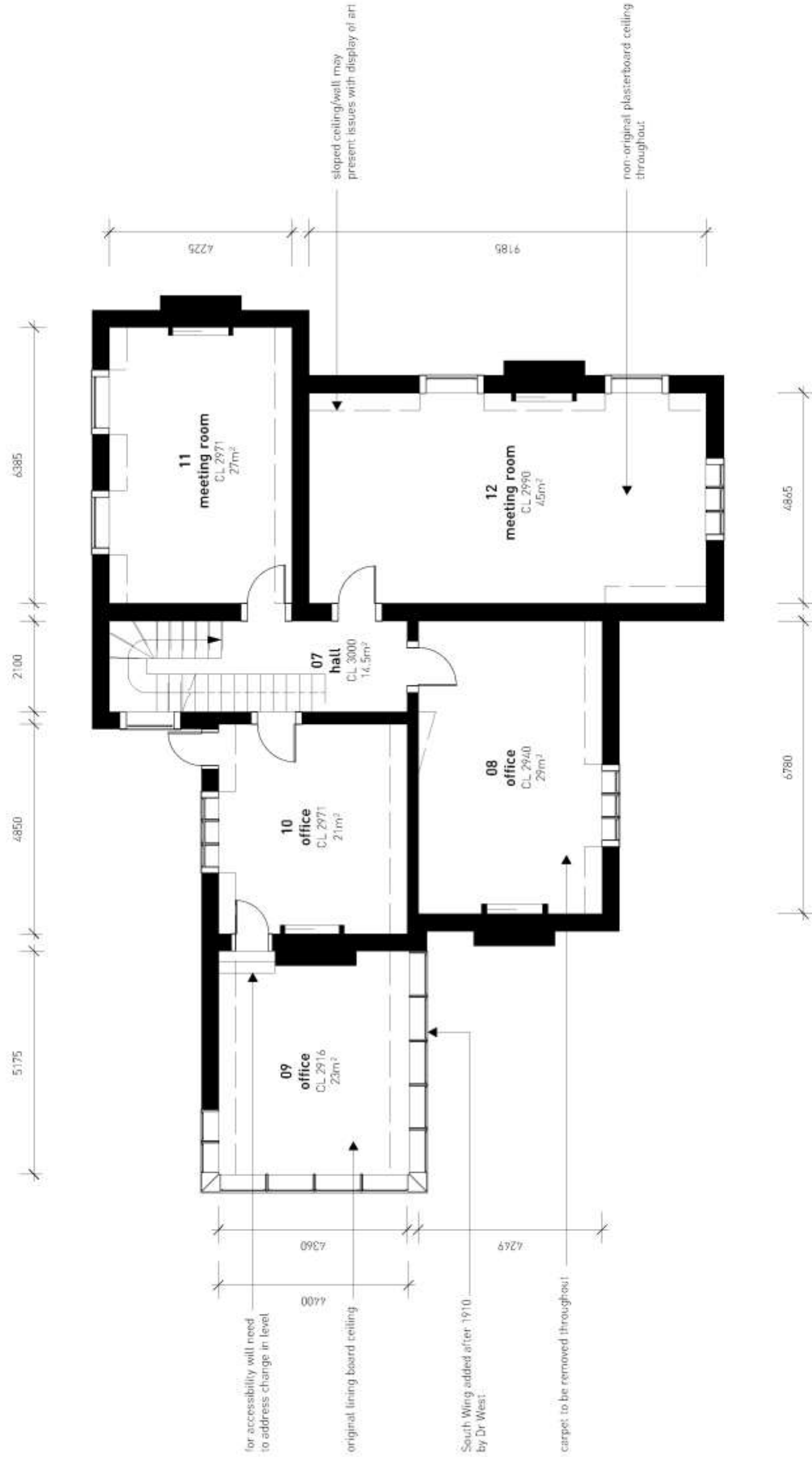
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Context Plan
 Scale 1:250 @ A3



Ground Floor Plan Scale 1:100 @A3

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First Floor Plan
Scale 1:100 @ A3

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Figure 12: Example of salon style of artwork installation in heritage building, Corcoran Gallery of Art, Washington, USA



Figure 13: Example of salon style of artwork installation on pale coloured walls, with artwork labels coloured to match, Auckland City Art Gallery, Auckland, NZ

2. STANDARDS, BENCHMARKS, REGULATIONS

2.1 Art gallery standards

Overview

The gallery environment should be established to prioritise preventative conservation of artworks. This will entail providing for a stable relative humidity, temperature, air cleanliness and pest-free building. Appropriate display methodology and technology should be implemented across lighting, security, visitor controls and collection management processes.

Industry best practice as exemplified by the National Gallery of Australia should be used as the benchmark which will also ensure that MAG may have the capability of securing loans from external Collections of significance.

Gallery Environment

Exhibition approach: With an approach that is sympathetic to Baker's artworks and the intimate scale of the rooms at Macaria, the downstairs galleries will have walls of different colours, rather than a 'white cube' approach. This visually-rich approach will also enhance the potential for visitor 'dwell time' in each of the spaces.

The exhibition design reflects the needs for displaying artworks and information that engages visitors with the history of Macaria. In addition to didactic text panels on the artworks, each room will also have text available on the prior use and architectural features of the building.

Climate control: Relative humidity, air cleanliness and temperature should be maintained in the display and storage areas according to best practice where possible. Relative humidity should be measured regularly using a thermohygrograph, wet and dry bulb psychrometer or datalogger to determine the levels of moisture in the air.

Australian Institute for Conservation of Cultural Material Interim Temperature and Relative Humidity Guidelines for Acceptable Storage and Display Conditions are as follows:

Temperature – typically between 15-25°C with allowable fluctuations of $\pm 4^{\circ}\text{C}$ per 24 hours; Relative humidity – typically between 45-55% with an allowable fluctuation of $\pm 5\%$ per 24 hours; Where storage and display environments experience seasonal drift, relative humidity change to be managed gradually across a wider range limited to 40- 60% to minimise stress on collection items. These are for general collection material based on guidelines developed by professional conservation groups internationally, most notably by the American Institute for Conservation (AIC).

Power: As part of the building work the building's electrical system including state of current wiring and switchboards should be assessed. Provision should be made for the introduction of LED track lighting, security system and external power and outdoor lighting.

Security: Security measures should be in place sympathetic with the period detail of rooms, appropriate to operational and afterhours periods. The proposed measures may include: the development of a security manual and training for operating hours, CCTV monitoring (CCTV cameras installed in each publicly accessible room with CCTV monitors positioned at the gallery main desk), fixed landline telephones installed on both floors of the building, an entry belt at the main public entry and door alarms on any fire escape doors, appropriate artwork securing measures including lockable display cases and hanging systems, afterhours measures including hardwired burglar alarms, back-to-base security monitoring, exterior sensor lighting to building perimeter and window alarms on ground floor windows.

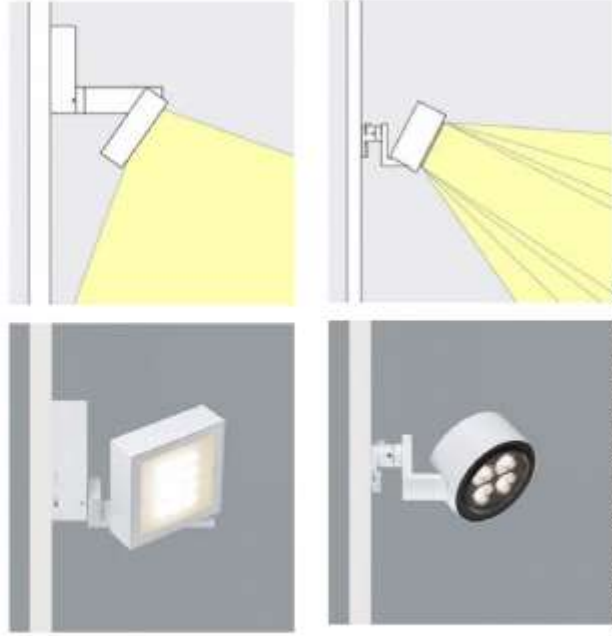


Figure 14: Example of ERCO track luminaires - Optec and Cantax models



Figure 15: Example of suspended lighting track, Minnesota Marine Art Museum, Winona, USA

Lighting: In addition to the gallery lighting described below, the provision should be made for space lighting in common areas, custom display case lighting, exterior landscape and security lighting. It is recommended to contract a lighting design consultant to address all of these lighting components.

Based on industry standard, a suspended lighting system using dimmable warm white LED luminaires (spot and wall washer) at an optimum angle of incidence of 30degrees. LED offer several key benefits:

- more energy efficient compared to incandescent and Halogen lamps at 100Lm/W
- significant energy savings compared to incandescent and Halogen
- long lamp-life resulting in reduced maintenance costs
- reduced heat emissions reduces climate control requirements
- wide range of colour temperature options from 1600K to 4000K
- contain no mercury or lead
- warm white LED has a lower radiation intensity compared to low-voltage halogen lamps with a UV filter.

German company ERCO track and luminaires are the industry standard for galleries and museums in Australia. ERCO Cantax and Parscan or similar systems are recommended.⁴

Artwork Management

Archival Framing and Conservation: As discussed previously, it is recommended that art collection information be held within a standard museum content management system (CMS) such as EMUF or Collections MOStAIC⁵ which will assist with the management of the location, insurance and condition of the works.

There is a need to undertake a full audit of the Camden Art Prize (CAP) collection that considers conservation, framing and ongoing display as well as curatorial research relating to all works. Consideration should be given to de-accessioning artworks according to the Collection Policy (proposed). Budget should be allocated for the reframing of up to 30% of the artwork in CAP collection as a minimum to address issues of acid leaching from backing boards and older framing materials.

Whilst the frames on the Baker artworks have been newly installed, consideration should be given to reframing some of the works in keeping with proposed display thematic and design in consultation with curatorial/exhibition plan.

Installation planning: Preceding the operational phase, it is recommended that a dedicated kit of art installation tools and equipment be purchased and stored onsite. These items may include a step ladder, drill and various appropriate fixings. Arrangements should be made for the contracting of trained artwork installation staff. Documents such as Work Health and Safety guidelines, Safe Work Method Statements (SWMS), equipment registers should be prepared prior to the first installation of artworks; a maintenance schedule and responsibility for these documents should be allocated to appropriate staff.

Storage: For Option A (to be discussed), all collection artworks in storage to be consolidated into one offsite location at a Council property fit for purpose. A mobile art storage racking system is proposed such as Dexion Spacesaver.⁷ Offsite storage is required due to the use of upper level rooms for exhibition and workshop space. It should be noted that this option requires the additional costs associated with transporting artworks between locations.

Option B (to be discussed), maintains existing storage for CAP artworks at the Civic Centre with some consolidation of works due to space limitations (to be discussed in latter sections). Works from the Baker collection not on current display will be stored in a suitable room on the upper level in a proposed-built Fixed Rack Shelving or a mobile art rack system (Dexion Spacesaver double-sided mesh screens on rollers or similar). Artwork suitability for upstairs storage is restricted due to scale and the manual handling implications of the existing staircase.

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Presentation

Downstairs, the proposed use of space includes dedicating a room each to Baker's flower paintings, landscapes and portraits. The smallest room 04 will be set aside as a reading room hung with portraits of Baker and information about him with a central informal seating area.

Key features of the exhibition approach for the downstairs spaces includes:

- thematic colour palette in each room
- period architectural elements to remain
- artwork hung in both salon, paired and single work arrangements
- each room with furniture sympathetic to the architecture and artwork
- polished wooden floorboards
- neutral coloured window blinds
- even lighting throughout
- information on both the artworks and the building
- flexible spaces which can be adapted for different uses, for example removable furniture for small functions or the addition of changing display elements

Upstairs, Option A proposes to create a flexible space for changing exhibitions across a range of mediums. These spaces will allow for a curated exhibition program which may include highlight works from the CAP as well as touring exhibitions, community projects and gallery hire by externals.

Key features of the exhibition approach for the upstairs spaces includes:

- neutral/white walls
- flexible hanging/display options for a range of mediums including framed and unframed paintings/prints, quilts and textile works, sculpture, ceramics and video projection
- flexible lighting options to suit display
- built in and removable display furniture
- removable visitor furniture

Artwork installation: For all options a sympathetic purpose designed artwork hanging track system should be installed in keeping with the historic nature of the building and traditional artforms comprising the collections. On the ground floor a combination of traditional metal hooks utilising the existing timber picture rails and a streamlined fixed track system installed under the existing timber rails is proposed.

For Option A on the upper floor three methods of artwork installation are proposed – fixed hanging track, solid wall cladding and floating panels. Firstly a fully-integrated hidden ceiling rail system (the Shadowline system or similar) is proposed as it will enable the installation of a range of works with minimal visual impact of lines of hanging track on useable walls. This approach is important given impact of the strong architectural elements in the proposed gallery spaces and limitations on lineal hanging area.

Where appropriate specific walls should be clad with sheets of MDF or similar to allow for the direct fixing of a wide variety temporary artworks directly to the wall without damaging the existing masonry. Lastly a mounting track system could be installed in front of the openings to some of the windows to allow for the installation of floating panels.

Accessibility: 20% of the Australian population identify as experiencing disability. Consideration for accessibility should be addressed across the design and operational phases. These include appropriate measures for access to physical spaces, customer service and presentation of visual and auditory content.

Gallery programs and interpretive materials should be devised to address a range of visitor's needs in direct and indirect ways. It is anticipated that a percentage of the accompanied visitors will have some form of cognitive or intellectual disability and consideration should be made for these visitors and appropriate staff training undertaken.



Figure 16: Example of the hidden hanging track system proposed for upstairs level. Shadowline model illustrated.

Figure 17: Example of artwork storage racks on rollers. Dexion Spacesaver illustrated.



Figure 18: Example of artworks on hanging track and wayfinding signage in heritage building. Murray Art Museum Albury, Albury

Gallery furniture

The new gallery spaces will require staff furniture, an entry desk, visitor furniture, as well as display joinery.

Visitor Furniture: Seating for visitors should be provided throughout the exhibition spaces to accommodate visitors of differing ages and abilities, for example providing chairs with arms for less physically able visitors as well as typical gallery benches for small groups. Options for procuring furniture include purchasing readymade pieces, sourcing (through purchase or donation) a select items of period furniture or commissioning bespoke pieces from local artisans in a similar way to the recent commissions for the Camden Library.

Exhibition Furniture: Depending on the final gallery option selected, freestanding, removable modular joinery sympathetic to the thematic rooms either readymade, antique or custom joinery offering greater flexibility for display on the ground floor. Upstairs, built-in custom joinery for the display of smaller items such as porcelain, glass and historical objects as well as removable freestanding exhibition plinths for sculptures will expand the capacity of the Gallery.

Staff Furniture: The gallery staff office will require furniture aligned with current Council provisions. In addition a custom made entry desk will be required which can accommodate one to two staff members (volunteers), display materials and be at a suitable height for a range of visitors.

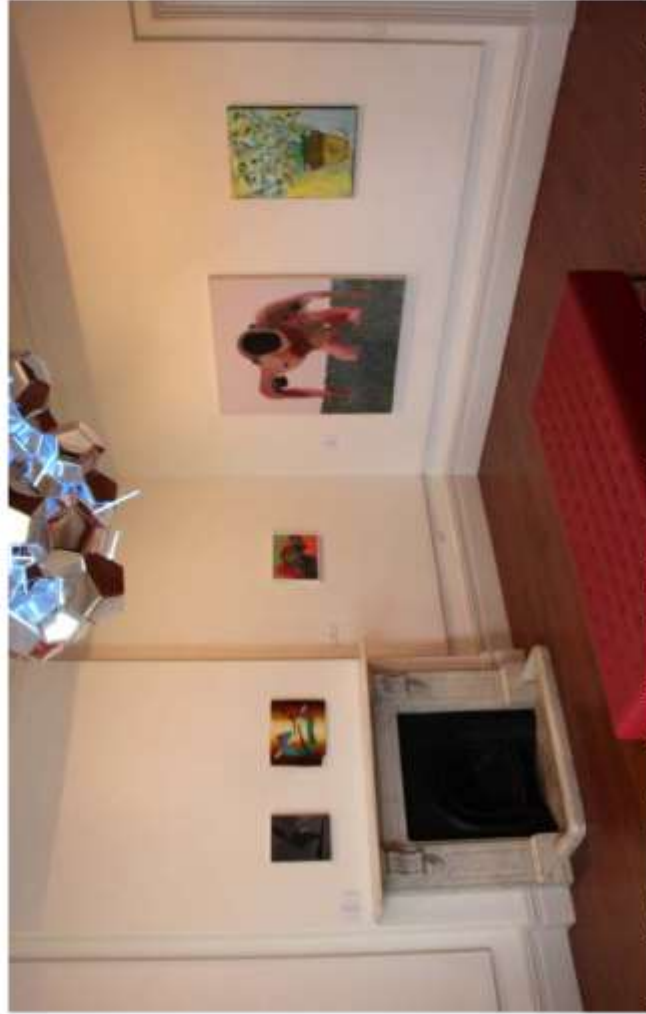


Figure 19: Example of wall cladding suitable for installing artwork in heritage building, Wallace Arts Trust Gallery at Pah Homestead, Auckland NZ



Figure 20: Example of centrally located gallery seating with salon hang galleries, Dulwich Picture Gallery, London, UK

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Nominated Architect: Ashley Dunn NSW ARB No. 75427
33 Salisbury Street, Botany NSW 2019 T +61 2 8316 7735 E admin@dunnhillam.com.au W www.dunnhillam.com.au 1/4

Case Studies

The following case studies are examples of high quality regional and local art galleries, often dealing with a heritage interface. Each case study has resulted in direct social, cultural and economic benefits.

Campbelltown Arts Centre⁸

Campbelltown NSW 2560

Located in one of the nation's most rapidly changing regions with great cultural and economical diversity.

Campbelltown Arts Centre is owned and managed by Campbelltown City Council. A mainstay of the cultural activities of the LGA is the Fisher's Ghost events, including the Fisher's Ghost Art Award which has been running for 54 years.

Once the City of Campbelltown Art Collection, Campbelltown Arts Centre's permanent collection has grown since 1988 with initial works being collected in 1962 and is valued at over \$8 million. The collection consists of more than 1,460 works which are predominantly Australian post-1950. Key focus areas include Aboriginal and Torres Strait Islander art, local artists of the Campbelltown and Macarthur region, historical art of regional significance, contemporary Australian art of national significance. Works from the collection are displayed at public Campbelltown Council facilities such as libraries, as well as part of the exhibition program at the Campbelltown Art Centre and permanently in the Centre's Sculpture Garden.

The Centre currently consists of a 184-seat performance studio, rehearsal studio, workshop studios, library, exhibition spaces, café, collection facilities, residency studio, retail outlet and an external amphitheatre with capacity for 2000 people.

Maitland Regional Art Gallery⁹

Maitland NSW 2320

Maitland Regional Art Gallery is owned and operated by Maitland City Council. It is situated in the Hunter Region 30 minutes west of Newcastle and has an ongoing cooperative relationship with close neighbours Cessnock Regional Art Gallery, Lake Macquarie City Art Gallery, and Newcastle Art Gallery.

The Maitland Regional Art Gallery Collection began in 1957 when the first works were purchased by Maitland City Council with the intent to create an art collection for the City of Maitland. These works were selected from entrants in the inaugural Maitland Art Prize of 1957.

In 1975, Brough House, in Church Street Maitland, was refurbished to become the first gallery space for the new Maitland City Art Gallery and artworks previously hanging in Maitland City Council buildings were assembled into a formal collection and exhibited in the gallery.

The MRAG Collection continued to grow through purchases made by the art gallery and the Gallery Society, winning entries from the Maitland Art Prize, and gifts from the community and benefactors. Artworks acquired into the collection over that period include works by artists such as William Dobell, Margaret Olley, George Baldessin, Charles Blackman and Brett Whiteley.

In 2003 the art gallery moved to its present location in High Street Maitland and then became known as Maitland Regional Art Gallery. In 2005 MRAG's collection took on a new direction as a result of a new collection policy which was to focus on collecting works on paper. Since then the MRAG Collection has grown considerably from 700 artworks to over 4000 artworks, through collection and donation.

In 2009 an award winning extension and renovation of the building was completed, expanding the gallery from three gallery spaces to eleven. The larger facility enabled MRAG to exhibit more of its collection on a semi-permanent basis throughout the building, as well as individual highlighted exhibitions.



Figure 21: Campbelltown Art Centre, Campbelltown



Figure 22: Maitland Regional Art Gallery, Maitland

Penrith Regional Gallery & The Lewers Bequest¹¹

Emu Plains NSW 2750

In the 1940s, Gerald and Margo Lewers – two leading artists in the development of modernism in Australian art – bought the property in Emu Plains that is now the Penrith Regional Gallery and the Lewers Bequest. In 1950 they made it their permanent home and studio.

In 1980, after the deaths of Gerald and Margo, the Lewers family donated the site to Penrith City Council, together with a substantial collection of art including works by Gerald and Margo and their contemporaries. The gallery opened in 1981 and presents exhibitions, education and workshop programs and special events.

It also holds and exhibits the The Penrith Regional Gallery Collection which consists of over 1500 objects, primarily featuring paintings, sculptures, works on paper and photography. The unique nature of the Gallery, with its artistic and architectural heritage, galleries, gardens and collection, forms an educational and recreational resource that is recognised nationally and internationally.

Part of the Gallery's remit is to rethink their collection, in new ways introducing it to new audiences and also, importantly, by working with artists in its re-interpretation through a vibrant and active residency and exhibition program linking it to local and regional concerns and areas of national cultural importance. The Gallery has a designated Modernist Research Centre that encourages and supports research in to the galleries collection and modernism in Australia more generally.

The gallery is a Company Limited by Guarantee, and a controlled entity of Penrith City Council. Managed by a community based Board of Management the gallery receives ongoing subsidy from Penrith City Council as well as private and public sector funding – particularly ArtsNSW

Wollongong Art Gallery¹²

Wollongong NSW 2500

Wollongong Art Gallery is managed by Wollongong City Council. It was originally established as the Illawarra Art Society in 1951, which began a program of lectures, exhibitions and competitions and in 1956 held the first acquisitive prize. The intention of this prize was to initiate and develop a Wollongong City Art Collection. Over the years these competitions attracted not only local and regional artists, but also artists from around the state.

By the early 1970s the need for a gallery to house, conserve and display this growing collection was recognised. Council agreed that an interim gallery space could be formed on the mezzanine floor of the Council Chambers. However, it was soon apparent that a more permanent location was needed to accommodate the expanding collection. In 1976 Bob Sredersas, a local art collector, donated his collection of paintings, drawings and antique china to the city. This gift gave the final impetus to the Gallery gaining its own site. The chosen site was always seen as an interim site due to the inadequate design, display and storage facilities however it opened its doors as Wollongong City Gallery in 1978 and remained so for 13 years. In 1991, the Gallery relocated to its present site, the old Council Administration Building.

Today Wollongong Art Gallery is recognised as one of the most innovative regional art museums in Australia. The Gallery presents a diverse program of high profile exhibitions as well as exhibitions by local and regional artists and community groups. The Gallery also presents an ongoing schedule of Education and Public Programs that provide access to the exhibition program and collection.



Figure 23: Penrith Regional Gallery and the Lewers Bequest, Emu Plains



Figure 24: Wollongong Art Gallery, Wollongong

Workshop 1 Pty Ltd Ua Dunn & Hillam Architects ACN 098 309 196 ABN 17 098 309 196
 Nominated Architect: Ashley Dunn NSW ARB No. 7547
 33 Salisbury Street, Botany NSW 2019 T +61 2 8316 7735 E admin@dunhillam.com.au W. www.dunhillam.com.au 16

2.2 BCA/ NCC requirements

The Macaria is currently classified under the BCA as a Building Type 5, and with its conversion to an Art Gallery will become a Building Type 9b, a building of a public nature, an assembly building. The building currently does not comply on many points to do with accessibility, provision of toilets and fire egress. There may be some leniency allowed due to the heritage status of the building, however it is recommended that full compliance and accessibility be sought as a way of making the building valuable to the whole of the Camden population.

Capacity

The BCA sets out expected capacities for buildings of each type, stating that an art gallery should allow for 4 square metres for each visitor. The existing Macaria building, by these calculations therefore has a capacity of 63 people, dependant on the actual use for each room. It is likely that on some infrequent occasions the number of people in the building may be more than this and therefore we recommend the design of egress and other requirements of the BCA should be calculated on a larger number, such as 212, with a limit of 50 to the upper floor.

Toilets

The requirements for toilets for a capacity of 120 and up to 240 people would be 2 female toilets, 1 male toilet and 1 unisex ambulant toilet, 1 unisex disabled toilet plus 1 unisex staff toilet. To provide toilets at this number would increase the flexibility of use and allow events which utilised space outside and around the building for functions or event hire. There is not a suitable place for these toilets to be accommodated inside the building. If toilets are not provided for the building the capacity will be restricted to 20 people.

Kitchen

The existing kitchen may be suitable to remain in use as a staff kitchen, with some use occasionally for preparation of pre-prepared platters, such as you might find at an art gallery opening. It is likely some small matters of compliance, such as coving and the provision of a hand washing sink may have to be looked at if this kitchen is to remain in place. It is however recommended that a kitchen facility more suitable for use by caterers be installed. This would allow a more flexible use of the building which may include catered events such as small dinners or weddings which utilised the northern courtyard.

Accessibility

Access needs to be provided to all parts of the building for visitors and staff alike. Ramps need to be provided at all thresholds and steps from the ground level outside up to verandahs and through door ways. It is recommended that short, steel removable ramps be placed in these locations, as being the most appropriate to the heritage fabric. A lift will need to be installed to provide universal access to the upper floor and a stair lift should be mounted against the small stair into Room 9.

Fire Egress

One fire isolated or open non-combustible stair must be provided to the upper floor, opening to the outside. This will limit the capacity of the upper floor to less than 50 people. The existing stair cannot be regarded as a required exit.

The exit travel distances can be 40m for the ground floor, as there will be more than one exit available, but no more than 20 metres for the upper floor.

Existing Stair

The existing stair will not comply, but may be allowable for general access, due to the Heritage status of the building. It cannot be counted as a 'required exit' under the BCA due to it's non-compliance and as it cannot be fire-isolated.

Sub-Floor Ventilation

It is likely that the building does not currently comply with the requirements for sub-floor ventilation, particularly where the addition of the new steel framed foyer building has been constructed to the rear of the building.

Camden Local Council DCP requirements

Car parking and Vehicle Access

The Camden Development Control Plan states that car parking for community facilities can be determined 'on merit', while Function centres should be allocated 15 car parking spaces per 100 sq. metres of Gross Floor Area. Given the current plans for a council car park near the Civic Centre any Development Application should request a waiver on all car parking requirements, except perhaps 1 staff parking space and provisions for deliveries.

	Requirements	Notes
Capacity (as calculated by BCA Table D1.13)	min 63 (art gallery) max recommended interior 212 (theatre, restaurant, public hall) with 50 maximum to top floor	To get a greater capacity to the upper floor two fire isolated stairs would be required, but this should be confirmed by a full BCA report.
Travel Distance to exits	not more than 20 metres for upper floor. Possibly 40m in lower floor.	Travel distances are achievable, but will determine in part the position of the fire isolated stair
Toilets	2 female 1 male + 1 unisex 1 unisex ambulant 1 unisex accessible 1 unisex staff toilet	Space within the Macaria building is not available for this number of toilets, except possibly the Staff toilet. If new toilets are to be built the staff toilet should be grouped with the public toilets. These toilet calculations allow for 240 patrons and less than 10 staff.
Kitchen	Non-compliant if used for commercial food prep. Some upgrades likely to be needed to be used as Staff kitchen	
Accessibility	Ramps at all doors and thresholds Lift to upper floor	Ramps to be non-permanent interventions, such as steel or brass ramps. Position of lift restricted, and should be considered carefully with respect to heritage status of building.
Fire Egress	fire isolated stair from upper floor signage	A full fire report should be completed to consider requirements for sprinklers and other BCA requirements relating to fire
Existing Stair	Non-compliant as required stair	Heritage status of building allows continued use of stair
Sub-Floor Ventilation	Likely to be non-compliant.	Full inspection of current strategies for dealing with damp is required
Car Parking	On merit Car spaces required for delivery and services Staff car parking recommended in main car park.	Car parking will be decided with consideration of all other council infrastructure in the area. Bicycle and pram parking should be provided.

3. A VISION FOR THE MACARIA ART GALLERY

3.1 Overview of Potential Audience

Camden is diverse and growing region. The local population a strong interest in the arts as demonstrated by the strength of local arts groups and events. In addition Camden-specific and regional Destination Management Plans are in development to increase tourism in the area.

Visitor profiles (hypothetical)

A - Retirees and potential volunteers: June is a retired local resident in her 70s with a keen interest in gardening and community activities. She has been living in Camden for over 25 years and has children and grandchildren living in Sydney and Campbelltown. June independently mobile, she regularly visits the Camden library and meets her friends for coffee in town, several of her friends are active in the Camden Historical Society. June is interested in a place that positively contributes to her social and cultural activities, is somewhere to bring her family when they visit. She needs somewhere which is easily accessible and has places to sit. June is keen to volunteer in a local community group on a regular basis.

B - New residents: Tom has recently moved to Oran Park Town after relocating to Australia with his family in 2008. Tom is keen to get to know the local area and meet other residents, he has taken up painting as a hobby and is keen to see more traditional artistic practices as well as meet other local artists. Tom is interested in a place that helps him to understand the local area, make new social contacts and to feel part of a creative network.

C - Primary school teachers/groups: Pupils from St Paul's Catholic Primary school have been completing a module on WWII in the Pacific. Their teacher organized a visit to Macaria to see some of the paintings by Baker from his time serving in Papua New Guinea. The students are interested in having creative way of engaging students with key historical events and their community.

D - Mother's groups: Susan is part of Mother's Group that meets once a week in Camden. Susan is interested in a place to visit on a semi-regular basis as part of their social and cultural activities. The Mother's Group is keen to see a variety of artistic and creative practices, for places that are easy to access with prams, are pleasant and uplifting and that offer activities for children.

E - High school student on assignment: Jason is a local high school student, he has to complete a social history assignment about the Camden district. He is conducting self-directed research into the changing land use around Camden and is interested in seeing engaging content that enhances his understanding of the area. Jason primarily access information through digital means.

F - Local artist, craftsperson and local arts groups: Beverly is a quilter and her husband Michael is a hobby watercolourist, both are semi retired are active in the local community as members of arts and crafts groups. They are very keen to see the expansion of cultural venues in Camden to reflect the strong creative community they are a part of. They would also enjoy the opportunity to book an affordable, well appointed and centrally located venue for holding meetings and workshops for their local arts groups.

G - Special needs visitors: Steven is sight impaired but with a keen interest in art and ideas. He travels regularly to Sydney to visit museums there that have programs for the sight impaired. Steven would be keen to develop with his local support networks a variety of experiences for people with special needs that are hands on and dynamic.

H - Local Chamber of Commerce and industry member: Melissa runs a commercial services business in Camden, she has clients visiting from out of the LGA and has suggested a visit to Macaria after a business lunch to highlight the cultural and community strength of Camden.

I - Visiting artists/curators: Abdul is a curator who lives in the inner city of Sydney and is an enthusiastic consumer of culture from food to theatre to literature. He is visiting Camden as she has heard about the Camden Fresh Produce Market. He has a strong professional interest in Australian art and is looking to extend his visit to the town by planning a trip to MAG and the museum, and a little lunch, before heading back home.

J - Interstate tourists: Bob and Doreen are grey nomads originally from Brisbane slowly making their way around the country spending a couple of days here and there, just taking their time. They have stopped in Camden preferring it to Campbelltown where the son and his family make their home. Keen to enjoy the town and with an interest in Australian history and heritage they are looking forward to seeing the collection at MAG and taking the heritage walking trail through the town - and maybe seeing a ghost or two!



Figure 25: Example of gallery visitors at an exhibition opening, Town Hall Gallery, Hawthorn



3.2 Models for Discussion

This report recommends one model for development of the Macaria into an Art Gallery (Option A Recommended) and tables in comparison a minimal outlay and minimal use model (Option B Limited Use). A summary of the Options can be found on the following page.

Option A: Recommended

The Macaria should be developed to its full potential as a significant piece of social capital and well-used community resource. The proposal is to fit out the Macaria to a standard that will be appropriate to a respected, well-used and relevant local Art Gallery. The Macaria should be restored to its original form by the removal of the connecting steel foyer structure. By removing the connecting foyer, the issues with damp should become significantly improved. A lift and fire stair will be required to satisfy fire egress and accessibility issues and these can then be located in that space. This proposed location for the lift and stair is most appropriate for a Heritage building as it is not visible from the street and will work most efficiently with the internal planning of the proposed Art Gallery.

It is strongly recommended that a design is investigated that would make the main entrance to the Medical centre to the West, towards the car park, where the majority of the clients will be parking. The current configuration puts extra strain on John St parking or requires anyone parking in the council car park to walk some distance to John St to find the entrance.

Option A includes a greater visitor capacity and range of artworks on display. It will require a greater operational budget, primarily due to increased staffing costs however there is the potential to offset these costs through income generated through venue bookings.

With this option both the upper and lower levels are utilised for public access through a combination of exhibition and workshop spaces. This will enable:

- a gallery dedicated to multiple artists and range of practices
- the presentation of works by Alan Baker on the lower level across the three key areas of Baker's practice – still life, portraits, landscape
- the display of loan objects for example items from the historical society greater range of works to be displayed including highlight pieces from the Camden Art Prize
- the creation of two distinct and dynamic exhibition areas to suit different artistic styles
- possibility for a changing exhibition program on the upper level including touring exhibition and solo/group exhibitions by significant local artists.
- provision for bookable meeting rooms and two workshop spaces
- venue hire and event bookings with the potential to generate income
- positioning the building as a landmark gallery with public access throughout

This option has the greatest reach across potential audiences indicated by the Visitor Profiles on the preceding page. Key attributes include:

- the changing exhibition program creates a greater opportunity for repeat visits by both local community (Groups A to F) and out of town visitors (G to J).
- visitors with differing needs and abilities (including A, D and G) are catered to with the inclusion of lift access and disabled toilets.
- reach an expanded pool of visitors through venue hire bookings (particularly groups B, H and F)
- option for direct and dynamic community engagement through exhibition of local content (A, F, C, I and J)
- a greater tourist drawcard with a more substantial exhibition program and range of use

Option B: Limited Use

A model for development has been investigated that prioritises a reduced cost and time line for the project. It is possible that this Option could be enacted relatively quickly, with a plan to complete the project to Option A over a longer time frame. In this way Option B could be seen as Stage 1 of the overall project. It is not recommended that it be the full and complete project as it does not achieve a reasonable outcome for the financial outlay in the long term.

Option B proposes that the ground floor of the Macaria be opened for use as a gallery, while the upper floors remain for office use only. It is clear that this is an unsatisfactory result however it is important to investigate and discuss the low-spend, fast time frame options.

Option B focuses exclusively on presenting the works of Alan Baker with some limited option for display of curated objects. Due to a reduced program of artwork changeovers a smaller operational budget will be required. Limitations on visitor numbers and range of activities conducted at the gallery will also reduce staffing needs and related costs.

With this option only the lower level is open for public access. There will be four gallery spaces featuring the works of Alan Baker only. This will enable:

- the presentation of works across the three key areas of Baker's practice – still life, portraits, landscape
- limited public access to landmark, heritage building
- a gallery dedicated to the practice of one artist, predominantly painting

This option has a limited potential audience reach compared to Option A. Key attributes include:

- static exhibition program which will limit repeat visits from most groups (except A, D, F, H and J)
- reduced opportunity for rich engagement with the local creative community due to limitations on varied exhibition program and opportunity to participate in annual program (Groups C and F)
- reduced gallery activities limiting community participation particularly for retired, special needs and new residents (Groups A, B and G)



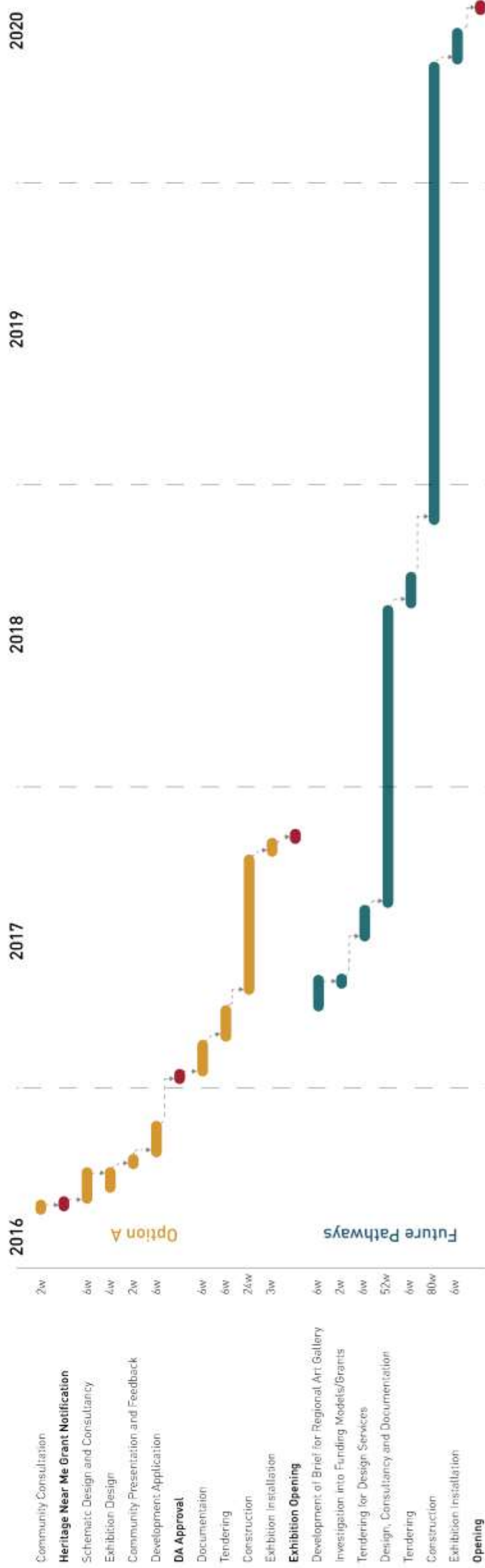
Table 3: Models for Discussions

	accessibility	program	amenities	exterior	heritage and maintenance	interior fit out	content development	hanging + lights	storage	estimate of cost
OPTION A: RECOMMENDATION 212 people capacity in building flexible multi-purpose usage	access to both floors - lift and stair to first floor (possible position to connect rooms 4 and 10) stair climber to small stair into room 9.	gallery to ground and first floor work shop space office function hire	new toilet block adj to north courtyard refit existing kitchen and toilets as bigger caterers kitchen	signage to front landscaping upgraded to allow functions in north courtyard. landscaping to south and east side	strip out modern day internal fittings re- establish front entry, remove portion of wall at hallway resolve damp issues- mech, ventilation underfloor remove connecting building	blinds restore all windows, doors, and locks interpretive signage and wayfinding security system climate control built in display joinery upstairs against sloping wall/ceiling.	touring exhibitions and loans requirements of the cultural gifts program	hanging track lights use purpose built hanging systems	off-site	\$900k- \$1,600,000
OPTION B: LIMITED USE remove carpet, sand floors, paint all walls and ceilings. install front desk adjacent to hallway	no public access to first floor	gallery to ground floor display of Alan Baker collection office and storage first floor	re-fit existing staff toilets public toilets provided by toilets behind library existing kitchen to be used as staff kitchenette	signage to front minimal landscaping	strip out modern day internal fittings re- establish front entry, remove portion of wall at hallway resolve damp issues- mech, ventilation underfloor	blinds make sure all locking systems in working order interpretive signage and wayfinding security system climate control	requirements of the cultural gifts program	hanging track lights Use existing picture rails	first floor + civic centre	\$300k-\$400k
FUTURE PATHWAYS new regional gallery associated with Macaria Art Museum developed with a whole Camden Cultural precinct	program develop a full suite of cultural and arts activities and programs working co-operatively with other cultural precinct institutions such as the Civic Centre, Library and Museum.	relationships Establish Camden Regional Art Gallery as one of a network of galleries throughout NSW and Australia. Maitland, Campbelltown, Wollongong and Albury are examples.	facilities Ensure standards are in line with AGNSW or similar to facilitate loans and touring exhibitions.	estimate of cost \$10,000,000- \$20,000,000						

Workshop 1 Pty Ltd Ua Dunn & Hillam Architects ACN 098 309 196 ABN 17 098 309 196
Nominated Architect: Ashley Dunn NSW ARB No. 7547
33 Salisbury Street, Botany NSW 2019 T +61 2 8316 7735 E admin@dunhillam.com.au W www.dunhillam.com.au 20



Project Timeline



Workshop 1 Pty Ltd U/a Dunn & Hillam Architects ACN 098 309 196 ABN 17 098 309 196
 Nominated Architect: Ashley Dunn NSW ARB No. 7547
 33 Salisbury Street, Botany NSW 2019 T +61 2 8376 7735 E admin@dunhillam.com.au W www.dunhillam.com.au 21

3.3 Review of Works to be Undertaken

Below is a list of tasks we consider necessary to bring the Macaria Art Gallery project to fruition. This list should be read in conjunction with the proposed Timeline.

- Develop operational documents such as Work Health and Safety plans, Volunteer Guidelines, Equipment Registers and the like
- Engage security consultant and develop security plan

Construction Stage

- Engage builder through Tender process.
- Removal of all carpet, non-original fittings and demolition where necessary.
- Installation of new works (lift, stair, toilets)
- Renovation of existing interior and exterior of Heritage building.

Exhibition Installation

- Purchase operational (tools) and climate monitoring equipment
- Establish opening exhibition

Gallery Operation

- Recruit volunteers for day-to-day operations
- Implement on-going promotional and audience engagement strategy
- Implement event hire and workshop booking program

Schematic Design and Consultancy

- Engage architect and exhibition designer / curator (Heritage Near Me Grant application to cover this work)
- Engage BCA consultant, Engineer, Quantity Surveyor, Lighting Consultant, Surveyor and other consultants as required. (Heritage Near Me Grant application to cover this work)
- Consult with Heritage NSW for Local Heritage Grants.

Development Approval Stage

- Prepare and submit all documents for Development Application
- Liase with Heritage NSW

Gallery Operations Set Up

- This work to be completed through the Schematic Design, Development Approval and Documentation Stages
- Community consultation
- Recruit staff to oversee Gallery Operations Set Up
- CAP audit and conservation report
- CAP valuation updated
- Apply for Donor Gift Recipient status
- Alan Baker valuation for Cultural Gifts Program (CGP)
- Submit Baker donation for approval through the CGP
- Source and initiate use of appropriate CMS
- Establish suitable corporate structure for the MAG
- Develop Acquisition policy
- Develop Collection policy
- Develop Exhibition policy

Documentation

- Develop all drawings and documents towards a tender set.
- Incorporate work of all consultants

Art Collection Program Establishment

This work to be completed through the Construction Stage

- Purchase / commission exhibition furniture
- Resolve and implement artwork storage plans
- Develop a 'Friends of the Gallery' program
- Curate thematic displays with app
- Develop and initiate marketing and audience engagement plans
- Develop event hire and workshop program targets and protocols
- Recruit staff for Operational Phase



These three areas – local artists and landscape, the still life tradition and Australian twentieth century realism would help to establish a collection of distinction and interest. Once the core acquisition areas are established it would lead to collection development both through strategic acquisition and gifts through the Cultural Gift Program.

A Regional Gallery For Camden

The population of Camden is predicted to grow to more than three times the current level within 20 years. During this growth Camden must retain the character that it currently has, of a local heritage town. Significant work has been done in planning this future for Camden through the Camden Town Centre Vision and other supporting documents such as the Camden Destination Plan. At the same time as it preserves what is best about Camden, Camden must also develop to cater for this larger population, which creates demand and support for more shared community resources of a higher standard.

The Macaria is an important building in Camden's future. By transforming this building to an Art Gallery Camden Council will be putting in place a significant piece of social capital which will work in co-operation with the existing Library and Heritage Museum and Civic Centre. The Macaria sits at the centre of the cultural and heritage precinct of Camden and over time this precinct will likely expand to include other, as yet unbuilt community facilities.

Camden already has a lively art community, but to support and grow this community there is a need for facilities that support the artists themselves, such as studios, residencies, workshops and galleries in which to exhibit their work and institutions that support the growing interest in art from the local community and tourists alike, such as a significant Regional Art Gallery. The Macaria has a Gross Floor Area of only 324 m². An Art Gallery suitable for the growing population of Camden will quickly outgrow this building, though it will remain useful as part of a suite of art galleries and art facilities. In this Future Pathway plan a larger regional Art Gallery could work alongside the Macaria which would then take a local and historical focus, emphasising the culture of art that has always been found around Camden.

With the strength of the population growth, combined with the current demand for arts and culture facilities in Camden LGA leads us to recommend that planning for a new regional Art Gallery begin immediately. Three potential locations are striking in their suitability. The first, at the corner of John St and Mitchell St, is adjacent to the Civic Centre and would allow larger events such as festivals to be accommodated across both sites very effectively. The second, the site of the old Camden High School is a much larger site and offers the potential for mixed use with galleries, studio spaces, public sports facilities and would also present the opportunity for integrated aged care accommodation or residential uses. The third site worth consideration would be the existing Council Office Block. This building has the size and scale appropriate to the potential use as a Regional Art Gallery and will engage with both the Macaria and the Civic Centre.

3.4 Future Pathways Plan

Community Consultation Process

As part of the process of converting Macaria into a gallery additional community consultation should be undertaken. Opportunities for feedback from new and established residents should be sought through an information session with additional targeted consultation across the following groups:

- cultural organisations including arts, crafts, historic and garden groups
- Mygunyah Camden Aboriginal Residents Group
- business groups such as the Camden Chamber of Commerce and Industry
- health and social services including the Camden Disability Access Group
- local schools
- festival personnel from the Camden Show, Camden Festival, Light Up Camden, TASTE Food Wine and Music Festival
- other groups identified in the Council's Cultural Mapping project currently underway

Ongoing Housing Of Camden Art Prize Collection

The Camden Art Prize is in need of rehousing. The current storage has outlived its use and there is the danger of works being damaged unintentionally due to inappropriate storage.

Currently the collection is housed in a small storeroom within the Civic Centre. Although this is a painting storage rack system in place, it is overcrowded and not possible to have more than one person working in the space at any one time with safety. This limits what you could store as well as the possibility of damage occurring due to staff not being able to physically move or access larger works of art.

There is no possibility of storing 3-dimensional works with any degree of safety both to the object and staff. With the addition of a sculpture category in the Art Prize this is an increasing issue.

With the incoming proposed donation of works by Alan Baker the storage of the two collections is a priority. A strategy for storage should be developed that encompasses both collections as well as supporting growth of the collection into the future.

Storage should be safe, clean, secure and with standard museum quality temperature and humidity controls. It should have ease of movement for staff as well as not compromising the artwork in any way during installation and removal. Preferably it should be at ground level with large doors to facilitate movement of objects in and out of the space.

Some consideration should be given to the development of shelving to accommodate 3-dimensional works. Specific equipment should also be included in the development of storage including space to store tools and equipment for the moving and removing of artworks such wrapping and painting travel frames.

Acquisitions Policy

The logic in building a collection policy is for it to be defined in some way by what the collection already holds as well as considering the collection policy of other institutions.

One obvious collecting area is to collect artworks that depict the local landscape as well as works by artists who live or work in the Camden area. This could extend back to the colonial period where numerous artists such as Joseph Lycett travelled through the area. It would be worth collaborating with the CHS to research what works may be available as well as what they may already hold and are unavailable for display due to preventative conservation.

The Baker collection also establishes some areas that could be developed. Most obvious is the still life tradition which Baker pursued across his whole career. There is probably an opportunity to look at this tradition – within the twentieth century but also continuing to the present.

Lastly there is the opportunity to collect works by Baker's peers. Artists who may have dealt with realistic figuration and landscape against the rise of modernism.

4. OPERATION PLAN

MAG will form the most substantial, publicly accessible artistic enterprise in the LGA therefore sustainability, access and engagement forms the core priority for the Operation Plan. MAG will engage the local community, regional visitors, tourists and the wider artistic community.

4.1 Organisational Structure and Collection Development

The existing art collections of the council should come under the ownership and control of the Council and the proposed Gallery. It will allow a consolidation and centralisation of all art assets allowing the development, care, conservation and exhibition of the collection.

Aside from the day-to-day running of the gallery and its professional activities the Gallery corporate entity should also deal with philanthropic, fundraising and tax deductible component of the Gallery. This should be managed and directed by the Council and the proposed Gallery staff.

To attract donations of artwork through the Australian Governments Cultural Gift Program (CGP) the entity must have Deductible Gift Recipient (DGR) status as a public art gallery, museum or library.¹³ It is important to note in this context that as outlined in the CGP document to be eligible an entity must have an 'authorised collection policy, including a mission statement, acquisition policy, collection care, deaccessioning and disposal policy, loans policy and the mechanism for review.

To summarise it is recommended as a priority that a suitable corporate structure for the Gallery is established from the onset. This should rationalise all art holdings and related activities within this structure and develop a Collection Policy.

4.2 Gallery Hours of Operation

It is proposed that MAG be staffed by at least two people (either paid or volunteer) during its hours of operation/public access. The proposed operating hours are Wednesday to Sunday from 10:30 to 5:30pm excluding Christmas Day, Boxing Day and Good Friday. Note: opening hours may be extended for specific events, exhibition launches and precinct festivals.

4.3 Staffing

Gallery development phase

Establishing an interim cultural planner role is recommended. Key responsibilities for this role would be to establish the Gallery's legal structure and systems. These systems should respond to immediate needs (for example the proposed donation of works by Alan Baker but also manage process surrounding the legal status of the Camden Art Prize collection and the development of the collection moving forward, most notably the development of a Collection Policy - the key foundation document for MAG. This role could also provide the key liaison regarding the Collection during the redevelopment of the site to ensure the presentation goals are maintained and in the commissioning of the exhibition program.

Gallery operational phase

It is proposed across all options that the gallery is staffed during opening hours. In Options A and B the staffing of the gallery during day-to-day operations is proposed through the creation paid and volunteer positions. In Option A the management of the gallery will be undertaken through two new fulltime positions with an emphasis on curatorial and arts management. These roles - Gallery Manager and Gallery Coordinator (or similar) - will be complemented by an additional paid .5 FTE from within existing Council staff across the areas of finance, human resources, facilities maintenance, and cultural development.

In Option B the management of the gallery will be undertaken through one new fulltime arts management position - Gallery Coordinator (or similar) - with an additional mix of .5 FTE from within existing Council staff across the areas of finance, human resources, facilities maintenance, and cultural development.

A pool of committed, trained volunteers will assist with the front of house operations under a 'Friends of the Gallery' model. This model works successfully in galleries of a similar scale as Options A and B such as Bega Valley Regional Gallery and Cowra Regional Art Gallery who both operate with a 1.5 FTE staff complemented by committed volunteers. Community engagement activities will be assisted through the council's existing cultural and community development programs (for example the visual arts presentation program at the library) and current staffing mix. Additional engagement will be accessed through local organisations such as the Camden Society of Artists, the Macarthur Art Group, ADFAS and CHS.

Core activities which will form the Position Description for the dedicated full-time staff member include overseeing the exhibition program and Collection in accordance with the Council's policies, managing the volunteers, liaising with exhibiting artists, donors and gallery stakeholders, curating exhibitions, developing public programs, developing and delivering an audience engagement strategy across platforms (including social media), building links with similar arts organisations and producing promotional material, writing didactic materials, reporting on MAG activities for Council and advising on issues related to the Collection.

Remuneration for Gallery Manager (or similar) role is suggested equivalent to Community Project Officer position at Camden Council Grade 14 (\$81,700)

Gallery Coordinator (or similar) role is suggested at the NSW (308) Local Government (State) Award rate for Administrative/Technical/Trades Band 2, Level 3 (\$66,393.6)



Figure 26: Volunteer guided Art and Dementia tour discussing William Dobell's 'The Cypriot 1940'

4.4 Visitation

Camden is a growing area with increased focus on tourism, local amenity and cultural activities. The proposed gallery has the potential to attract visitors across a wide spectrum.

One of the key tasks for gallery staff will be to build a 'Friends of the Gallery' network and engage with local groups such as the Australian Decorative & Fine Arts Society Camden, Camden Art Prize, Camden Historical Society, Camden Park House, Camden Society of Artists and the Macarthur Art Group among others. Relationships should also be built with arts organisations in the region including the Campbelltown Arts Centre and Wollongong Art Gallery. Most importantly Macaria is an opportunity to engage people from across a range of interests beyond the visual arts from gardening and fashion to heritage and architecture.

Visitation figures dependent which option is selected and the differing capacity of space, changing exhibition program, potential for additional functions at the space, additional activities for example event hire, workshops, educational programs and tie-ins with existing festivals.

Event Hire: Making the downstairs rooms and northern courtyard available for event hire creates an opportunity to introduce new audiences and generate income. Events would be bespoke in nature and may include civil ceremonies and small weddings, seated functions such as private dinners, and receptions, classical music concerts.

Workshops and meetings: The upper level of Macaria is an ideal space for group activities and workshops such as life drawing and creative writing. Individual rooms may also be made available for meetings on days the gallery is not open to the public.

Touring exhibitions / exhibition space for hire: A changing exhibition program will deliver repeat visitors as well as the potential for attracting a broad audience mix. Whilst local artists have the opportunity to exhibit in the Council-provided spaces in the library it is suggested that local artists may have the opportunity to exhibit as part of a curated program.

Tourism: The Audience Development plan for Macaria should be developed with consideration of the Camden LGA Destination Management Plan (DMP) if adopted by Council and the a regional DMP for the Macarthur region (which includes both Camden and Campbelltown LGAs) currently in development. According to the Camden DMP 'Heritage tourism is seen to be a major potential component of Camden's product mix, strengthened by the extensive selection of historic buildings and the nationally important stories associated with the LGA in Australia's history. In this report an Arts Trail throughout the region was proposed with a target audience of cultural and heritage visitors, family market, nature visitors, international youth, local market, over 55s travellers, short break visitors. It would be anticipated that MAG would form the core element of a proposed trail.

Friends of MAG: Formal programs such as 'Friends of the Gallery' are proven ways of building a strong on-going audiences for urban and regional galleries alike. A program such as this will help embed the gallery into the fabric of the community.

4.5 Annual Program Budget

The annual program budget is dependent of the anticipated changeover of artworks and the programming of temporary exhibitions on the upper level. In addition to staffing costs, provision should be made for annual program budget to cover:

- facilities costs such as utilities, repairs and maintenance,
- collection management costs such CMS, climate monitoring equipment, conservation, insurances
- exhibition costs scaled to scope of program
- audience engagement and associated events
- marketing and promotion for the gallery as a whole and any temporary programming
- acquisitions

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ARCHITECTS
THE CURATORS'
DEPARTMENT



Figure 27, 28, 29: Example of multiple uses of main gallery space at Dulwich Picture Gallery, London, UK

Workshop 1 Pty Ltd Ua Dunn & Hillam Architects ACN 098 309 196 ABN 17 098 309 196
Nominated Architect: Ashley Dunn NSW ARB No. 75627
E: admin@dunnhillam.com.au W: www.dunnhillam.com.au
33 Salisbury Street, Botany NSW 2019 T: +61 2 8316 7715

5. COST ESTIMATE AND TIMEFRAME

	Option A: Recommended	Option B: Limited Use
Design and Curatorial Consultancy	\$150,000-\$230,000	\$90,000-\$150,000
Construction and Installation	\$900,000-\$1,600,000	\$300,000-\$400,000
Total	\$1,050,000-\$1,800,000	\$390,000-\$520,000
Annual Operating Budget		
• Staffing	\$150,000	\$82,000
• Curatorial Program	\$40,000	\$5,000
• Collection Management	\$7,000	\$7,000
• Public Program and Audience Development Events	\$5,000	\$3,000
• Marketing and Advertising	\$8,000	\$2,000
• Acquisitions, Conservation	\$6,500	\$3,000
• Facilities	\$28,000	\$22,000
Total	\$244,500	\$124,000
Possible Income Streams		
NSW Heritage Near Me Grant	\$100,000	
NSW Local Heritage Grants	unknown	
Gallery Hire/ Exhibitions	\$6,000/ year (\$500/ month)	
Gallery Hire/ Functions	\$100,000/ year (10 x \$10,000/ event)	
Workshops/ Classes	\$7,200 (24 x \$300/ event)	



6. APPENDICES

6.1 References

Reference 1: "Visual Arts Participation"

Source: Australia Council for the Arts <http://artfacts.austriacouncil.gov.au/visual-arts/participation/>

Reference 2: "The value of arts and culture to people and society"

Source: <http://www.artscouncil.org.uk/exploring-value-arts-and-culture/value-arts-and-culture-people-and-society>

Reference 3: "The Camden Town Centre Vision Report"

Source: <http://www.camden.nsw.gov.au/assets/pdf/CamdenTownCentre/WEB-15-73062-Camden-Town-Centre-Vision-Report-09-04-2015-.PDF>

Reference 4: Erco Track Lighting

Source: <http://www.erco.com/>

Reference 5: EMU content management system

Source: <http://www.kesoftware.com/>

Reference 6: Collections MOSAIC

<http://www.istotechnology.com.au/vw-Collections-Mosaic.aspx>

Reference 7: Dexion Spacesaver Storage System

<http://www.dexion.com.au/en/p/browse-by-use/art-and-artefact-storage-73/mobile-art-rack-10>

Reference 8: Shadowline Art Hanging System

<https://www.arthangingsystems.com.au/product-category/shadowline-rail/shadowline-masonry/#ad-image-0>

Reference 9: Campbelltown Arts Centre Campbelltown NSW 2560

<http://c-a-c.com.au>

Reference 10: Maitland Regional Art Gallery Maitland NSW 2320

<http://mrag.org.au/>

Reference 11: Pennith Regional Gallery & The Lewers Bequest, Emu Plains NSW 2750

<http://www.pennithregionalgallery.org/>

Reference 12: Wollongong Art Gallery, Wollongong NSW

<http://www.wollongongartgallery.com/>

Reference 13: Cultural Gifts Program and Deductible Gifts Recipient

<http://arts.gov.au/sites/default/files/pdfs/cgp-guide-june09.pdf>

6.2 Image Credits:

Figure 1: Street View of the Macaria Building

Source: "Changing Faces and Places of Camden NSW". <https://www.flickr.com/photos/32500526@N05/with/25777294074/>

Figure 2: Front Verandah of the Macaria Building

Source: Dunn & Hillam Architects

Figure 3: Regional galleries in greater Sydney region

Source: Image from Google Maps, overlaid with data from Museums and Galleries of NSW.

<http://mg.nsw.gov.au/organisations/?category=regional-galleries&category=community-galleries®ion=sydney®ion=far-south-coast®ion=central-coast®ion=shoalhaven®ion=blue-mountains#map>

Figure 4: Elizabeth Cummings, The bird who lay the golden egg, 1995, Collage on paper: Camden Art Prize Collection, Camden Council

Figure 5: Alan Baker, Untitled (roses) oil on board.

Figure 6: Heritage and Culturally Significant Buildings in Camden Town Centre

Source: Image from Google Maps, overlaid with data from "The Camden Town Centre Vision Report".

Figure 7: The former Police Station, to the north of Macaria has potential for future development

Source: "Changing Faces and Places of Camden NSW". <https://www.flickr.com/photos/32500526@N05/with/25777294074/>

Figure 8: The Epicure Store, formerly Camden Cottage, once part of the Macaria site

Source: "Changing Faces and Places of Camden NSW". <https://www.flickr.com/photos/32500526@N05/with/25777294074/>

Figure 9: Room 9, showing lining board ceiling and extensive windows

Source: Dunn & Hillam Architects

Figure 10: Room 6, showing extent of sloped walls

Source: Dunn & Hillam Architects

Figure 11: Room 12, showing extent of sloped walls

Source: Dunn & Hillam Architects

Figure 12: Example of salon style of artwork installation in heritage building, Corcoran Gallery of Art, Washington, USA

Figure 13: Example of salon style of artwork installation on pale coloured walls, with artwork labels coloured to match, Auckland City Art Gallery, Auckland, NZ

Figure 14: Example of ERCO track luminaires - Optec and Cantax models

Source: <http://www.erco.com/products/indoor/track-system/erco-track-104/en/>

Figure 15: Example of suspended lighting track, Minnesota Marine Art Museum, Winona, USA Source: Julia Cawley for ERCO.

<http://www.erco.com/projects/culture/minnesota-marine-art-museum-winona-5859/en/>

Figure 16: Example of the hidden hanging track system proposed for upstairs level. Shadowline model illustrated.

Figure 17: Example of artwork storage racks on rollers. Dexion Spacesaver illustrated.

Figure 18: Example of artworks on hanging track and wayfinding signage in heritage building, Murray Art Museum Albury, Albury

Figure 19: Example of wall cladding suitable for installing artwork in heritage building, Wallace Arts Trust Gallery at Pah Homestead, Auckland NZ

Figure 20: Example of centrally located gallery seating with salon hang galleries, Dulwich Picture Gallery, London, UK

Figure 21: Campbelltown Art Centre, Campbelltown

Figure 22: Maitland Regional Art Gallery, Maitland

Figure 23: Penrith Regional Gallery and the Lewers Bequest, Emu Plains

Figure 24: Wollongong Art Gallery, Wollongong

Figure 25: Example of gallery visitors at an exhibition opening, Town Hall Gallery, Hawthorn

Figure 26: Volunteer guided Art and Dementia tour discussing William Dobell's The Cypriot 1940 / Gift of the Godfrey Rivers Trust through Miss Daphne Mayo 1943 / Collection: Queensland Art Gallery.

Figure 27, 28, 29: Example of multiple uses of main gallery space at Dulwich Picture Gallery, London, UK

Figure 30: Room 01, hallway

Source: Dunn & Hillam Architects

Figure 31: Room 01, original entry door, currently not in use

Source: Dunn & Hillam Architects

Figure 32: Council Office Block foyer

Source: Dunn & Hillam Architects

Figure 33: Room 02, evidence of damp issues

Source: Dunn & Hillam Architects

Figure 34: Room 04, non original opening

Source: Dunn & Hillam Architects

Figure 34: North courtyard

Source: Dunn & Hillam Architects



6.2 Photos of Existing Condition



Figure 30: Room 01, hallway



Figure 31: Room 01, original entry door, currently not in use



Figure 32: Council Office Block foyer



Figure 33: Room 02, evidence of damp issues



Figure 34: Room 06, non original opening



Figure 35: North courtyard

Workshop 1 Pty Ltd U/a Dunn & Hillam Architects ACN 098 309 196 ABN 17 098 309 196
 Nominated Architect: Ashley Dunn NSW AFB No. 7547
 33 Salisbury Street, Botany NSW 2019 T +61 2 8376 7715 E admin@dunnhillam.com.au W www.dunnhillam.com.au 29

John Carrick Pty Ltd.
Structural Engineers
ABN 36 065 439 401
601 Bourke Street
Surry Hills NSW 2010
Phone (02) 9698 2961

18th May 2016

Macaria Gallery, Camden.

Ashley Dunn,
Dunn & Hillam Architects
33 Salisbury Road, Botany NSW 2019

Dear Mr. Dunn

Further to our meeting at Camden today and following a preliminary inspection of the existing mid-nineteenth century building, "Macaria" in John Street Camden currently occupied by the Camden Council, I can offer the following observations:

As a significant neo-gothic public structure, the Macaria building was built with more rigour than would have been the case for domestic and industrial buildings of the time. The perimeter walls appear to be of 350 mm solid brickwork over a dressed sandstone base course and substantial stone footings. There are dressed sandstone quoins on the corners of the external perimeter walls. The original floor-plan appears unchanged with the cross walls remaining in place. One of the internal walls running east west is of 350mm masonry; most of the other internal walls have a thickness of 230mm. A more recent (early twentieth century) addition has been built against the south-western corner providing a ground floor room and a first floor enclosed deck/sun-room. A large modern two-level administration centre adjoins to the west via a steel and glass transition gallery hard against the western elevation.

At the north-west corner of the original building, an excavation made for the construction of the new administration centre shows the footings to be founded approximately 800mm below ground level on what is likely to be moderately reactive clay.

The masonry walls are generally straight and plumb as are the tall, slender brick chimneys. The walls have been re-pointed at various times over the century and a quarter life of the building with some joints better than others. Some deteriorated stone of the quoins and base course appear to have been replaced and repaired. While there is localised cracking evident in the external masonry, this is to be expected in a brick and stone building of this age on a clay foundation of varying moisture content. The cracking is most pronounced at the north west corner at the excavation mentioned above. That distress is likely to have arisen from localised settlement of the corner due to disruption of the moisture content of the soil associated with the excavation for the new addition.

There may be other masonry distress that has been hidden by internal redecoration and external repointing. Maintenance of the external masonry has been carried out in the form of repointing of fretted joint mortar and repairs to the stonework. Some unrepaid stone deterioration can be seen in the sills of sandstone window surrounds and some corner quoins. As is often the case with solid masonry structures of this age, many of the internal ground floor walls are showing surface distress from rising damp. There has been substantial work carried out with a view to ventilating the subfloor against rising damp. The opportunities for subfloor cross-flow ventilation have been compromised by the additions built up against the building on its west and south. This may present a significant termite hazard.

There is no evidence of rafter-spread cracking of the masonry in the vaulted rooms of the first floor. Should there have been deterioration of collar-tie nails, the Macaria building's steeply-pitched gable rafters and light roof cladding produce less lateral thrust than is the case with flatter gables. An inspection within the roof space may reveal iron cross ties (there appear to be one-inch iron cross bolts restraining lateral movement of the first-floor masonry – this is evident on the un-covered northern elevation)

The timber floors on both the ground and first floor levels appear flat and sound. The joists are likely to be hardwood with depths up to 240mm. Typical of older buildings in eastern Australia, the cedar staircase is creaky but serviceable.

In view of the building's likely new role as a gallery I would offer the following conclusions and recommendations:

The Macaria building is in better structural condition than most of a similar age. During its time with the Camden Council, it appears to have been better maintained than most. There is plenty of lateral restraint from cross walls and its masonry is relatively sound. Were some of the internal openings to be enlarged for the gallery role, this could be done with appropriate lintel support for the overlying masonry. The maintenance of the masonry needs to be continued in the form of crack-filling and repointing as required for a mostly cosmetic outcome. The only significant differential settlement appears to be at the north-western corner. It would be useful to reinstate ground cover over the exposed footing there.

It is likely that the insertion of damp course or epoxy injection in a building of this scale would prove too expensive for the repurposing currently envisaged. It would be useful to investigate further options for improved subfloor ventilation. This may involve some excavation beneath the floor. While there has been much work to provide subfloor vents on the main eastern elevation, there are limited vents on to the north, south and west. Further air outlets and fans may improve the rising damp problems and act against termite activity. A programme of yearly termite inspections needs to be maintained.



I am confident that the Macaria building in John Street Camden is structurally sound and as it has in the past, will continue to resist the normally expected actions described in AS1170 with adequate margins for strength and serviceability. From a structural perspective, the building will tolerate some enlargement of internal openings and be adequate for the new role envisaged.

I hope this information is helpful, should you have any queries, please contact me on the number above or by e-mail, johncarrick@iinet.net.au

Sincerely

A handwritten signature in black ink, appearing to read 'John Carrick'.

John Carrick
BE M Eng Sci CPEng 129832